

AGENDA

HISTORIC PRESERVATION BOARD Lakeland City Hall, City Commission Chambers March 27, 2025, 8:30 A.M.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. If hearing impaired, please contact the TDD numbers: Local – (863) 834-8333 or 1-800-955-8771 (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number 1-800-955-8770 (VOICE), for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the February 27, 2025 Historic Preservation Board meeting minutes.
- III. Old Business:
 - A. Historic Lakeland, Inc. Watch List Report
 - i. 137 Lake Morton Drive
 - ii. 2430 New Jersey Road*
 - iii. 302 E. Belvedere Street *
 - iv. 632 Easton Street*
 - v. 2304 Carolina Avenue*
 - vi. 716 College Street
 - vii. 748 College Street
 - viii. 701 N. Florida Avenue*
 - B. Review of 2025 Historic Preservation Awards Nominees, as suggested by Historic Lakeland, Inc. Awards ceremony to take place at the Polk Theatre on May 7, 2025 at 5:30pm.
 - C. Reminder: Workshop to gather Board and staff suggestions for planning and identifying potential new historic districts will follow the Design Review Committee meeting in the City Commission Conference Room.
- IV. New Business: NONE
- V. Adjourn for Design Review Committee.

*Not located within a Historic District; brief building histories provided to Board.

MINUTES

HISTORIC PRESERVATION BOARD City Commission Chambers Thursday, February 27, 2025 8:30 a.m.

(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board met in Regular Session; Bruce Anderson, Ricardo Jimenez, Chris Olson, Cesar Perez, Michael Porter and MeLynda Rinker were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Alex Landback, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

Chair Dr. Bruce Anderson called the Thursday, February 27, 2025 meeting of the Historic Preservation Board ("Board") to order at 8:38 a.m. A quorum was reached, as five Board members were present.

II. Review and Approval of Previous Meeting Minutes

Mr. Chris Olson motioned to approve the December 19, 2024 meeting minutes as presented. Ms. MeLynda Rinker seconded the motion. The motion passed 6—0.

III. Old Business:

- A. Historic Lakeland, Inc. Watch List Report. Ms. Emily Foster provided the Board with an update on 701 N. Florida Avenue.
 - i. 137 Lake Morton Drive
 - ii. 2430 New Jersey Road*
 - iii. 302 E. Belvedere Street *
 - iv. 632 Easton Street*
 - v. 2304 Carolina Avenue*
 - vi. 716 College Street
 - vii. 748 College Street
 - viii. 701 N. Florida Avenue*

- B. Staff Update on Historic Districts Resurvey Project, Phase 2. Ms. Emily Foster provided the Board with an update regarding Phase 2 of the Historic Districts Resurvey Project. Discussion ensued.
- C. Follow up on Board comments from December 19, 2024 regarding designation of new historic districts. Staff proposes a workshop following a regular meeting for further discussion of this topic. The Board agreed that the workshop will follow the March 27, 2025 regular meeting.

^{*}Not located within a Historic District; brief building histories provided to Board

IV. New Business:

- A. Board member updates and new Design Review Committee appointment.
 - 1. Adam Abitbol had to step down due to work schedule conflicts with HPB. Britney Wilson also had to step down. The Board and staff thanked both Mr. Abitbol and Ms. Wilson for their service.
 - 2. Welcome new Board member Cesar Perez. Staff and the Board welcomed Mr. Perez.
 - 3. Recommendation from staff to appoint Jason Hill to the Design Review Committee. Ms. MeLynda Rinker made a motion to appoint Jason Hill to the Design Review Committee. Mr. Chris Olson seconded the motion and it passed 6—0.

V.	Adjourn	for	Design	Review	Committee.
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The meeting adjourned at 9:19 a.m.	
Chair, Historic Preservation Board	Senior Planner, Historic Preservation



AGENDA

DESIGN REVIEW COMMITTEE Lakeland City Hall, City Commission Chambers March 27, 2025

immediately following the Historic Preservation Board Meeting

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Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the February 27, 2025 Design Review Committee meeting minutes.
- III. Review Certificates of Review administratively approved since the previous meeting.
- IV. Consideration of Certificate of Review Applications:
 - A. Oath Administration for Public Testimony by Assistant City Attorney.
 - B. <u>HPB25-035 729 Johnson Avenue</u> Final Approval requested to construct a detached garage at the rear of the subject property. Owner: Gary and Mary Witte. Applicant: Master Garage Builders Inc.
 - C. <u>HPB25-037 708 Frank Lloyd Wright Way</u> Final Approval requested to construct a building addition onto the principal house at the subject property as well as to construct a detached garage at the rear of the subject property. Owner: Matthew and Elizabeth Roush. Applicant: Esterline Construction.
 - D. <u>HPB25-044 215 E. Main Street</u> Final Approval requested for an internally lighted projecting sign to be installed on the front elevation of the building on the subject property. Owner: Lakeland Main LLC. Applicant: Dixie Signs Inc.
 - E. <u>HPB25-059 904 S. Missouri Avenue</u> Final Approval requested to replace the existing non-historic siding, enclose two window openings, and make additional minor exterior alterations to the building on the subject property. Owner: 904 S Missouri Lakeland Land Trust. Applicant: Hive Construction LLC.
- V. Other Business: NONE
- VI. Adjournment.

MINUTES

DESIGN REVIEW COMMITTEE

City Commission Chambers

Thursday, February 27, 2025

(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board's Design Review Committee met in Regular Session; Bruce Anderson, Ricardo Jimenez, Chris Olson, Michael Porter, MeLynda Rinker were present. Historic Preservation Board member Cesar Perez was also present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation, Christelle Burrola, Planning Assistant, and Alex Landback, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

The meeting was called to order by Chair Michael Porter at 9:20 a.m. The Committee roll call was performed and a quorum was present.

II. Review and Approval of the Previous Meeting Minutes

Dr. Bruce Anderson made a motion to approve the December 19, 2024 minutes as presented. Chris Olson seconded the motion. The motion passed 5—0.

III. Review of Certificates of Review administratively approved.

A list of thirty (30) administratively approved Certificate of Review projects covering the period 12/20/24-2/18/25 was included with the agenda packet. There were no additional questions or comments about these projects.

IV. Consideration of Certificate of Review Applications:

- **A.** Oath Administration for Public Testimony by Assistant Attorney Alex Landback.
- **B.** <u>HPB25-010 821 South Boulevard</u> Final Approval requested to replace the existing wood siding on the building at this address with fiber-cement siding. Owner: Ms. Nicole Shirvani. Applicant: Paramount Construction.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of one lot of record, which is 0.10 acres in size. On the property is a two-story, single-family house built circa 1922, which is a contributing building in the Dixieland Historic District. The architectural style of the house is Frame Vernacular, which is expressed by a gable roof pierced by a brick chimney, a full-width, integrated front porch with a hipped overhang supported by square columns on brick plinths, exposed rafter tails with a curved profile, wood lap siding, and single-or-double-hung sash windows with a one-over-one lite configuration. Alterations include the installation of windows on the second story sleeping porch and conversion of the house into two apartments. The Applicant requests to remove the existing wood siding and all trim, including window mullions and corner boards, and replace with fiber-cement 'HardiePanel' siding and trim. The existing siding and trim on the house is in poor condition, showing wood rot and termite damage. Several photos were provided by the Applicant showing the deteriorated state of the siding and trim. This is the product information provided by the Applicant for the HardiePanel replacement siding and trim. The Applicant also provided detailed measurements for the replacement siding and trim, which was included in the agenda packet.

Ms. Foster stated that the request was evaluated using Secretary's Standards #6, #9, #10 and Chapter 6 of the Design Guidelines for Historic Properties. While the repair or replacement of small areas of siding may be reviewed and approved by staff, the wholesale replacement of all exterior wall cladding requires the review and approval of the Design Review Committee. Staff recommends final approval of the request with the following conditions, to be reviewed and approved by staff at permitting:

- 1. Use fiber-cement siding matching the 4.75-inch exposure of the historic wood siding to replace the deteriorated wood siding.
- 2. Use fiber-cement trim material matching the dimension and profile of the historical corner boards, window and door trim, mullions, frieze, fascia, and base boards, to replace these components.

Chair Porter asked if the Applicant had any additional comments or questions. The applicant was not present.

There were no public comments.

MOTION: Final approval of the request with the conditions recommended by staff. (B. Anderson/C. Olson, 5—0).

C. <u>HPB25-016 – 938 Success Avenue</u> – Final Approval requested to install a freestanding carport at the rear of the subject property. Owner/Applicant: Mr. Aaron Bender.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is an interior lot in the Lake Morton Neighborhood with an area of 0.16 acres. On this property is a two-story, single-family, Frame Vernacular house, which is a contributing building in the South Lake Morton Historic District. The house has an irregular plan with a multi-gabled roof, a balcony, a full-width front porch, and lap siding. The front porch was altered and a former porte cochere removed sometime over the last 40 years. The Applicant's request proposes to install a freestanding carport, 20 feet wide by 20 feet long (400 square feet) at the rear of the property, with access from the existing improved alley. The carport will have a steel sloped roof and will be supported by square cedar posts. The site plan for the proposed addition shows building setbacks and height that comply with the Urban Form Standards in the Land Development Code for accessory structures.

Ms. Foster stated that the request was evaluated using Secretary's Standards #10 and Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds the requested carport does not disturb the spatial relationships that characterize the neighborhood, and the essential form and integrity of the subject house are maintained. Staff also finds that the materials and design of the proposed carport are subordinate and simple, meeting the intent of the Design Guidelines, and placement of the carport at the rear of the property is appropriate. Finally, the building setbacks and height for the carport meet the requirements of the Land Development Code's Urban Form Standards.

Ms. Foster stated staff recommends final approval of the request as submitted.

Chair Porter asked if the Applicant had any additional comments or questions. The applicant was not present.

There were no public comments.

MOTION: Final approval of the request as submitted. (B. Anderson/M. Rinker, 5—0).

D. <u>HPB25-026 – 208 W. Patterson Street</u> – Final Approval requested to construct an accessory building in the rear yard of the subject property. Owner/Applicant: Ms. Christine Mathews.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the property is an interior lot consisting of 0.15 acres in the Dixieland neighborhood. On the property is a one-story single-family house, constructed circa 1937 in the Bungalow architectural style, which is a non-contributing building in the Dixieland Historic District. The house is of frame construction and has a gabled roof with a hipped roof front porch supported by square columns. The house features drop lap wood siding, one-over-one windows and slant roof carport. The Applicant requests to build a new detached accessory structure towards the rear of the subject property. The structure will be used as a garage and workshop. The exterior dimensions of the proposed structure are 22 feet 4 inches by 26 feet 8 inches, for a total area of 596 square feet. The structure will have a hipped roof with a 4/12 pitch. Along with a typical roll-up garage door on the rear elevation, the building will have a window on all other elevations and a man door on the north elevation. Materials proposed to be used for the garage include:

- A concrete slab foundation
- Masonry block walls clad in Hardie lap siding
- Vinyl windows with a one-over-one lite and fixed lite configuration
- Steel garage door, fiberglass man door
- Asphalt roof shingles
- Aluminum fascia, vinyl soffit

The site plan submitted for this request show building setbacks and height that comply with the City's Land Development Code requirements for accessory structures.

Ms. Foster stated that the request was evaluated using Secretary's Standards #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. Staff finds that the proposed accessory structure does not disturb the spatial relationships of surrounding buildings, and the essential form and integrity of the principal house is maintained. In evaluating the request with the Design Guidelines, staff finds the subordinate scale of the proposed structure and its simplified design to be consistent with the Design Guidelines. Staff also finds the materials, fenestration, and roof form and pitch to be compatible with the principal house on the subject property, as well as the proposed location at the rear of the lot. Finally, the proposal conforms with the requirements of Land Development Code concerning accessory structures.

Ms. Foster stated staff recommends final approval of the request as submitted.

Chair Porter asked if the Applicant had any additional comments or questions. Ms. Christine Mathews was present in support of the request.

There were no public comments.

MOTION: Final approval of the request as submitted. (M. Rinker/B. Anderson, 5—0).

E. <u>HPB25-030 – 801 E. Main Street</u> – Final Approval requested to construct a canopy addition onto the front of the building on the subject property. Owner: Ten Cap Partners LLC. Applicant: Mr. Jeremy Brumley.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is located at the southeast corner of East Main Street and South Lake Avenue, and consists of a quarter-acre parcel that is

located within Sub-District 6 of the Garden District SPI (Special Public Interest) zoning overlay, as well as the Downtown Lakeland Community Redevelopment Area. The property contains a masonry vernacular building, built in 1960, that originally functioned as a full-service gas station and repair garage. The existing building is a contributing building within the East Lake Morton Historic District as of the 2022 resurvey. Undergoing renovations in 2014, this property and building has been utilized previously for retail, entertainment, and eatery uses under two separate businesses. The Applicant proposes to construct an open-sided pavilion at the front of the existing building for the purpose of outdoor seating. The use of the pavilion for outdoor seating is to serve a new quick service restaurant, Grievous Angel, LLC, serving smash burgers, hotdogs, and fries. Dining for the restaurant will be made up of indoor seating inside the existing building on site and a beer garden-inspired outdoor seating area under the proposed pavilion. The pavilion is to be 18 feet by 44 feet, 4 inches (approximately 798 square feet), and will be a wood truss and steel post structure with a parapet wall covered in stucco with raised bands and metal plate siding to match the cladding of the subject building. The roofing material is concealed behind the pavilion's parapet and consists of one-ply membrane coating. The uneven concrete surface below the pavilion area will be removed and replaced with concrete pavers. As part of the overall renovation plan for the subject property, all accessory structures will be removed. The street facing areas of the property will be landscaped and outdoor, uncovered seating will be installed.

Ms. Foster stated that the request was evaluated using Secretary's Standards #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. As a standalone commercial building with a historical background as an automobile gas and service station, staff finds the request to construct an open-sided pavilion at the front of the subject building appropriate for this building type. In fact, when this building was constructed, a smaller pavilion in front of the building existed, likely for providing cover over gas pumps. Staff finds the design and materials of the proposed pavilion addition reflective of the existing materials of the subject building and consistent with the Standards and Design Guidelines. Although not a part of this request, from a site design perspective it is suggested that the trash bin be relocated to the southern property line in place of the southern-most handicap accessible space. This property is parking exempt according to the Land Development Code, but if two accessible spaced are desired, a second space could be added just north of the existing spaces.

Ms. Foster stated staff recommends final approval of the request as submitted.

Chair Porter asked if the Applicant had any additional comments or questions. Mr. Jeremy Brumley was present in support of the request. Discussion ensued among the Board, applicant and staff regarding the metal plate siding. Ms. MeLynda Rinker made a motion to approve the request as submitted with the condition to allow the applicant to remove the metal siding and replace with a light stucco but amended her motion after further discussion among the Board. There was no second to Ms. Rinker's initial motion.

There were no public comments.

MOTION: Final approval of the request as submitted. (M. Rinker/C. Olson, 5—0).

F. <u>HPB25-031 – 849 E. Lime Street</u> – Final Approval requested to construct a new residential triplex structure on the subject property. Owner/Applicant: Hulbert Homes Inc.

Chair Porter introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is located in the East Lake Morton Historic District and consists of two platted parcels with a total area of 0.23 acres. This lot is currently vacant, but previously had a two-story house and garage apartment building containing a total of three dwelling units. The buildings were demolished due to structural failure after the principal dwelling's roof collapsed. The property is zoned for multi-family residential use.

The Applicant proposes to construct a new two-story building containing three separate townhouse units. Units A and C will have 1,749 square feet of living area, and Unit B will have 1,835 square feet of living area. Aesthetically, the building will feature a neo-traditional style reflecting Craftsman architectural elements, including a hipped and gabled roofline, exposed rafter tails, decorative knee brackets, front porches supported by pairs of tapered columns, windows with simulated divided lite upper sashes, and glazed front doors with transoms. Additionally, each unit will have an integrated lanai on the rear elevation. Materials for the proposed building will consist of:

- A concrete stem wall foundation with a painted, sand finish cementitious coating.
- Cladding will consist of painted fiber cement lap siding with a 6" exposure, with fiber cement staggered shingle siding in the gables; and painted fiber cement trim with 4" width.
- White vinyl single-hung sash and fixed windows and glazed, painted vinyl doors.
- The front porches will have brick veneer foundation and column bases; concrete floor; painted fiber cement columns; and cast-in-place concrete steps.
- The 4/12 pitch roof will have architectural asphalt shingles, painted wood rafter tails, and painted wood knee brackets. The wood fascia and fiber-cement eave panels will also be painted.
- The exterior paint colors are to be determined.

The site plan for the proposed project includes a varied front setback of approximately 12 feet and 15.65 feet from the property line, with interior side and rear setbacks that meet the City's Land Development Code requirements. A paved parking area is provided at the rear of the subject property, accessible from a 16-feet-wide driveway connecting to South McKay Avenue on the east side of the property.

Ms. Foster stated that the request was evaluated using Secretary's Standards #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. Staff finds that the proposed building meets the Standards and Design Guidelines in terms of scale, massing, orientation, setbacks, fenestration size and alignment, materials, and compatible neo-traditional design aesthetic. The proposed building's recesses and projections, cohesive mix of architectural features, and varied rooflines help soften the massing of the building. The front façade and primary doors of the building face E. Lime Street with appropriate front porches. Each unit is articulated by traditional architectural features, but presents a cohesive composition. The architectural ornamentation and details of the building are a contemporary interpretation of the Craftsman Bungalow architectural style widely found within the City's residential historic districts and compatible with the historic buildings within the East Lake Morton Historic District. Finally, the building setbacks, height, and the location of the parking area behind the building are appropriate and consistent with the Design Guidelines. While driveways are typically limited to 10 feet in width for single-family new construction within historic districts, the proposed 16-feet-wide driveway is acceptable for this triplex structure, as multiple cars will use the parking area, and the parking is located appropriately behind the structure.

Ms. Foster stated staff recommends final approval for the proposed new townhouse building with the following conditions, to be reviewed by staff prior to permitting:

- 1. Windows must be recessed to provide a shadow line and have a traditional sill; muntins must be dimensional and mounted to the exterior glass.
- 2. Ensure that the front porch column capitals are properly aligned with the upper beams.

Chair Porter asked if the Applicant had any additional comments or questions. Ms. Megan Ray, representing the applicant, was present in support of the request.

In response to Chair Porter, Ms. Ray stated she agrees to staff's recommended conditions.

There were no public comments.

	OTION: Final approval of the request with th nker/R. Jimenez, 5—0).	e conditions recommended by staff. (M.
V.	Other Business: NONE	
VI.	Adjournment: There being no further business,	the meeting was adjourned at 10:29 a.m.
Chair, Des	sign Review Committee	Senior Planner, Historic Preservation

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Certificates of Review - Minor

Date Approved from 2/19/2025 to 3/20/2025

Number

Location

Description Milestone Approved

Historic Preservation (18)

Minor Review (18)

HPB25-018 Certificate of Review Issued 03/20/25

729 JOHNSON AVE, LAKELAND, FL 33801

Installation of 109 linear feet of 6 ft. tall tan vinyl privacy and 27.5 linear feet of 4 ft. tall tan vinyl picket fence along the north side of subject property.

HPB25-040 Certificate of Review Issued 02/19/25

733 WINFREE AVE, LAKELAND, FL 33801

Repairs to the second floor of the existing house caused by a fallen tree to include the same design and materials approved by the Design Review Committee in 2006 (COR 2006-054.)

HPB25-041 Certificate of Review Issued 02/27/25

721 COLLEGE AVE, LAKELAND, FL 33801

Replacement of existing wood fence with new tan vinyl privacy fence 6 ft. high in the rear and side yards of the subject property.

HPB25-042 Certificate of Review Issued 02/19/25

833 ORANGE ST E, LAKELAND, FL 33801

Replace existing fence with same type in same location. 6' Wood Privacy in back yard. 4' white vinyl picket for a 30' run in the front on one side near driveway.

HPB25-043 Certificate of Review Issued 02/21/25

701 PATTERSON ST W, LAKELAND, FL 33803

Remove and replace dilapidated columns and beam. Replacement columns and beam will match the original in profile, dimension, and materials.

<u>HPB25-046</u> Certificate of Review Issued 02/26/25

1102 FLORIDA AVE S, LAKELAND, FL 33803

Replace tenant panel on existing 11.25 SF wall sign.

HPB25-047 Certificate of Review Issued 02/26/25

1102 FLORIDA AVE S, LAKELAND, FL 33803

Replace tenant panel on existing 11.25 SF wall sign.

<u>HPB25-050</u> Certificate of Review Issued with 03/12/25

Conditions

518 FRANCIS BLVD, LAKELAND, FL 33801

518-522 Francis Blvd. Duplex building at front of subject property. Replacement of 4 existing jalousie windows and two metal single-hung windows at rear, size for size. Replacement windows will be vinyl horizontal sliding windows (FL#16092.9).

Intuitive Municipal Solutions, LLC

1 of 2 Created:

iMS

Certificates of Review - Minor

Date Approved from 2/19/2025 to 3/20/2025

03/03/25

HPB25-051 Certificate of Review Issued with

522 FRANCIS BLVD, LAKELAND, FL 33801

522 Francis Blvd. Third dwelling unit located in the back yard of subject property. Replacement of existing windows size for size. Existing windows consist of 5 jalousie and 2 metal single hung sash windows. Replacement windows will be vinyl horizontal sliding windows (FL#16092.9)

HPB25-052 Certificate of Review Issued 03/06/25

732 PARK HILL AVE, LAKELAND, FL 33801

Existing damaged back yard chain link fence will be removed and replaced with 6 ft. tall white vinyl privacy fence. 6 ft. tall wood board-on-board fence will be installed where fence faces the street and connects at the sides of the house.

HPB25-053 Certificate of Review Issued 02/28/25

733 PALMETTO ST E, LAKELAND, FL 33801

Hanging sign from L-shaped pole installed into the ground in front of building.

HPB25-056 Certificate of Review Issued 03/05/25

1925 CHEROKEE TRL, LAKELAND, FL 33803

Replace 2 sides of the rear fence, one side is 100 ft. long, the other is 130 ft.

HPB25-060 Certificate of Review Issued 03/12/25

1123 MELTON AVE, LAKELAND, FL 33803

REPLACE (1) FRONT ENTRY DOOR UNIT (SIZE/SIZE) - FULL LITE - FL32108.1. Prairie style fiberglass door with a 9-lite

HPB25-061 Certificate of Review Issued 03/17/25

317 BELMAR ST E, LAKELAND, FL 33803

Installing 111 linear feet of 36-inch tall black 3-rail Avalon residential aluminum fence and one (1) 36-inch x 60-inch aluminum walk gate.

HPB25-062 Certificate of Review Issued 03/17/25

621 FLORIDA AVE S, LAKELAND, FL 33801

Repainting building using SW 7075 Web Gray and front door red. Brick cladding is not permitted to be painted.

HPB25-063 Certificate of Review Issued 03/19/25

1025 SOUTH BLVD, LAKELAND, FL 33803

Remove existing 5V crimp metal roofing and re-roof using 5V crimp metal roofing (FL#29444.4).

HPB25-065 Certificate of Review Issued 03/20/25

801 JOHNSON AVE, LAKELAND, FL 33801

6' wooden board on board privacy fence installed in the rear yard of subject property.

Total Projects Approved: 18

Intuitive Municipal Solutions, LLC 2 of 2



HISTORIC PRESERVATION BOARD DESIGN REVIEW COMMITTEE STAFF REPORT March 27, 2025

Project #	HPB25-035
Project Type	Accessory Structure over 300 Square Feet in Area
Property Address	729 Johnson Avenue
Historic District;	South Lake Morton Historic District;
FMSF#	#PO00570
Owner/Applicant	Gary and Mary Witte / Master Garage Builders Inc.
Zoning; Context District;	RA-4; Residential Medium;
Future Land Use; SPI	Urban Neighborhood; South Lake Morton SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	Fence, 2/6/2009 (2009-011)

REQUEST

The Applicant requests Final Approval to construct a detached garage in the rear yard of the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property is an interior lot (TH Johnson's Subdivision, Block C, Lots 8 and 9) consisting of 0.32 acres in the Lake Morton neighborhood. On the property is a one-story single-family house, constructed circa 1920 in the Bungalow architectural style, which is a contributing building in the South Lake Morton Historic District. The house is of frame construction and has a gabled roof with an integrated porte cochere and gabled front porch supported by tapered columns on stuccoed bases. The house features lapped wood siding and one-over-one wood windows.

The Applicant requests to build a new detached accessory structure towards the rear, northwest corner of the subject property. This structure will be used as a detached garage and storage. The exterior dimensions of the proposed structure are 20 feet by 30 feet, for a total area of 600 square feet. The structure will have a gabled roof with a 7/12 pitch. Along with a typical roll-up garage door on the south (right) elevation, the building will have a also have a man door on this elevation. Two windows are proposed for the rear elevation. No windows are proposed for the north (left) or front elevations. Materials proposed to be used for the garage include:

Scope	Material
Foundation	Concrete slab
Exterior Cladding	James Hardie (fiber-cement) lap siding with a 6-inch exposure
Windows	Vinyl windows with a one-over-one lite configuration
Doors	Steel garage door, fiberglass man door
Roof	Architectural shingles
Fascia/Soffit	TBD

The plans submitted for this request show building setbacks and height that comply with the City's Land Development Code requirements for general accessory structures.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's Design Guidelines for Historic Properties ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following Standards apply to this project:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.9.2: Secondary Structures

- Accessory structures that complement the architectural character of the principal house through the use
 of similar materials and simplified architectural elements.
- Accessory structures should be placed towards the rear of the property to minimize visibility from the street. Use of landscape screening and/or privacy fencing to reduce visibility of storage sheds and other utilitarian-designed outbuildings is recommended.
- Detached accessory structures that are excessively large and compete with the scale, massing, or height of the primary structure are not acceptable.
- Secondary structures with a gambrel or "barn style" roof form are not acceptable.

Sub-Chapter 4.10: Garages, Carports, and Porte Cocheres

- Detached garages and carports placed behind the front elevation of a principal historic structure, except for Ranch style houses, which may have an attached garage.
- Garages that are visibly subordinate to the principal historic structure in terms of their massing, form, and height.
- Garages and carports that are related to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- Garage doors in proportions and materials similar to those traditionally found in the historic districts.

ANALYSIS:

Staff finds that the proposed accessory structure does not disturb the spatial relationships of surrounding buildings, and the essential form and integrity of the principal house is maintained.

In evaluating the request with the Design Guidelines, staff finds the subordinate scale of the proposed structure and its simplified design to be consistent with the Design Guidelines. Staff also finds the materials and roof form to be compatible with the principal house on the subject property, as well as the proposed location at the rear of the lot. However, staff recommends the following revisions to the request with the intent of making the proposal more compatible with the principal house and character of the residential buildings along Johnson Avenue:

- 1. Lower the roof pitch to 6/12 or the actual pitch of the roof of the principal house on the subject property, whichever is less.
- 2. Ensure that the dimensions of corner boards and door and window trim is at least 4 to 6 inches wide, and includes an 8 to 10-inch frieze board at both gable ends.
- 3. As the accessory building will be visible from Johnson Avenue, add two evenly spaced windows to the front elevation (can mirror the rear elevation windows).

Finally, the proposal conforms with the requirements of Land Development Code concerning accessory structures.

STAFF RECOMMENDATION:

Final Approval of the request with the following conditions, to be approved by staff prior to permitting:

- 1. Lower the roof pitch to 6/12 or the actual pitch of the roof of the principal house on the subject property, whichever is less.
- 2. Ensure that the dimensions of corner boards and door and window trim is at least 4 to 6 inches wide, and includes an 8 to 10-inch frieze board at both gable ends.
- 3. As the accessory building will be visible from Johnson Avenue, add two evenly spaced windows to the front elevation.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation

Liaison to the Historic Preservation Board



Legal Description

8 and 9, Block D, T. M. JOHNSON'S SUBDIVISION, according the plat thereof, as recorded in Plat Book 4, Page(s) 55, of the blic Records of Polk County, FL.

mmunity number: 120267 Panel: 0315

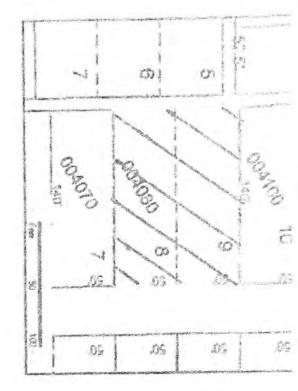
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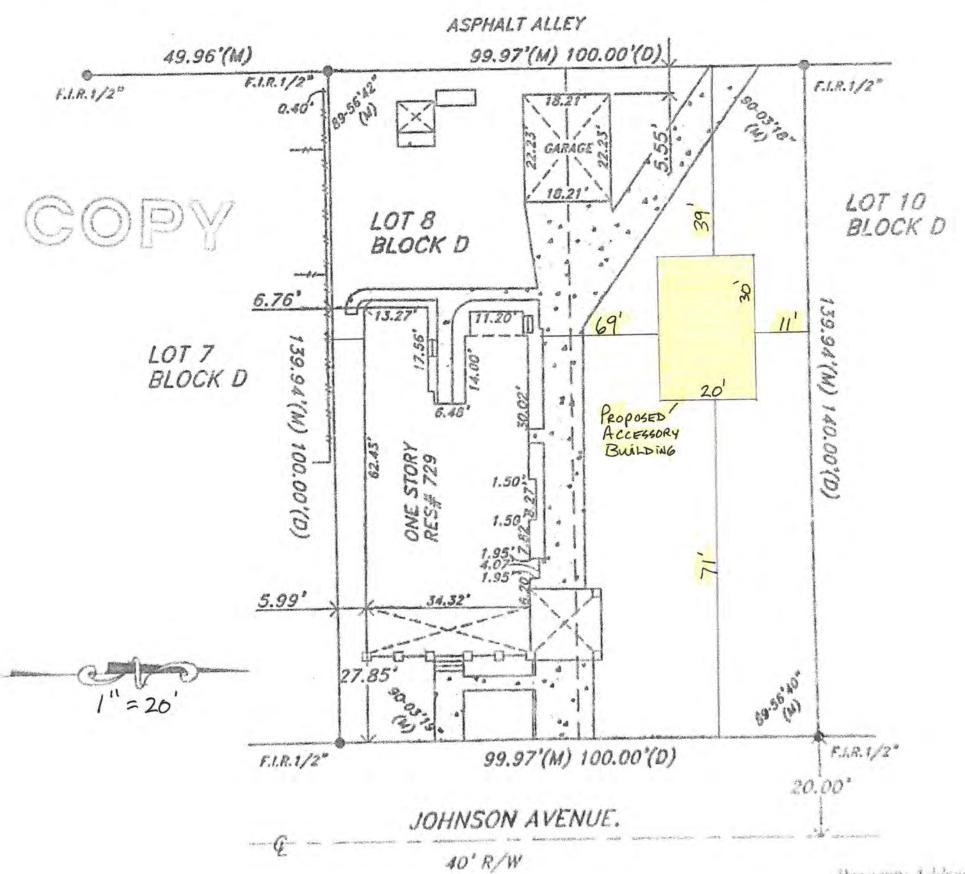
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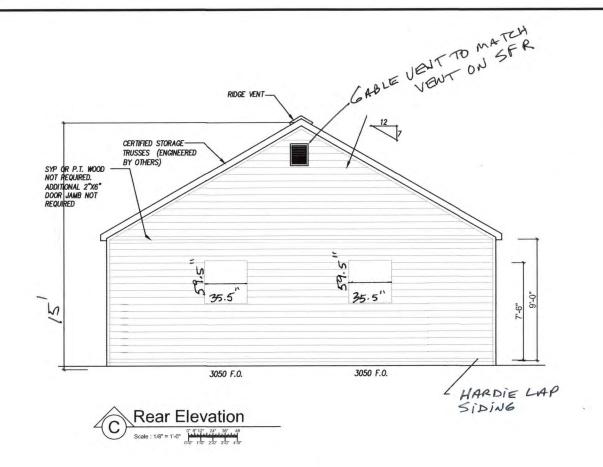
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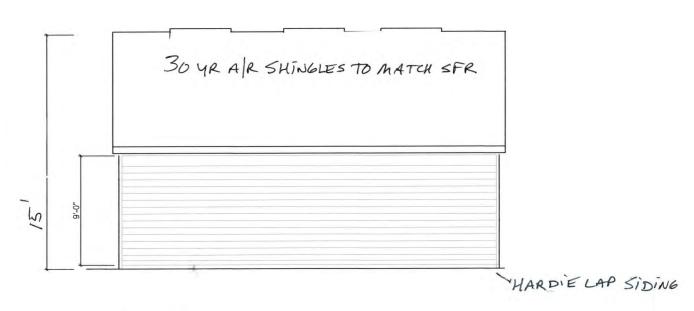
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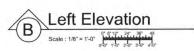
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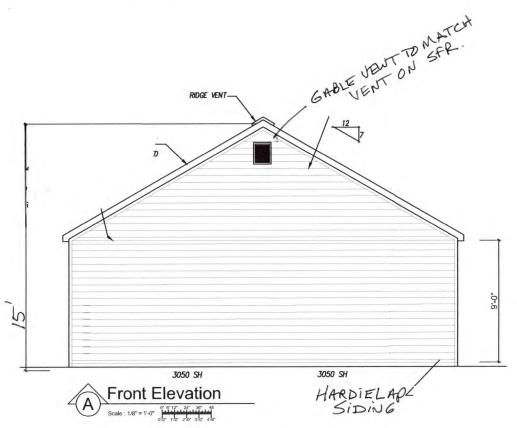












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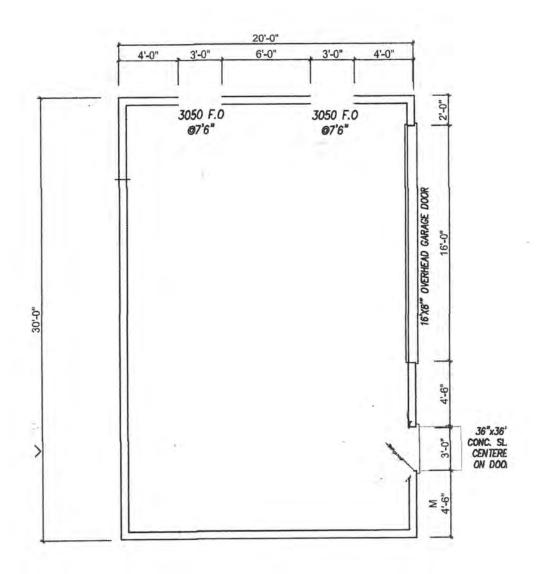
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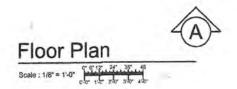
PRES. Master Garage Builders Inc.

DRAWING TYPES:

DETAILS

of 4 JAN 2025







HISTORIC PRESERVATION BOARD DESIGN REVIEW COMMITTEE STAFF REPORT March 27, 2025

Project #	HPB25-037
Address; Historic Name	708 Frank Lloyd Wright Way; Edwin and Maxine Bentley House (CD 1950)
Owner/Applicant	Matthew and Elizabeth Roush / Thomas Stull, Esterline Construction
Project Type	Building Addition and Detached Garage
Historic District; FMSF#	South Lake Morton Historic District; #PO9614
Zoning; Future Land Use;	RA-4; Residential Medium
Context District; SPI	Urban Neighborhood; South Lake Morton SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	Enclosed 2 windows, 2/16/2005 (2005-017); Fence, 10/8/2005 (2005-146);
	Replace front windows, 3/22/2007 (2007-058); Fence, 11/23/2022 (HPB22-
	256); Replace front door, 11/19/2024 (HPB24-243)

REQUEST

The Applicant requests Final Approval to construct a building addition onto the west side elevation of the house and a detached garage at the rear of the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property is a corner lot (Orange Park Addition Subdivision, Block A, Lots 24, 25, & 26) with a total area of 0.71 acres.

On this property is a single-family house that is a contributing building in the South Lake Morton Historic District as of the 2023 resurvey of this District. Built in 1949 in the Classical Revival architectural style, this house is of masonry construction and is composed of a two-story central building with one-story wings on either side; the wing on the left matches the depth of the central portion of the house, while the wing on the right is stepped back from the front and rear elevations. The exterior walls of the house are clad in brick with exposed mortar joints on the front elevation and vinyl siding clads portions of the side and rear elevations. Vinyl sash windows with sandwiched muntins and decorative non-functional shutters are present. The low-pitched, side gabled roof of the house extends over a full-height front porch supported by simple square columns with no capital or base. A decorative balcony over the central front door and wrought iron railing between porch columns are modest features of this house that exhibit its architectural style.

In addition to the principal house, a one-story masonry duplex building also exists on the subject property. This Ranch-style duplex was built in 1962 and is a contributing building in the South Lake Morton Historic District as of the 2023 resurvey. No changes are proposed to the exterior of this building.

The requested project involves the construction of an addition to the principal house and a detached garage at the rear of the property.

1. The addition is proposed to be built on the west side elevation of the house, adding a second story to and enlarging the existing wing on the left side of the house. The roof form and pitch of the addition will match the existing house, and the front and rear walls will be flush to the existing house. A one-story, gable-roofed porch is proposed as part of the addition on the west side elevation. The requested addition is

approximately 822 square feet and the porch is 290 square feet. As part of this project, the entire house and addition is proposed to be clad in fiber-cement lap siding on all sides. In addition, new trim is proposed to be added to the existing and new porch columns to give the appearance of double banding at the top of the columns and a base at the bottom.

2. A detached, two-story garage is proposed to be constructed behind the house, and will be accessed from the alley to the east of the subject property. The garage is proposed to 24.7 feet by 27.3 feet, approximately 674 square feet in size.

The materials for the addition and garage include:

Scope	Material
Foundation	Concrete slab foundation
Exterior Cladding	Fiber-cement lap siding with a 4-inch exposure and fiber-cement trim
Windows	Vinyl single-hung windows with Colonial muntins (between glass) to match existing
Doors	Fiberglass quarter-lite and full-lite doors; steel garage door
Roof	Standing seam metal roofing
Porch Columns	Hardie-board wrap to match style of existing front porch columns
Fascia/Soffit	Material TBD; fascia and soffit to match existing

Since this application was submitted, some details have been changed: window shutters and added railings as shown on the elevation drawings have been removed from the proposal.

The site plan for the subject property shows building setbacks for both the addition and detached garage that comply with the Urban Form Standards in the Land Development Code.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines* for Historic Properties ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard #5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction Sub-Chapter 4.5: Additions

- Ensure that Historic Buildings Remain the Central Focus. An addition should not damage or obscure
 architecturally important details and materials of the primary structure or other resources on the site.
 Additions should be distinguishable from the original structure without distracting from it.
- False Historicism/Conjectural History is Discouraged. Design additions should reflect their era of
 construction while respecting the historic context and architectural style of the original structure. Avoid
 using architectural details for additions that are more ornate than those found on the original structure
 or that are not characteristic of the original structure's architectural character.
- Additions that protect and maintain original architectural features during construction are appropriate.
- Additions that minimize the loss of any architectural details or features are appropriate.
- Additions that are subordinate to and compatible with the style and scale of the host structure are appropriate.
- Side additions that are located behind the principal street-facing façade, or rear additions that are unnoticeable from the street or setback considerably from the street-facing façade are appropriate.
- Additions that are designed with some distinction between the historic house and non-historic features are appropriate.
- Additions that are differentiated from the host structure, e.g. by a recess in wall plane, lower roof height, or vertical trim piece are appropriate.

Sub-Chapter 4.10: Garages, Carports, and Porte Cocheres

- Detached garages and carports placed behind the front elevation of a principal historic structure, except for Ranch style houses, which may have an attached garage.
- Garages that are visibly subordinate to the principal historic structure in terms of their massing, form, and height.
- Garages and carports that are related to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- Garage doors in proportions and materials similar to those traditionally found in the historic districts.

ANALYSIS:

In evaluating the request with the Standards, staff finds the requested addition and detached garage do not disturb the spatial relationships that characterize the property, due to the unusually large lot size and building setback. However, to comply with Standards #5 and #9 and the Design Guidelines that require distinctive materials be preserved and additions be differentiated from the house, staff recommends maintaining the existing brick and exposed mortar on the front elevation of the house as it currently exists. Fiber-cement lap siding may be used on the building addition and east and north elevations of the house. Window shutters should be maintained on the front elevation.

In evaluating the request with the Design Guidelines, the fiber-cement lap siding to be used on the proposed addition and rear and east elevations of the house is compatible with style of lap siding currently existing on the house, and materially more appropriate than vinyl siding. The design and materials of the proposed addition's windows, doors, and roof pitch and form is consistent with the Classical Revival style of the subject house. Furthermore, the addition is appropriately placed on a side elevation of the house. However, according to the Design Guidelines, metal roofing (standing seam and 5V crimp) is appropriate only for certain architectural styles: Colonial Revival, Queen Anne, Frame Vernacular, Shotgun, and Craftsman Bungalow; because Classical Revival is not included in this list, staff recommends using typical asphalt or fiberglass shingle roofing instead of metal

roofing. Additionally, staff recommends not adding trim to the front porch columns to maintain the historic appearance of this house.

Staff finds that the materials and design of the detached garage are consistent with the Design Guidelines and subordinate in scale to the principal house. The location of the garage at the rear of the property and behind the house is also appropriate. However, because the second floor of the garage is considered to be an accessory dwelling unit, which is not permitted under the single-family residential zoning classification of this property due to the existing duplex and use nonconformity, staff recommends changing this structure to a one-story configuration. A two-story garage that does not contain an ADU on the second floor (storage space only) is not permitted by the Land Development Code.

STAFF RECOMMENDATION:

Final Approval of the request with the following conditions, to be reviewed and approved by staff prior to the issuance of a building permit:

- 1. Maintain brick and exposed mortar as existing on the front elevation of the house.
- 2. Use typical asphalt or fiberglass shingle roofing.
- 3. Do not add decorative trim to the front porch columns.
- 4. Windows shall be recessed to provide a shadow line.
- 5. Change the detached garage to a one-story structure maintaining the same roof form and pitch.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation

Staff liaison to the Historic Preservation Board









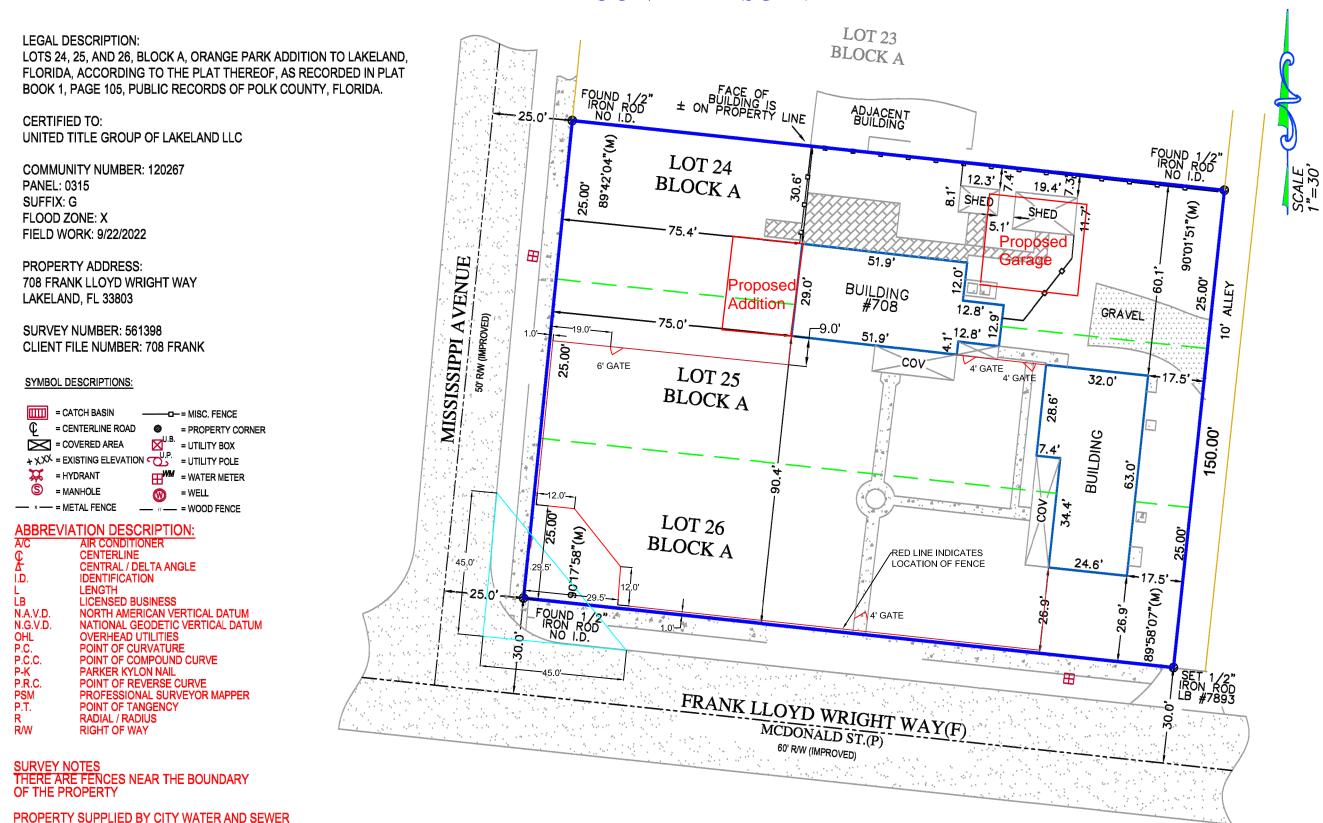








PAGE 1 OF 1 **BOUNDARY SURVEY**



GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS
 THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED. WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- ONLY VISIBLE ENCROACHMENTS ARE LOCATED.

DIMENSIONS SHOWN HEREON ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED FENCE OWNERSHIP NOT DETERMINED ELEVATIONS, IF SHOWN, ARE BASED ON N.G.V.D. 1929 DATUM, UNLESS OTHERWISE NOTED. IN SOME INSTANCES, GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

REVISIONS:

SURVEYORS CERTIFICATE:
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE
AND CORRECT REPRESENTATION OF A SURVEY PREPARED
UNDER MY DIRECTION. NOT VALID WITHOUT A RAISED
EMBOSSED SEAL AND SIGNATURE.

Pigitally signed by
Kenneth Osborne

(SIGNED)

OSDOTH

Date: 2022.09.26

6250 N. MILITARY TRAIL, SUTE 102 WEST PALM BEACH, FL 33407 PHONE (561) 640-4800 STATEWIDE PHONE (800) 226-4807 STATEWIDE FACSIMILE (800) 741-05 WEBSITE: http://targetsurveying.net

SURVEYING, LLC

LB #7893 SERVING FLORIDA

KENNETH J OSBCÆNE PROFESSIONAL SURVEYOR AND MAPPER #6415

EXISTING/DEMO FLOOR PLAN

THE CLIENT UNDERSTAND THAT THE DESIGNER CARRIES NO LIABILITY INSURANCE AND THEREFORE AGREE TO HOLD HARMLESS, INDEMNIFY, AND EXPENSES (INCLUDING REASONABLE ATTORNEY FEES) ARISING OUT OF OR RESULTING FROM THE PROJECT. THE DESIGNER WILL IN GOOD FAITH ATTEMPT TO PROVIDE ERROR FREE CONSTRUCTION DRAWINGS, BUT IN THE EVENT ERRORS OCCUR THE DESIGNER WILL NOT BE LIABLE FOR COST OF REPAIRS OR DELAY TO THE CONSTRUCTION. LAM NOT AN ARCHITECT BUT A DRAFTSMAN WORKING UNDER THE DIRECT SUPERVISION OF THE ENGINEER INVOLVED.

HEREBY CERTIFY:

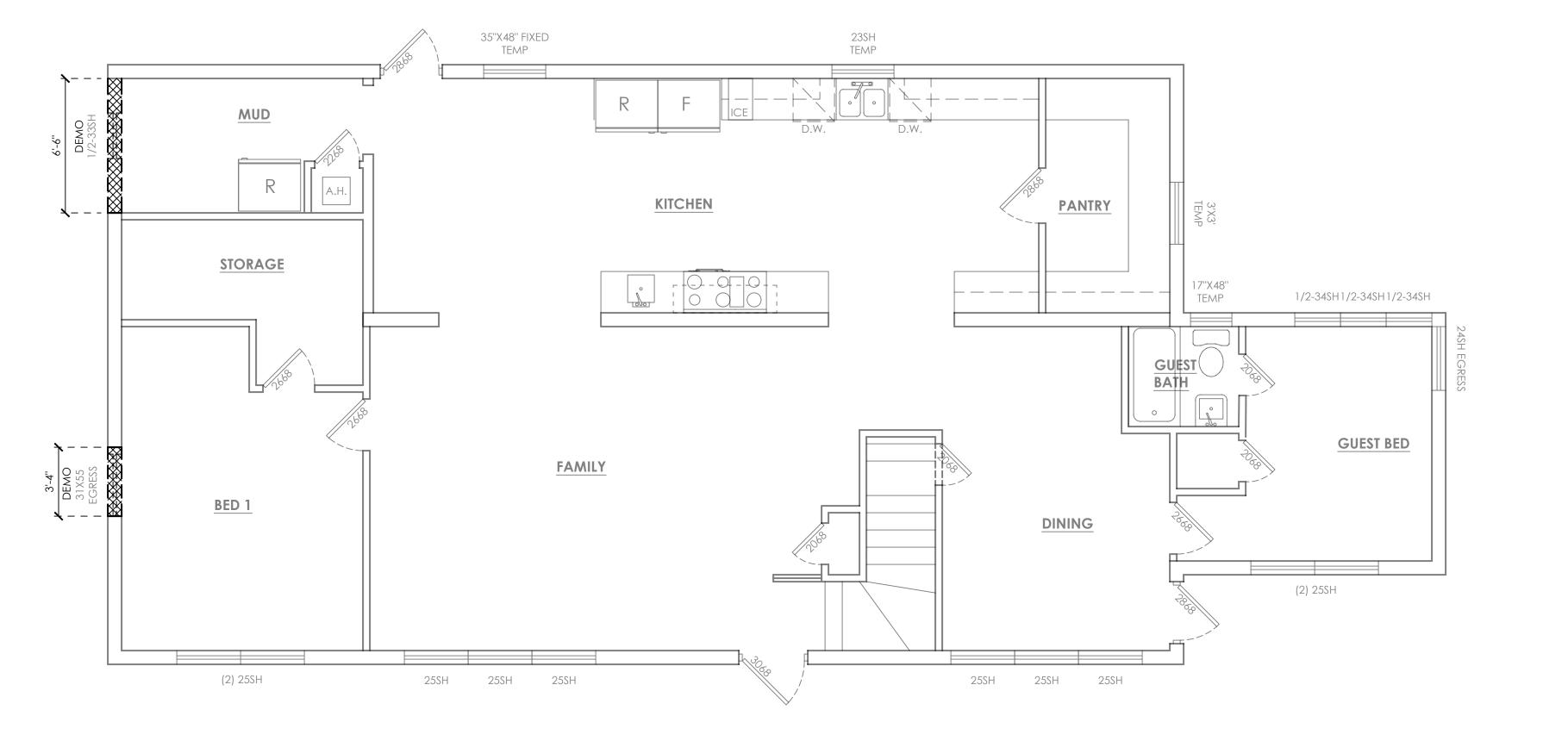
THAT THE CONSTRUCTION PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE ENTIRE 7TH EDITION OF THE 2020 FLORIDA BUILDING CODE FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

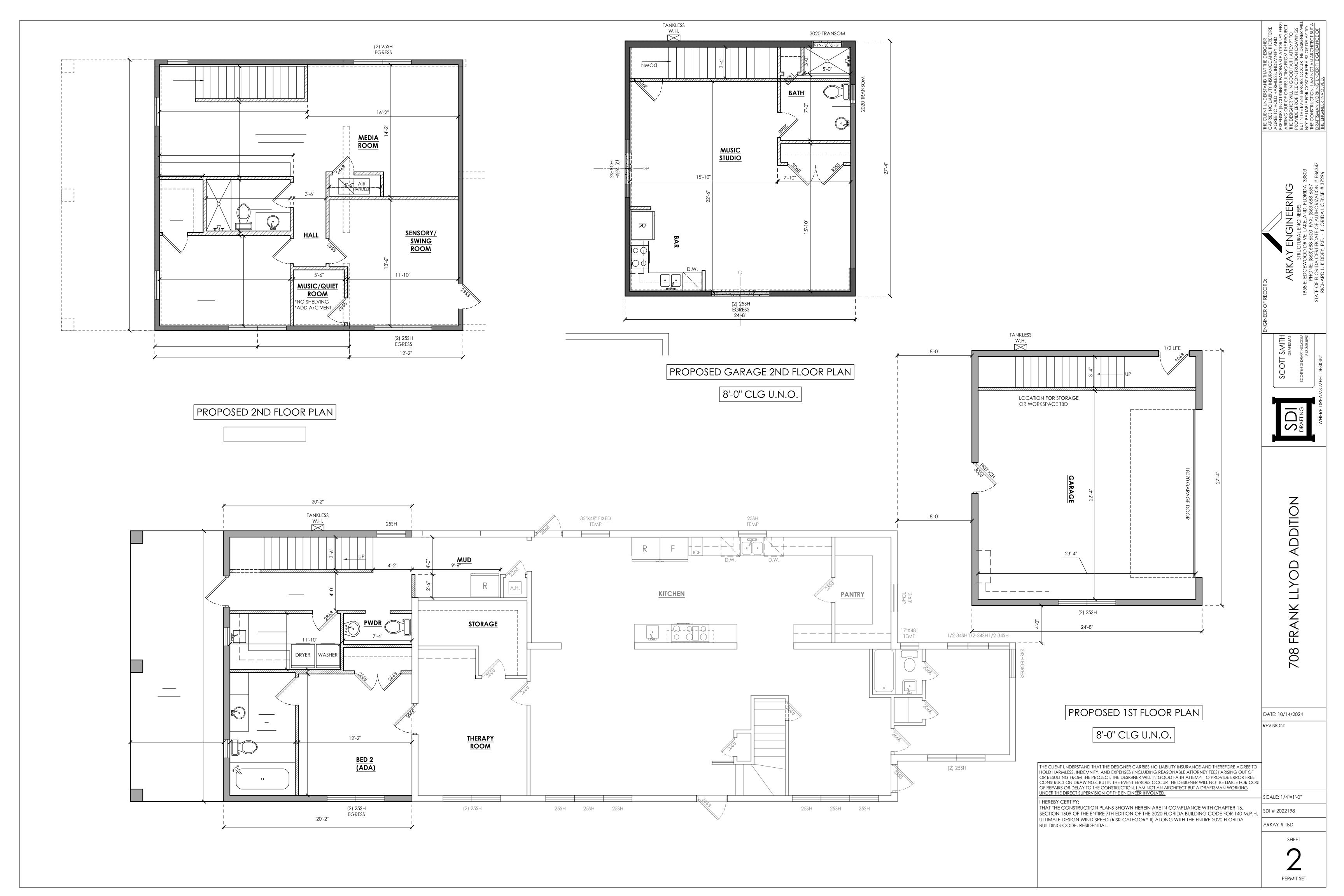
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ARKAY # TBD

SHEET

PERMIT SET





08

EXISTING/DEMO ELEVATIONS

THE CLIENT UNDERSTAND THAT THE DESIGNER CARRIES NO LIABILITY INSURANCE AND THEREFORE AGREE TO HOLD HARMLESS, INDEMNIFY, AND EXPENSES (INCLUDING REASONABLE ATTORNEY FEES) ARISING OUT OF OR RESULTING FROM THE PROJECT. THE DESIGNER WILL IN GOOD FAITH ATTEMPT TO PROVIDE ERROR FREE CONSTRUCTION DRAWINGS, BUT IN THE EVENT ERRORS OCCUR THE DESIGNER WILL NOT BE LIABLE FOR COS' OF REPAIRS OR DELAY TO THE CONSTRUCTION. I AM NOT AN ARCHITECT BUT A DRAFTSMAN WORKING UNDER THE DIRECT SUPERVISION OF THE ENGINEER INVOLVED

I HEREBY CERTIFY:

THAT THE CONSTRUCTION PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE ENTIRE 7TH EDITION OF THE 2020 FLORIDA BUILDING CODE FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

SCALE: 1/4" = 1'-0"

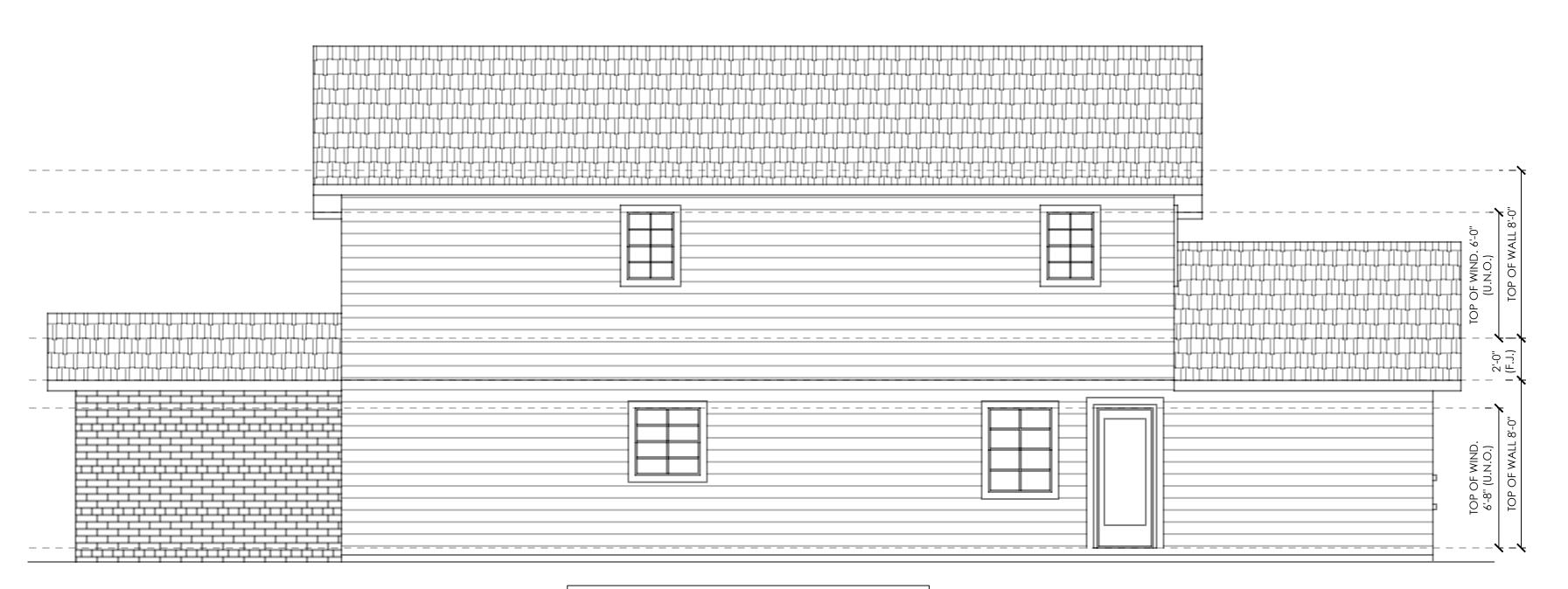
SDI # 2022198 ARKAY # TBD

SHEET

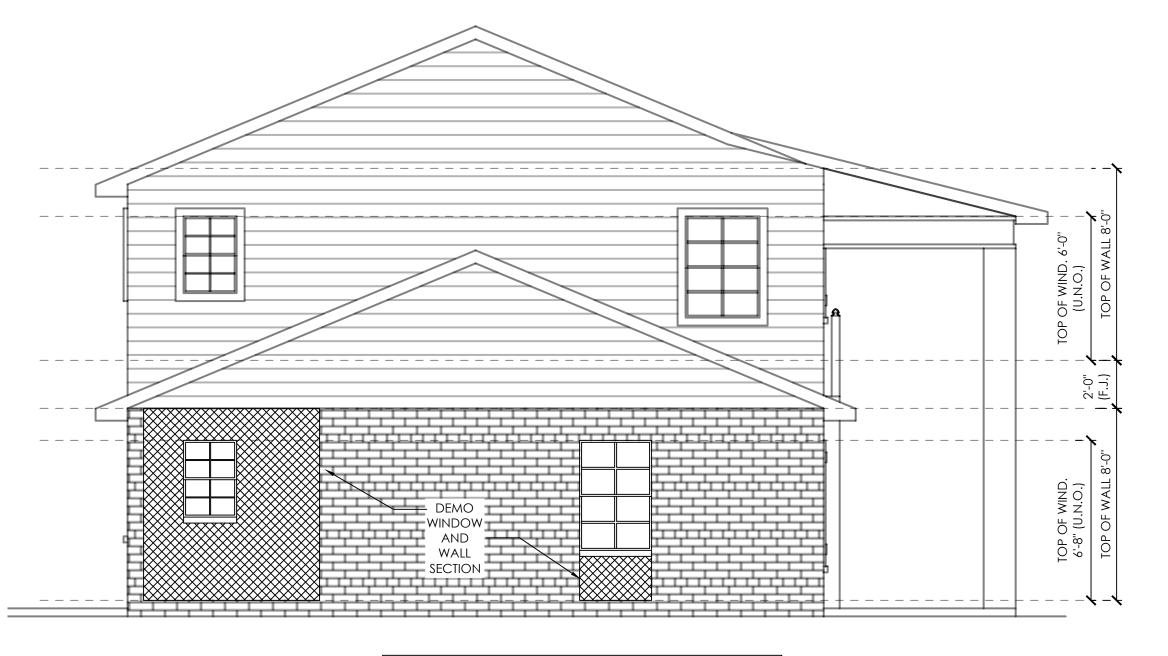
PERMIT SET



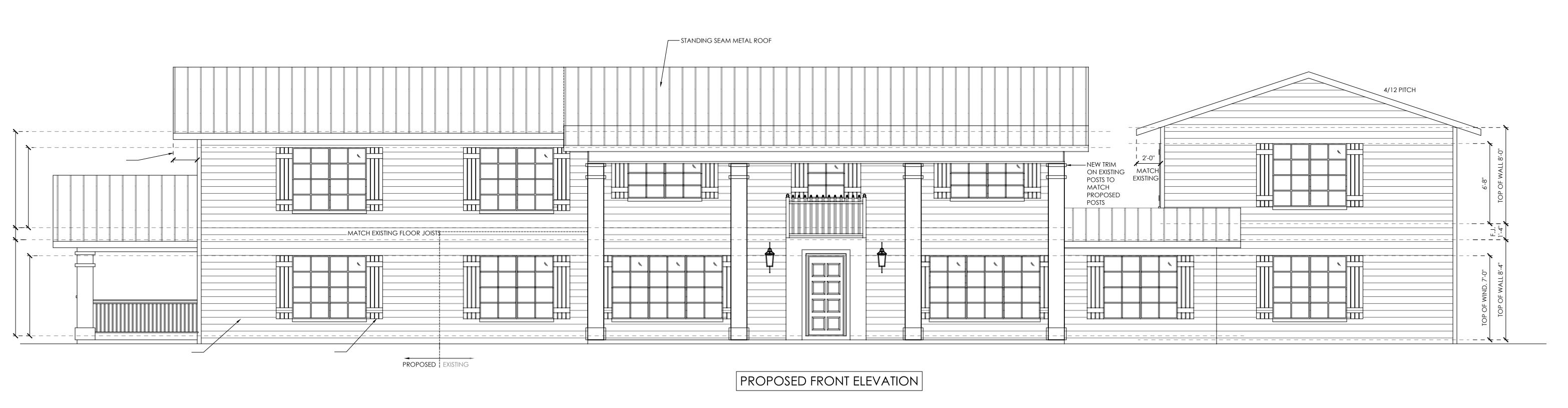
EXISTING/DEMO FRONT ELEVATION



EXISTING/DEMO REAR ELEVATION



EXISTING/DEMO LEFT ELEVATION





PROPOSED RIGHT SIDE ELEVATION

SCOTT SMITH DRAFTSMAN **DDITION** LLYOD FRANK 708 DATE: 10/14/2024 REVISION: SCALE: 1/4"=1'-0"

THE CLIENT UNDERSTAND THAT THE DESIGNER CARRIES NO LIABILITY INSURANCE AND THEREFORE AGREE TO HOLD HARMLESS, INDEMNIFY, AND EXPENSES (INCLUDING REASONABLE ATTORNEY FEES) ARISING OUT OF OR RESULTING FROM THE PROJECT. THE DESIGNER WILL IN GOOD FAITH ATTEMPT TO PROVIDE ERROR FREE CONSTRUCTION DRAWINGS, BUT IN THE EVENT ERRORS OCCUR THE DESIGNER WILL NOT BE LIABLE FOR COST OF REPAIRS OR DELAY TO THE CONSTRUCTION. LAM NOT AN ARCHITECT BUT A DRAFTSMAN WORKING UNDER THE DIRECT SUPERVISION OF THE ENGINEER INVOLVED. THAT THE CONSTRUCTION PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE ENTIRE 7TH EDITION OF THE 2020 FLORIDA BUILDING CODE FOR 140 M.P.H. SDI # 2022198 ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA ARKAY # TBD SHEET

PERMIT SET

BUILDING CODE, RESIDENTIAL.





HISTORIC PRESERVATION BOARD DESIGN REVIEW COMMITTEE STAFF REPORT March 27, 2025

Project #	HPB25-044
Project Type	Internally Lighted Projecting Sign
Property Address	215 E. Main Street
Historic Name(s)	Elliston Building
Historic District; FMSF#	Munn Park Historic District; #PO00429
Owner/Applicant	Lakeland Main LLC / Dixie Signs Inc.
Zoning; Future Land Use;	C-7; Regional Activity Center;
Context District; SPI	Urban Center; N/A
Existing Use	Commercial
Adjacent Properties	Commercial and Civic
Previous Approvals	Major Rehabilitation, 7/28/2016 (HPB16-039); Wall Sign, 12/15/2016
	(HPB16-214);

REQUEST

The Applicant requests Final Approval for an internally lighted projecting sign to be installed on the subject building's front/north elevation wall.

SUMMARY OF BACKGROUND INFORMATION

The subject property is located in downtown Lakeland and consists of one platted lot (Munns Survey Block 18, Lot C) that is 0.11 acres in area.

The subject building, known as the Elliston Building, is a circa 1912 masonry vernacular commercial building that is two stories in height with a parapet roof, and is contributing to the Munn Park Historic District. This building's storefront has been altered throughout the years, but originally was flush with the front façade wall and featured a classical entablature with square columns, divided storefront windows, and a central entry. The new storefront, which was designed to reflect a modern version of the original storefront, which was approved by the Design Review Committee in 2016 and constructed in 2017. Materials for the storefront include cast stone, brick, glass and white aluminum storefront framing and doors.

This building consists of two tenant spaces: Nineteen61 restaurant on the first floor, commercial offices on the second floor, and Vasco, a rooftop bar that is part of the Nineteen61 restaurant.

The request is to install an internally lighted projecting sign on the left side of the front facade of the subject building, near the left entry door. The overall size of the sign is 7.11 square feet (32 inches by 32 inches), and the sign will project a total of 38 inches. The design of the sign consists of a two-sided round aluminum cabinet painted dark blue with a quarter inch aluminum face painted white. The sign face will have half-inch acrylic push-thru letters with applied vinyl graphics and a half-inch acrylic stud mounted center flower panel with applied vinyl graphics. Graphics to be custom corporate colors. The sign will be internally illuminated with white LEDs. The sign bracket consists of three two-inch square aluminum tubes welded to a quarter-inch thick aluminum mounting plate painted dark blue and gold.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's Design Guidelines for Historic Properties ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code (LDC), Article 11: Historic Preservation Standards. In addition to these standards, the Dixieland CRA Commercial Corridor Design Guidelines ("Sign Guidelines") are used to review signage design in commercial areas within the City's Historic Districts.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.12.9 Signage and Awnings

- Retention and maintenance of original signage and awnings.
- Replace original signage, awnings and canopies that are deteriorated with similar features that are compatible with the host structure.
- Signage, awnings and canopies that create contrasting conditions or incompatible with the requirements in the Land Development Code are not acceptable.

The following *Dixieland CRA Commercial Corridor Design Guidelines* apply to this request: Chapter VI. Miscellaneous Standards, Section C. Sign Standards

- Projecting signs are a permitted sign type.
- Cabinet signs are prohibited.
- Signs shall relate to, and help define and enhance, the architectural features of the building, rather
 than cover or disturb design features, and shall be placed to establish façade rhythm, relative to the
 architecture of a building.
- The scale of signs shall be appropriate for the building on or near which they are placed and the area in which they are located. The size and shape on a sign shall be proportional with the scale of the structure. Small storefronts shall have smaller signs than larger storefronts.
- Signs shall be designed so that they are integrated with the design of the building and the building's
 use. A well-designed building façade or storefront is created by the careful coordination of sign
 design, architectural design, and color scheme.
- Pedestrian-oriented signs are encouraged. These signs shall be read easily and comfortably from the sidewalk or street.
- Creative design is strongly encouraged; colors shall be selected which contribute to legibility and design integrity.
- Graphics on all signs shall be dimensional in nature.
- Projecting Signs: Each business or tenant shall have no more than one (1) projecting sign per building. Projecting signs mounted at a height of fifteen (15) foot or lower from the finished sidewalk to the bottom of the sign shall not exceed eight (8) square feet. Projecting signs mounted higher than fifteen (15) foot from the finished sidewalk to the bottom of the sign shall not exceed twenty-five (25) square feet in sign area. Projecting Signs shall be located adjacent to the building entrance or tenant space. Projecting signs may only project forty-two (42) inches from the building wall. Projecting signs shall maintain an eight (8) foot clearance, between the finished sidewalk and the bottom of the sign, in all pedestrian walkways. Projecting signs shall not extend over public or private streets, parking lots, or street accesses.

ANALYSIS:

Typically, requests for new signage can be reviewed by staff under Minor Review. However, internally lighted signs must receive approval by the Design Review Committee according to the *Dixieland CRA Commercial Corridor Design Guidelines*.

Staff finds that the design, dimensions, including projection and sidewalk clearance, and internal illumination of the proposed sign meet the Sign Guidelines and Standards. Additionally, the proposed sign is not determined to be cabinet signage due to only the logo and text being lighted.

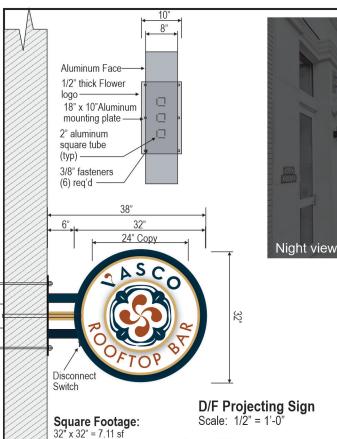
STAFF RECOMMENDATION:

Final Approval of the request as submitted.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation

Liaison to the Historic Preservation Board





Scope of Work:

· Fabricate and Install Projecting Sign

Projecting Sign: Aluminum fabricated 32" Round Cabinet painted Dk Blue with 1/4" Aluminum face painted white with 1/2" Acrylic push-Thur letters with applied vinyl graphics and 1/2" acrylic stud mounted Center Flower panel with applied vinvl graphics. Graphics to be custom Corporate colors.

Lighting: Internally illuminated with white LEDs.

Bracket: Aluminum fabricated (3) each 2" square aluminum tubes welded to 1/4" thick aluminum mounting plate painted Dark Blue and Gold.

R166 G82 B11 R31 G64 B81

FL requires for all electric Colors: signs either a photo cell plus standard time clock - or - an astronomic time clock to pass separate final elect, inspection. Metallic Gold



Job Name:

Nineteen Sixty-One

Vasco Sixty-One

Projecting Sign

Job Address: 215 E. Main St.

Lakeland, FL 33801

Job #:

Date: 9-12-24

SP: paw

Drawn by: ams

File: PLT/N/Nineteen

Sixty One/Vasco Sixty One/ Projecting Wall Sign r1.cdr

Sheet No.

r1

REVISIONS

Rev / date/ by / description

R1/-16-24/AMS/Combinded the top sign with the bottom bracket and updated bottom copy to "Rooftop Bar



2930 Drane Field Rd. Lakeland, FL 33811 863.644.3521 fax 644.3524 www.dixiesiansinc.com

NOTICE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY DIXIE SIGNS INC. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY DIXIE SIGNS INC. THIS DRAWING IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION. NOR IS IT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN PERMISSION FROM DIXIE SIGNS, INC.

PLEASE CHECK THOROUGHLY: We cannot be held responsible if you APPROVE an incorrect art proof.

I HAVE REVIEWED	THE ABOVE	SPECIF	ICATIONS,	FULLY UNDERSTAND	THE WORK TO BE PERFORMED	, AND	HEREBY	AUTHORIZE	E THIS PROJECT TO BEGIN.
CLIENT APPROVAL:	DATE:	1 1	OK to	proceed with NO CHANGES	LANDLORD APPROVAL:	DATE:	/	/ 🖳	OK to proceed with NO CHANGES

SIGNED:

(Allowed 8' max.

8' min. clearance)

(ŲL

Sign is UL wired and labeled UL approved

Complies with current NEC

Note: City of Lakeland,

(National Electric Code)

Dixie Signs, Inc. UL#E133744

projection and

■ OK to proceed with NO CHANGES ☐ Make changes and SHOW ANOTHER PROOF OK to proceed with NOTED CHANGES

LANDLORD APPROVAL: DATE: ____/___/ SIGNED:

☐ OK to proceed with NO CHANGES ☐ Make changes and SHOW ANOTHER PROOF

OK to proceed with NOTED CHANGES



Sign is UL wired and labeled UL approved Dixie Signs, Inc. UL #E133744

Complies with current NEC (National Electric Code)

Note: City of Lakeland, FL requires for all electric signs either a photo cell plus standard time clock - or - an astronomic time clock to pass separate final elect. inspection.

Square Footage: 2'-6" x 2'-6" = 6.25 sf

Job Name:

Nineteen Sixty-One

Vasco Sixty-One

Projecting Sign Job Address:

215 E. Main St.

Lakeland, FL 33801

Job #:

Date: 9-12-24

SP: paw

Drawn by: ams

File: PLT/N/Nineteen Sixty One/Vasco Sixty One/

Projecting Wall Sign PE.cdr

Sheet No.

REVISIONS

Rev / date / by / description

Scope of Work:

 Fabricate and Install Projecting Sign

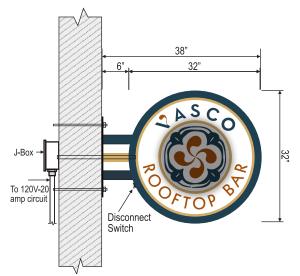
Projecting Sign: Aluminum fabricated 32" Round Cabinet painted Dk Blue with 1/8" White Polycarbonate face and 1/2" acrylic stud mounted Center Flower panel. Graphics to be custom Corporate colors.

Lighting: Internally illuminated with white LEDs.

Bracket: Aluminum fabricated (3) each 2" square aluminum tubes welded to 1/4" thick aluminum mounting plate painted Dark Blue and Gold.

Colors:

R166 G82 B11 R31 G64 B81 Metallic Gold



D/F Projecting Sign Scale: 1/2" = 1'-0"

2930 Drane Field Rd. Lakeland, FL 33811 863.644.3521 fax 644.3524 www.dixiesignsinc.com

NOTICE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY DIXIE SIGNS INC. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY DIXIE SIGNS INC. THIS DRAWING IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION, NOR IS IT TO BE USED. REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN PERMISSION FROM DIXIE SIGNS, INC.

PLEASE CHECK THOROUGHLY: We cannot be held responsible if you APPROVE an incorrect art proof.

I HAVE REVIEWED	THE ABO	OVE SPE	ECIFICA	TIONS, FU	LLY UNDERSTAND	THE WOR	K TO BE P	ERFORMED,	, AND F	IEREBY	' AUTHO	RIZE THIS	PROJECT	TO BEGIN
CLIENT APPROVAL:	DATE: _	/	/		eed with NO CHANGES		LANDLORD	APPROVAL:	DATE:	/	/		ed with NO CHA	

SIGNED: OK to proceed with NOTED CHANGES SIGNED:

OK to proceed with NOTED CHANGES

Acrylic Face -

logo

(typ)

1/2" thick Flower

mounting plate -

2" aluminum

square tube

3/8" fasteners

(6) rea'd

18" x 10"Aluminum



HISTORIC PRESERVATION BOARD DESIGN REVIEW COMMITTEE STAFF REPORT March 27, 2025

Project #	HPB25-059
Project Type	Replacement Siding and Window Enclosures
Property Address;	904 S. Missouri Avenue
Historic Name	N/A
Historic District; FMSF#	Dixieland Historic District; N/A
Owner/Applicant	904 S. Missouri Lakeland Land Trust / Hive Construction LLC
Future Land Use; Zoning;	Residential Medium; RA-4;
Context District; SPI	Urban Corridor; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	Monument sign, 3/24/2008 (2008-047); Monument sign face change, 3/28/2008
	(2008-054); Monument sign, 10/27/2020 (HPB20-184);

REQUEST-

The Applicant requests approval to remove the existing non-historic siding on the building on the subject property and replace with fiber-cement lap siding and trim, as well as to enclose two window openings.

SUMMARY OF BACKGROUND INFORMATION

The subject property consists of one lot of record (T L Waring Subdivision, Block 1, Lots 7 and 8), which is 0.29 acres in size. On the property is a one-story, single-family house built circa 1919 and converted into a professional office in approximately 1990. The architectural style of the house is Frame Vernacular with a cross-gabled roof, but many of the character-defining features have been covered or removed. Visible historic features that remain include a one-over-one double-hung sash windows and knee brackets in the gables. Alterations include an enclosed wrap-around front porch and the addition of vertical siding and vinyl soffit and fascia. Because of the extensive alterations, this is a non-contributing building in the Dixieland Historic District.

The Applicant proposes to undertake a large-scale rehabilitation, affecting both the interior and exterior of the building. Within this project's scope of work, two items require approval by the Design Review Committee:

- 1. Removal of the existing non-historic siding and replacement with smooth finish Hardie lap siding with a six-inch exposure, along with 6-inch wide smooth finish Hardie fascia and trim.
- 2. Enclosure of two window openings at the rear of the south side elevation.

While the remaining scope of work can be reviewed and approved by staff, these items have been included with the primary request to streamline the design review process:

- 1. Re-open the left side of existing wrap-around porch, which is currently enclosed. Restore two original window openings that were enclosed and install vinyl single-hung sash windows with a one-over-one lite configuration. Restore porch columns.
- 2. Replace three exterior entry doors with Craftsman style fiberglass doors; expand two door openings to accommodate a three feet door width.
- 3. Replace existing roofing with new shingle roofing and remove existing vinyl soffit to expose the original corbels in the eaves.

4. Repaint building: Body: SW7008 Alabaster; Trim: SW7069 Iron Ore; Accent/Doors: SW7069 Iron Ore.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's Design Guidelines for Historic Properties ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following Standards apply to this request:

Standard #6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 6 Exterior Architectural Features: Alteration and Maintenance

General Guidelines

- Architectural details should be compatible with the architectural style of the building's original design.
- Protect existing architectural details, and retain distinctive features such as size, scale, mass, color, and materials of buildings, including roofs and porches that give the neighborhood its distinguishing character.
- Retain the basic plan of the building.
- Repair or replace deteriorated material with new material that duplicates the old as nearly as possible. If
 the original detail cannot be maintained or replaced in its original form, it should be modi
 ed without
 disturbing the character of the structure.
- Align common elements, such as windows, doors, canopies, etc.

Sub-Chapter 6.3 Front Doors and Entrances

- Doors and entrances that are preserved and maintained as original features that contribute to the architectural character of the structure.
- Doors and entrances that are compatible with the style of the house.
- Door openings that keep the same proportions as originally built and not enlarged to accommodate different size doors.
- Door head heights that are consistent with widow heights throughout the structure.
- Entryways and doors that retain as many of their trim features as possible.
- Replacement doors, storm doors and screen doors that are appropriate to the style of the host structure.

Sub-Chapter 6.4 Windows and Shutters

(For Non-Contributing Buildings)

Frame windows in materials, casing, and trim that appear similar in scale, proportion, and design to those
used traditionally in the neighborhood. Concrete block and stucco homes should also include window and
door sills.

- Use single-hung sash, double-hung sash, awning, horizontal slider, or casement windows where appropriate.
- Existing jalousie, awning, and metal and vinyl replacement windows may be replaced with windows that are typical for the architectural style of the building.
- New windows should be similar in shape and type to historical windows in the surrounding historic district. Odd window shapes, such as octagon, round, diamond, etc., should be avoided.
- Grouping pattern of windows should mimic those of adjacent historic buildings. Historic windows were often installed in pairs or groupings of three especially on the front façade.
- If insulated glass is used, muntins should be included on the exterior with a significant depth and dimension to provide a suitable reveal.
- New and replacement windows shall be installed with a recess inside the casing of the window opening
 to produce a shadow line ush installation is not permitted. Box or block frame windows are recommended
 as flange windows do not produce an adequate recess.

Sub-Chapter 6.5 Siding and Exterior Wall Cladding.

Wood Siding:

- Preserve and maintain original wood siding. Repair in-kind where needed.
- If siding is replaced, all trim board dimensions and joinery details should be maintained and kept visible.
- Use the same species of wood where possible.
- One alternative for wood is Fiber cement, a mixture of Portland cement, cellulose or wood fiber material, sand, and other components. It can be formed into a variety of siding patterns, have a smooth or embossed face, or be textured for a cedar look. These products may be used as a replacement material or for new construction.

ANALYSIS:

As a non-contributing building, staff finds the removal of the existing non-historic siding and installation of new Hardie lap siding and trim to be an appropriate treatment according to the Design Guidelines. Similarly, the enclosure of two windows at the rear of the south side elevation is acceptable given the non-contributing status of the building, and as this change is on a secondary elevation that is not highly visible from street frontages.

Staff finds the additional scope of work including reopening the left side of the enclosed front porch, restoration of front porch columns, installation of two new windows in restored window openings, installation of three exterior doors, and removal of the existing soffit to meet both the Standards and Design Guidelines.

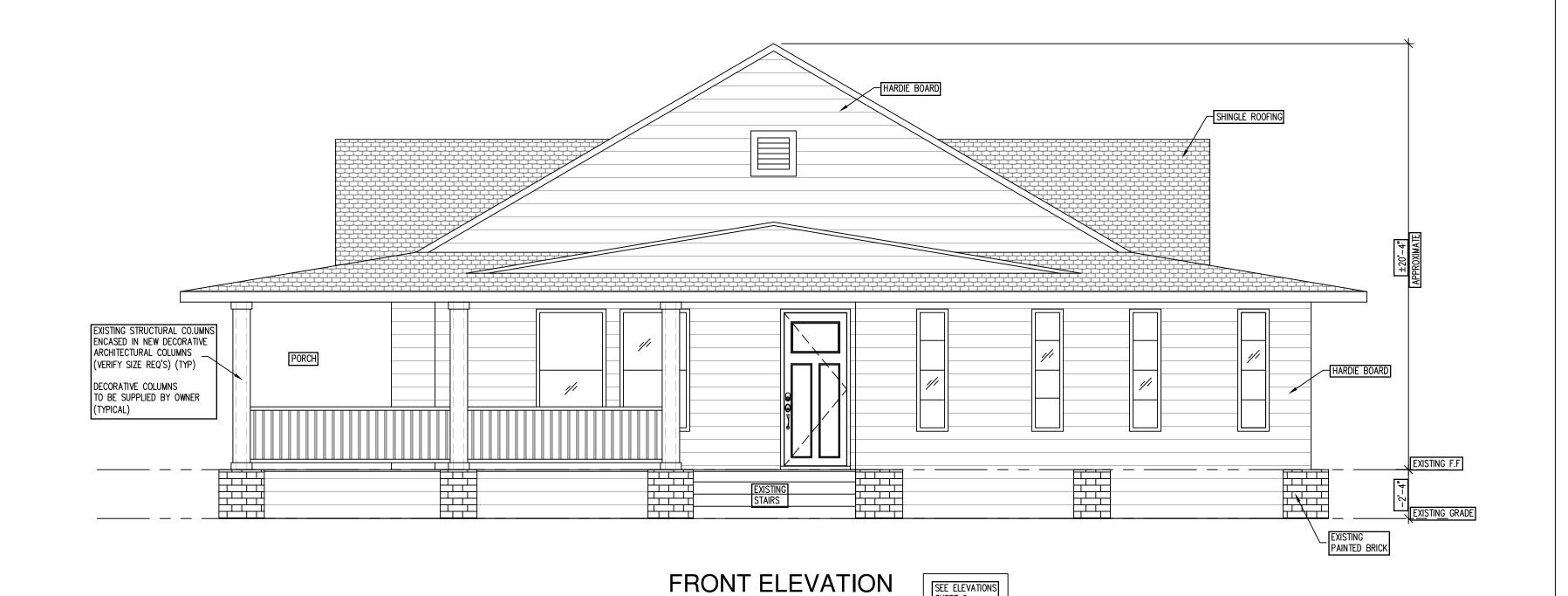
STAFF RECOMMENDATION:

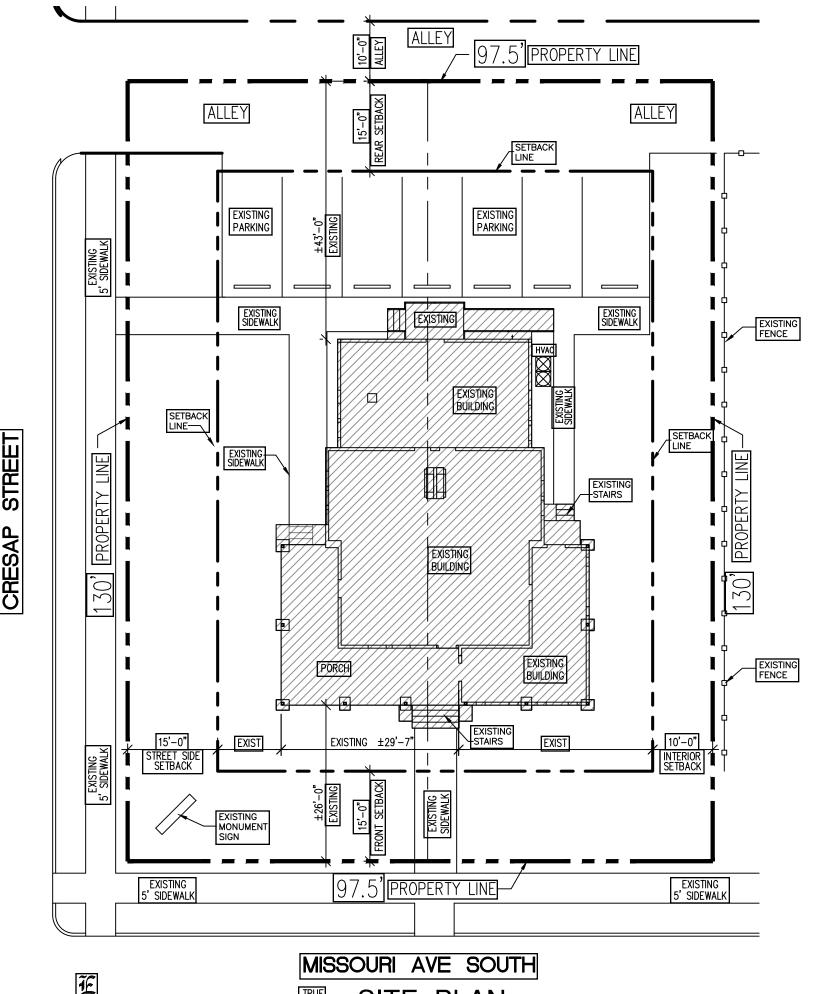
Final Approval of the request as submitted.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation

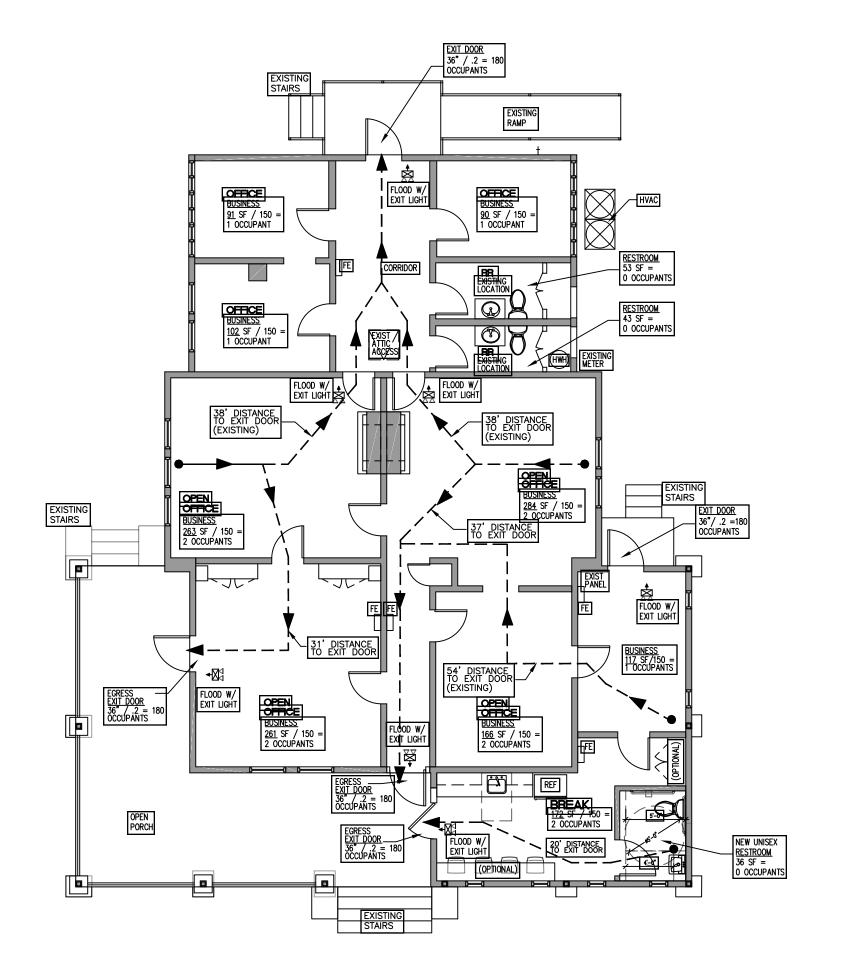
Liaison to the Historic Preservation Board



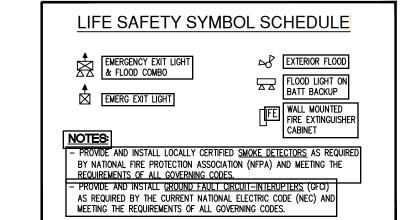








LIFE SAFETY PLAN SCALE: 1/8" = 1'-0"



904 MISSOURI OFFICE BUILDING

904 South Missouri Ave Lakeland, Florida 33803

GENERAL NOTES

JOB CONSISTS OF AN INTERIOR RENOVATION TO AN EXISTING COMMERCIAL BUILDING (NO CHANGE OF USE). NEW ADA BATHROOM, BREAK ROOM, AND DECK RESTORATION.
 ALL WORK SHALL CONFORM TO ALL CURRENT FLORIDA BUILDING CODES, PLUMBING, MECHANICAL, NATIONAL ELECTRIC CODES, AND ALL ADOPTED CODES, STANDARDS AND RULES OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION.
 FLOOR COVERING, FURNISHINGS, PAINT COLORS, TRIM MATERIALS, AND OTHER ITEMS NOT SPECIFIED IN THESE SECTIONS ARE TO BE AS SELECTED BY OWNER IN CONFORMANCE TO ALL APPLICABLE CODES.
 CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, SITE OR BUILDING SETBACKS, AND REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER PRIOR ORDERING, DEMOLITION OR CONSTRUCTION.
 THE CONTRACTOR IS RESPONSIBLE FOR THE SEWER AND WATER CONNECTIONS AND SHALL BE CONSTRUCTED PER CODE AND DETAILS.

- ANY CHANGES TO THESE PLANS MUST BE APPROVED BY THE DESIGN ENGINEER

AND THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

	SHEET INDEX
1	COVER SHEET AND LIFE SAFETY PLAN
2	FLOOR PLAN AND DEMOLITION PLANS
3	FOUNDATION, PLUMBING REFERENCE AND ROOF PLANS
4	POWER AND LIGHTING PLANS
5	EXTERIOR ELEVATIONS
6	DETAILS
7	DETAILS

BUILDING DATA							
COVERED AREAS	(EXISTING BUILDING) 2103 sq.ft. 444 sq.ft.						
TOTAL S.F. UNDER ROOF	2547 sq.ft.						

APPLICABLE BUILDING CODES:

2023 FBC Existing Building 8th Edition
2023 FBC Plumbing 8th Edition
2023 FBC Mechanical 8th Edition
2023 FBC Energy Conservation 8th Edition

2023 FBC Energy Conservation 8th Edition
Florida Accessibility Code 2023
Florida Electric Code 2020

Florida Electric Code 2020

Florida Life Safety Code 2021 (NFPA 101, 2021

Florida Fire Code 2021 (NFPA 1, 2021)

USE AND OCCUPANCY CLASS FBC CHAPTER 3:

 A. OCCUPNACY CLASS B

 GENERAL BUILDING HEIGHTS AND AREAS FBC CHAPTER 5:

 A. MAXIMUM BUILDING HEIGHT (40'-0")
 B. PROPOSED BUILDING HEIGHT (30'-0')
 C. MAXIMUM STORIES (2)
 D. PROPOSED STORIES (1)
 E. MAXIMUM BUILDING AREA (9,000 SF)

F. PROPOSED BUILDING AREA (2,103 SF)
G. TOTAL PROPOSED OCCUPIABLE SPACE (2103 SF)
3. CONSTRUCTION TYPE FBC CHAPTER 6:
A. CONSTRUCTION TYPE VB
i. FIRE RESISTANCE RATING FOR BUILDING ELEMENTS

1. PRIMARY STRUCTURAL FRAME (0 HRS)
2. BEARING WALLS (0 HRS)
3. NON BEARING WALLS AND PARTITIONS (0 HRS)
4. FLOOR CONSTRUCTION (0 HRS)
5. ROOF CONSTRUCTION (0 HRS)
4. ELEMENTAL FIRE RESISTANCE REQUIREMENTS AND FIRE RATINGS FBC CHAPTER 7
A. EXTERIOR WALL FIRE RESISTANCE X>30'-0" (0 HRS)

B. ALLOWARI E PROJECTIONS (40")

B. ALLOWABLE PROJECTIONS (40")
C. MAXIMUM WALL OPENINGS (NO LIMIT)
D. FIRE PARTITIONS (NA)
E. EXIT STAIRWAY ENCLOSURE (NA)
F. CONCEALED SPACE DRAFT STOP NOT REQUIRED ATTIC<3000 SF
5. INTERIOR FINISHES FBC CHAPTER 8:
A. INTERIOR WALL AND CEILING CLASS REQUIREMENT
i. INTERIOR EXIT STAIRWAY (NA)

ii. CORRIDORS AND ENCLOSURES N/A
 iii. ROOMS AND ENCLOSED SPACES (CLASS C FSI 76=200 SDI 0-450
 B. INDOOR FLOOR FINISHES
 i. MINIMUM CRITICAL RADIANT FLUX (CLASS 2)
 6. FIRE PROTECTION SYSTEMS CHAPTER 9:
 A. AUTOMATIC SPRINKLER SYSTEM (NOT REQUIRED)

A. AUTOMATIC SPRINKLER SYSTEM (NOT REQUIRED
B. MANUAL FIRE ALARM (NOT REQUIRED
C. PORTABLE FIRE EXTINGUISHER (1 REQUIRED)
7. MEANS OF EGRESS CHAPTER 10:
A. CLEARANCES

ii. NO PROTRUDING OBJECTS
iii. HEADROOM >80"
iv. UNOBSTRUCTED CLEAR WIDTH >36"
B. OCCUPANT LOAD FBC TABLE 1004.5
i. OCCUPANT LOAD (USE B 1/150 GROSS)

i. CEILING HEIGHT >7'6"

2. TOTAL BUILDING OCCUPANT LOAD (14)

1. TOTAL USE AREA (2,103 SF)

C. EXITS REQUIRED FBC 1006.2.1

i. OCCUPANT LOAD PER COMMON EXIT (15) <49
 1. EXITS REQUIRED (1)
 2. EXITS PROVIDED (4)
 D. EGRESS ILLUMINATION FLSC 2021 CHAPTER 7
 i. PATH OF EGRESS WALKING SURFACE >1 FOOT CANDLE
 ii. PATH OF EGRESS STAIR WELLS > 10 FOOT CANDLE

ii. PATH OF EGRESS STAIR WELLS > 10 FOOT CANDLE
 E. ACCESSIBLE EGRESS FBC 1009.1 FAC 2023 CHAPTERS 2 AND 4
 i. ALL EGRESS ROUTES SLOPE<1:20

i. ALL EGRESS ROUTES SLOPE<1:20
ii. ACCESSIBLE ROUTES MIN WIDTH>36"
iii. FLOOR TO GROUND COMPLIANT WITH FAC 2023 CHAPTER 3
iv. STAIRWAYS COMPLIANT WITH FAC 2023 504

v. HANDRAILS PROVIDED AND COMPLIANT FAC 2023 505
vi. TOILET FACILITIES COMPIANT FAC 2023 603

1. TOILET AND BATHING FACILITIES ARE COMPLIANT WITH TURNING

raduis and clearance requirements.

vii. DOORS GATES AND TURNSTYLES FBC 2023 FLSC 2021

1. DOOR WIDTH

a. MINIMUM REQUIRED (32")
b. MINIMUM PROVIDED (32")
2. DOOR HEIGHT
a. MINIMUM REQUIRED (80")

b. MINIMUM PROVIDED (80")
3. DOOR SWING CHARACTERISTICS
a. ALL COMMON EGRESS PATH DOORS SWING IN THE DIRECTION OF TRAVEL

DIRECTION OF TRAVEL

b. FORCE TO SET IN MOTION < (30#)

c. FORCE TO RELEASE LATCH < (15#)

d. FORCE TO OPEN FULLY < (5#)

 LOCKING AND LATCHING MECHANISMS
 a. LOCKING AND LATCHING METHOD CONFROM TO FLSC 38.2.2.

5. EXIT SIGNS FBC 1013

a. EXIT SIGNS TO HAVE 5 FOOT CANDLE ILLUMINATION

VISIBLE FROM BOTH SIDES AND SUPPLIED BY A MIN 90 MIN

POWER BACK UP SYSTEM PER MANUFACTURERS

RECOMMENDATION.

6. ALL EXITS LEAD DIRECTLY TO BUILDING EXTERIOR AND ARE COMPLIANT PER FBC 1016 AND FLSC CHAPTER 7

a. MAX COMMON PATH OF TRAVEL < 75'0" FBC TABLE

b. MAX BUILDING DIAGONAL 72 LF
 c. MAX EXIT SEPARATION 75'>130X.5 IS COMPLIANT WITH FBC
 1007 AND FLSC CHAPTERS 7 AND 12

F. MINIMUM PLUMBING FIXTURES

i. TOTAL BUILDING OCCUPANT LOAD (14 TYPE B

ii. WATER CLOSET

1006.3.3(2)

REQUIRED (1 UNISEX)
 PROVIDED (2 UNISEX)

iii. LAVATORY

 REQUIRED (1)

2. PROVIDED (2)
iv. WATER FOUNTAIN
1. REQUIRED (0)
2. PROVIDED (0)

v. PLUMBING FIXTURES PROVIDED COMPLIANT WITH FBC CHAPTER 29

NOTE:
IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND INFORMATION IN FIELD PRIOR TO ORDERING OR CONSTRUCTION.

I HEREBY CERTIFY:
THAT THE CONSTRUCTION PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH
CHAPTER 16, SECTION 1609 OF THE 2023, 8th EDITION, FLORIDA BUILDING CODE
FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) AND THE
2023 FLORIDA BUILDING CODE EXISTING BUILDING 8th EDITION.

REVISIONS # DISCRIPTION DA-

using a Digital Signature and date.
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FL 33803
(86) 937-1949
CATE OF AUTHORIZATION # 3

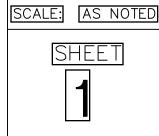


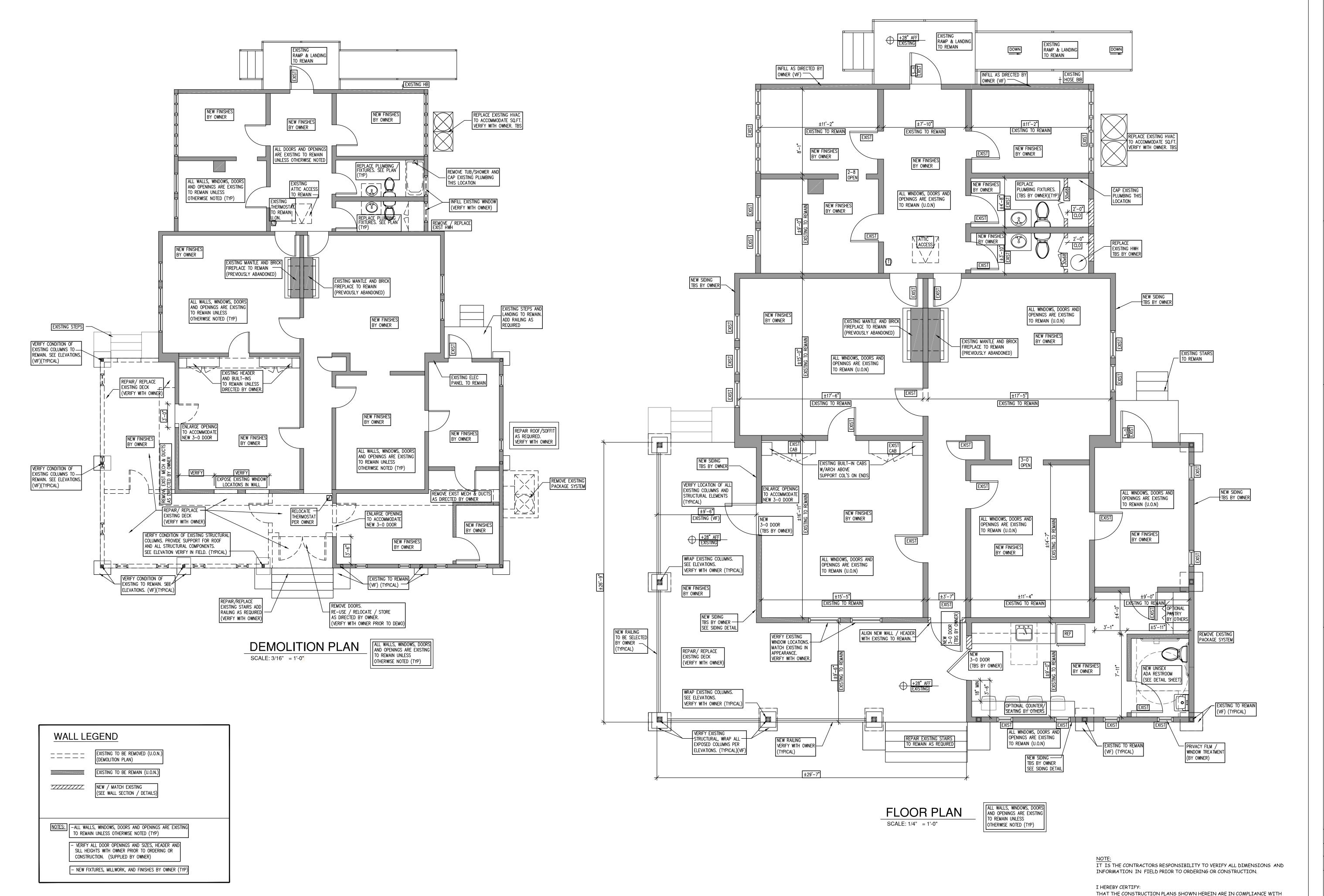
Alssourioffice Building buth Missouri Ave. d, Florida 33803

904 MISSOURIOFF 904 MISSOURIOFF 904 South Mi Lakeland, Flor

DATE: 3-6-2025

DRAWN BY: KJ





REVISIONS # DISCRIPTION DATE

This item has been electronically signed and sealed by Carey Wilkinson, PE using a Digital Signature and date.
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JOKU:

- D ENGINEERING LLC

174 S FLORIDA AVE SUITE 201

AKELAND, FL 33803

HONE: (386) 937-1949

4

PROJECT:
904 MISSOURI OFFICE BUILDING
904 South Missouri Ave.
Lakeland, Florida 33803

DATE: 3-6-2025

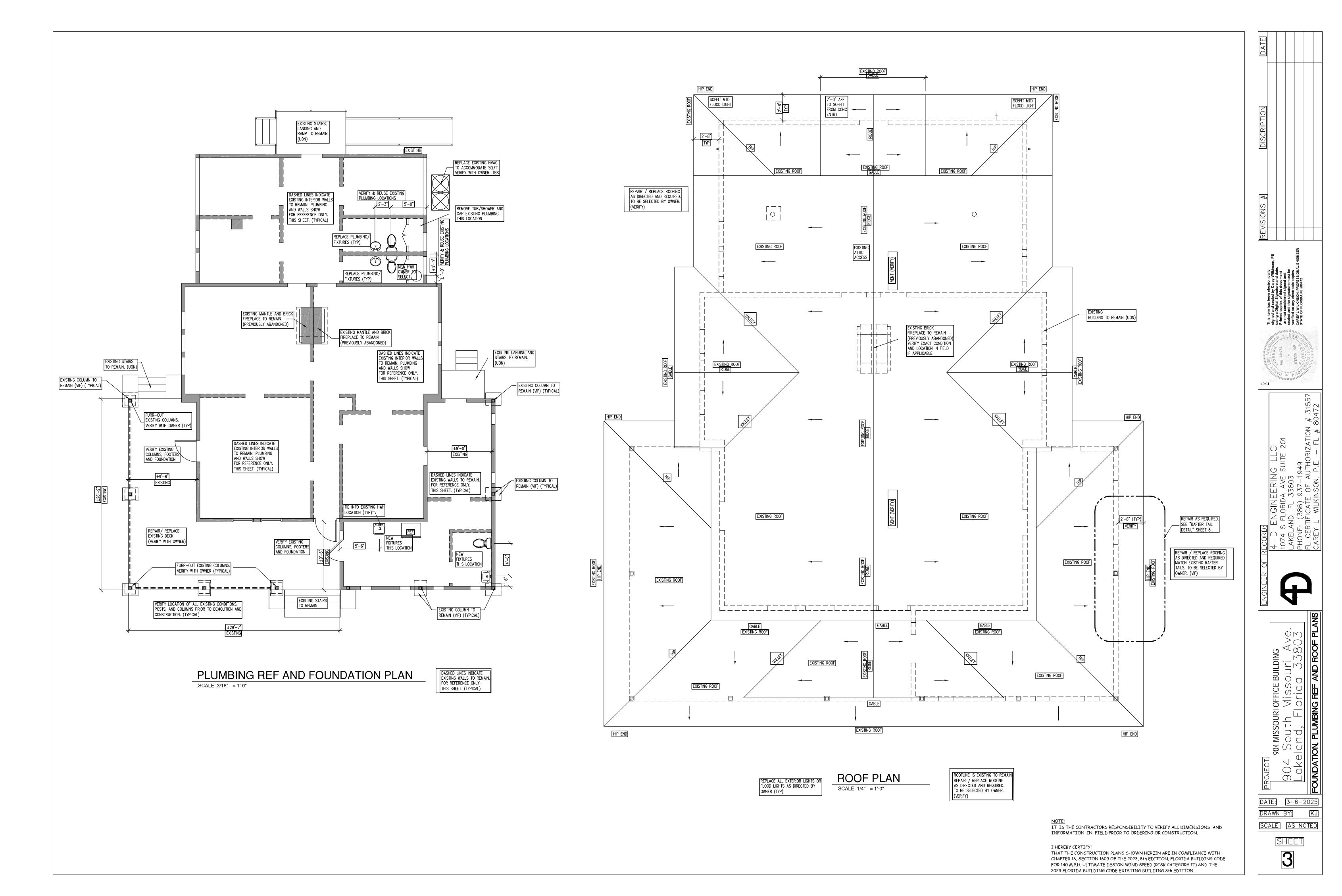
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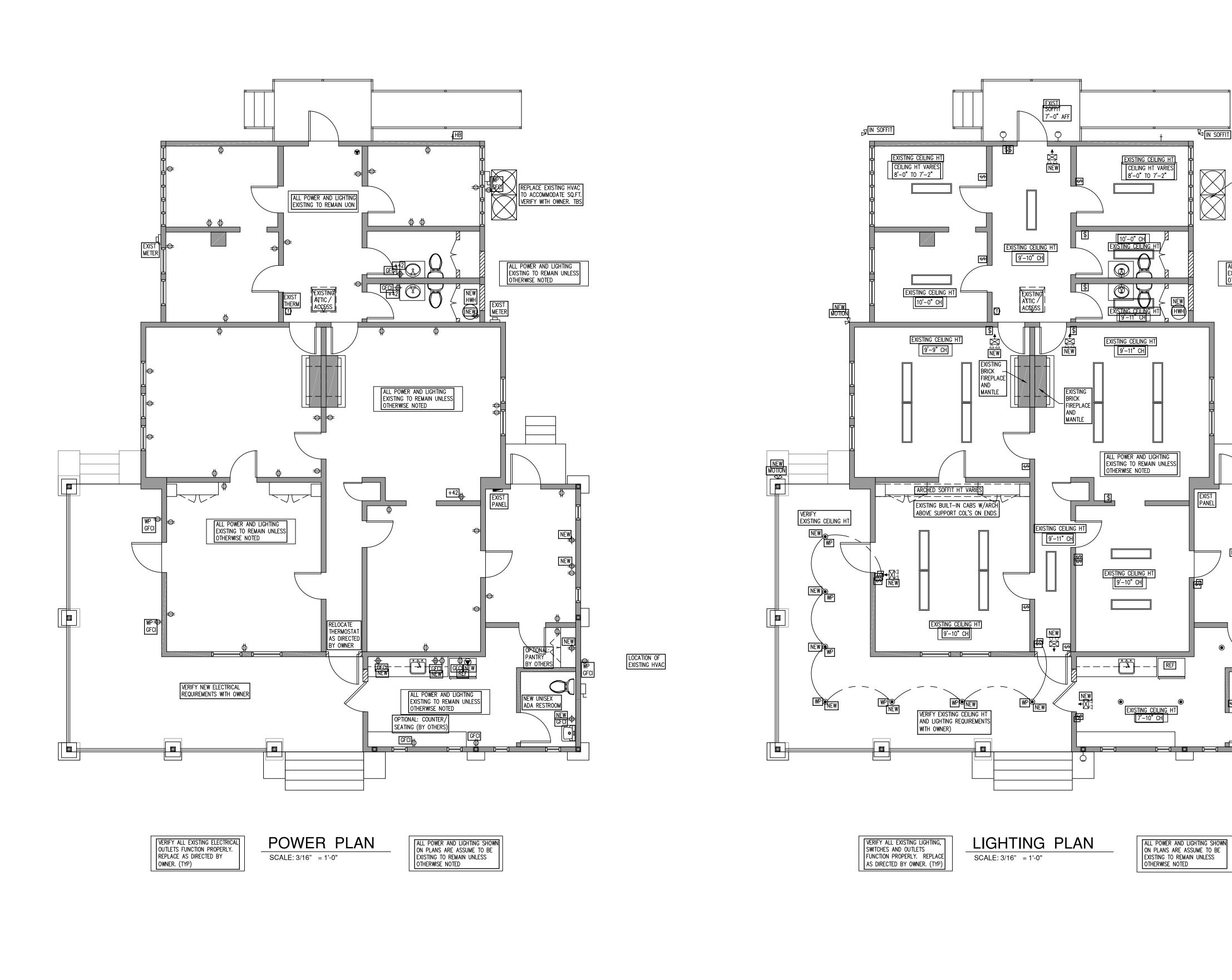
SCALE: AS NOTED

SHEET 2

CHAPTER 16, SECTION 1609 OF THE 2023, 8th EDITION, FLORIDA BUILDING CODE FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) AND THE

2023 FLORIDA BUILDING CODE EXISTING BUILDING 8th EDITION.





SCHEDULE OF EXISTING FIXTURES RECESS CAN LIGHT 3-WAY SWITCH JUNCTION BOX.
OWNER TO SPECIFY FIXTURE 110 VOLT FLEC OUTLET
© COUNTER TOP LEVEL GFCI GROUND FAULT INTERRUPTER WALL MOUNTED LIGHT FIXTURE WP WEATHER PROOF +42 APPROX MOUNT HEIGHT OF EXIST ELECTRIC PANEL ELECTRIC METER FLOOD LIGHT ☐☐☐☐ DISCONNECT A/C THERMOSTAT ► EMERG EXIT LIGHT & FLOOD COMBO FLOOD LIGHT ON BATT BACKUP ■ EMERG EXIT LIGHT ALL POWER AND LIGHTING ASSUMED TO BE EXISTING TO REMAIN UNLESS OTHERWISE NOTED

REPLACE EXISTING HVAC

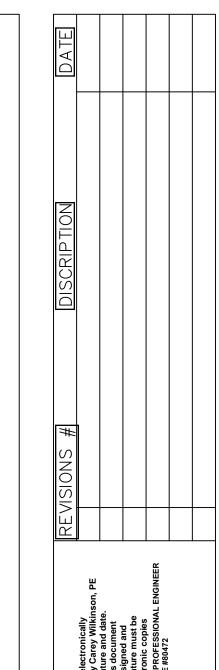
TO ACCOMMODATE SQ.FT. VERIFY WITH OWNER. TBS

ALL POWER AND LIGHTING EXISTING TO REMAIN UNLESS OTHERWISE NOTED

NOTE:
IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND INFORMATION IN FIELD PRIOR TO ORDERING OR CONSTRUCTION.

I HEREBY CERTIFY:

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THAT THE CONSTRUCTION PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH
CHAPTER 16, SECTION 1609 OF THE 2023, 8th EDITION, FLORIDA BUILDING CODE
FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) AND THE
2023 FLORIDA BUILDING CODE EXISTING BUILDING 8th EDITION.



This item has been electrically and sealed by Carusing a Digital Signature using a Digital Signature Printed copies of this docare not considered signature sealed and the signature verified on any electronic CAREY L WILKINSON, PROFESTATE OF FLORIDA PE#80

NEERING LLC
LIDA AVE SUITE 201
L 33803
S) 937-1949
TF OF ALITHORIZATION # 311

4-D ENGINEERI 1074 S FLORIDA AVI LAKELAND, FL 3380, PHONE: (386) 937-

904 MISSOURI OFFICE BUILDING South Missouri Ave. Pland, Florida 33803

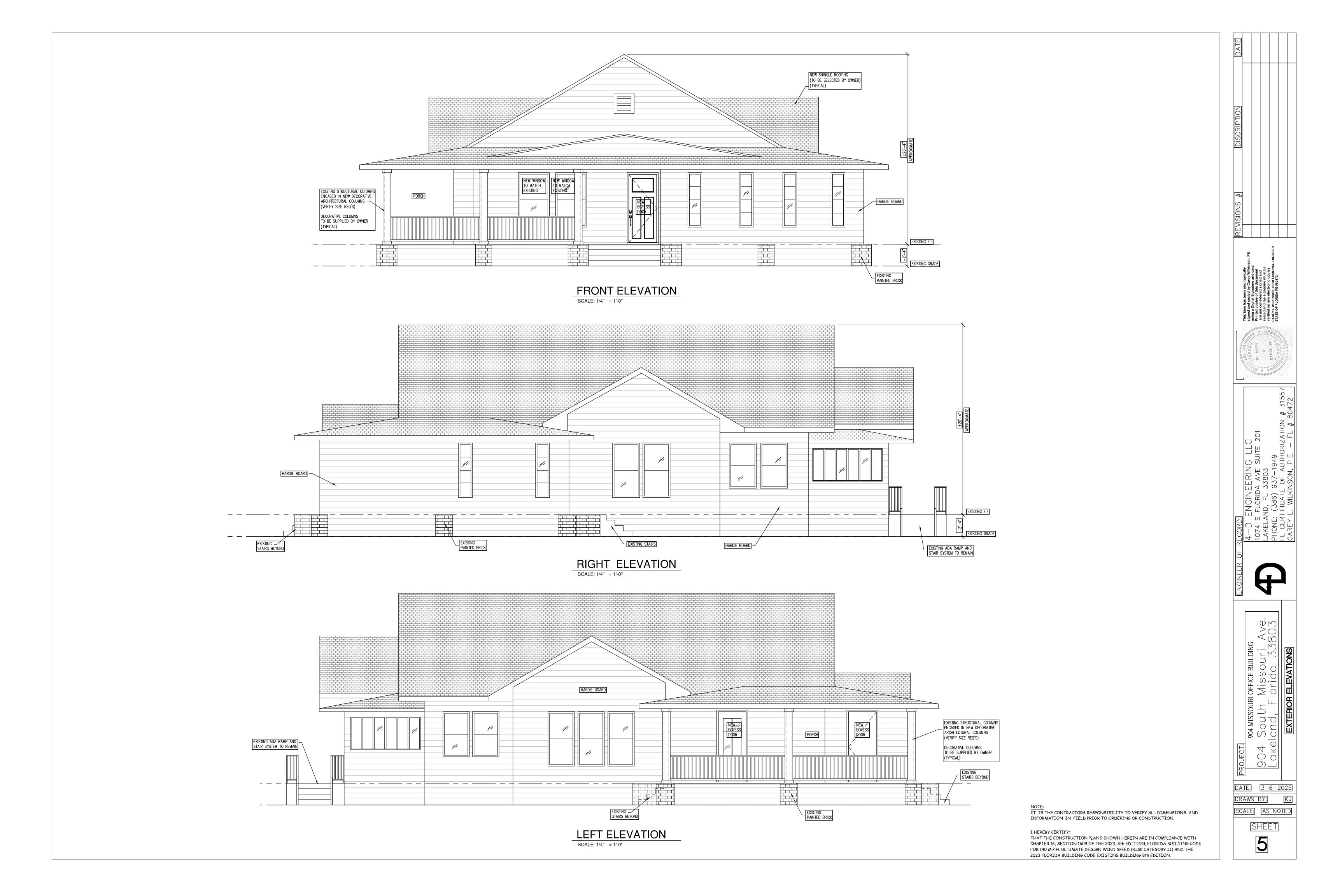
DATE: 3-6-2025

DATE: 3-6-2025

DRAWN BY: KJ

SCALE: AS NOTED

SHEET



NERAL NOTES: THIS BUILDING IS EXISTING, ANY / ALL BUILDING A TO THE 2023 FLORIDA BUILDING CODE EXISTING BUIL			SIGNED TO CONFORM	TERMITE PROTECTION SHALL BE APPLIED TO SOIL, OR WOOD, BA	C 2304.11 & FBC-RESIDENTIAL R318 (EXISTING NO CHANGE) E PROVIDED BY REGISTERED TERMITICIDES, INCLUDING PESTICIDES ITING SYSTEMS, OR OTHER APPROVED PROTECTION LABELED FOR			
4-D ENGINEERING LLC; A REGISTERED, LICENSED, FLORI COMPANY; HAS APPLIED "RATIONAL ANALYSIS" FOR TH			G	USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A "CERTIFICATE OF OCCUPANCY" WILL BE ISSUED. THE CERTIFICATE				
STRUCTURE. ANY/ALL NEW BUILDING COMPONENTS (INCLUDING A SHALL BE DESIGNED FOR THE FOLLOWING SUPERIMPOS	LL COMPONENTS		S)	SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."				
FLOORS: GARAGE LIVE LOAD - 40 P.S.F. L DEAD LOAD - 10 P.S.F.	SLAB: IVE LOAD - 50 P.S EAD LOAD - 10 P.	5.F. S.F.		IF A REGISTERED TERMITICIDE	BAIT SYSTEM IS TO BE USED FOR SUBTERRANEAN TERMITE PREVENTION,			
ROOF: LIVE LOAD (TRUSS TOP CHORD) - 20 P.S.F. DEAD LOAD (TRUSS TOP CHORD) - 10 P.S.F. (15 P	S F WHEN TTI F		STALLED)		TY ASSURING INSTALLATION, MAINTENANCE AND MONITORING OF THE VIDED TO THE BUILDING OFFICIAL PRIOR TO THE SLAB POUR. THE SYSTEM FINAL BUILDING APPROVAL.			
DEAD LOAD (TRUSS BOTTOM CHORD) - 10 P.S.F. ASSUMED TRUSS SELF WEIGHT (DEAD LOAD) - WIND: ANY NEW BUILDING COMPONENTS ARE DESIG		M TO ASCF 7-22	CHAPTERS	BACKFILLING & COMPACTION AR	E COMPLETE. E INITIAL TREATMENT SHALL BE RE-TREATED			
26 THRU 31; PER 2023 FLORIDA BUILDING CODE FLORIDA BUILDING CODE SECTION 1609.1.1.	E, RESIDENTIAL -	SECTION R301.2	? AND 2023	WITH PERMANENT METAL OR PLA ADEQUATE SIZE & DEPTH TO ELI	E SLAB FOR INSTALLATION OF TRAPS SHALL BE MADE ASTIC FORMS. PERMANENT FORMS MUST BE OF AN IMINATE ANY DISTURBANCE OF THE SOIL AFTER THE			
WIND DESIGN ASSUMPTIONS: BUILDING EXPOSURE - B BUILDING RISK CATEGORY - II MEAN ROOF HEIGHT 30' OR LESS	**WORSE BUILDING R	CASE LOADING S	SHOWN**	DILUTION. IF RAINFALL OCCURS	ER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL BEFORE VAPOR BARRIER PLACEMENT, RE-TREATMENT			
HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENT = 1.0 ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT = +/- 0.18	ZONE 1	LOADS -63.7	LOADS +19.4/-35.5	SHALL BE REQUIRED. ANY CONCRETE OVERPOUR, MORY MUST BE REMOVED PRIOR TO EX	TAR OR STUCCO MATERIALS ALONG THE FOUNDATION PERIMETER TERIOR SOIL TREATMENT.			
WIND SPEED SHOWN AT THE BOTTOM RIGHT CORNER OF THIS SHEET	2	-79.8 -88.8	+19.4/-51.6 +19.4/-60.6	WITHIN 12 INCHES OF THE STRU				
ANY/ALL NEW STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS SHALL BE TYPE V CONSTRUCTION PER FBC 602.5	4 5	N/A N/A	+21.2/-22.9 +21.2/-28.2	COMPLETE (INCLUDING LANDSCA VERTICAL BARRIER IS APPLIED, S		PRO CO USP		
L BEARING & COMPACTION: (EXISTING NO CHANGE) THESE PLANS WERE DRAWN BASED UPON AN ALLOWABL	LE SOIL BEARING	CAPACITY OF 2,0	000 P.S.F.	BUILDING SIDEWALLS. AFTER ALL WORK IS COMPLETED	SPOUTS SHALL DISCHARGE AT LEAST 12 INCHES AWAY FROM THE , ANY LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND	SIMPS		
(MINIMUM). THE CONTRACTOR/PROPERTY OWNER ARE I ON THE SITE IS PROPERLY PREPARED & COMPACTED SUC FOUNDATION LOADING.	RESPONSIBLE FO H THAT IT CAN S	R VERIFYING THA UPPORT A 2,000 I	AT THE SOIL P.S.F.	FORMS, SHORING AND ANY OTH	'DING. THIS SHALL INCLUDE ALL GRADE STAKES, TUB TRAP BOXES ER CELLULOSE CONTAINING MATERIALS. RIOR WALL COVERING (EXCEPTIONS: PAINT AND DECORATIVE			
4-D ENGINEERING LLC.; A REGISTERED, LICENSED, FLOR DESIGNED THESE FOUNDATIONS WITHOUT VISITING SOIL TESTING.	IDA PROFESSION THE CONSTRUCTI	IAL ENGINEERIN ION SITE NOR PE	IG COMPANY; ERFORMING ANY	CEMENTITIOUS FINISHES LESS	THAN 5/8 INCH THICK ADHERED DIRECTLY ONTO THE FOUNDATION SHALL NOT BE LESS THAN 6 INCHES TO ALLOW FOR INSPECTION			
4-D ENGINEERING LLC SHALL NOT BE RESPONISIBLE FO THE BUILDING LOADS.		S ABILITY TO SU	UPPORT	TRUSSES: IF THE CONTRACTOR, TRUSS MA TRUSS SYSTEM LAYOUT FROM	ANUFACTURER OR ANY OTHER DESIGN PROFESSIONALS REVISE THE THOSE SHOWN ON THESE PLANS 4-D ENGINEERING LLC. IS REQUIRED			
NDATIONS & SLAB-ON-GRADE: (EXISTING NO CHANGE BUILDING SITE SHALL BE SCRAPED TO REMOVE ALL ORGANY ADDITIONAL FILL PLACED ON THE BUILDING PAD A SUCH THAT IT CAN ADEQUATELY SUPPORT A 2,000 P.S.F. SLAB SHALL BE PLACED OVER A 6 MIL VAPOR BARRIER OF COMPACTED AND TERMITE POISONED SOIL. CONCRETE UTILIZED IN THE FOUNDATIONS AND SLAB COMPRESSIVE STRENGTH OF 3,000 P.S.I. REINFORCING STEEL SHALL BE GRADE 40 MINIMUM AN	GANIC MATERIAL AREA, SHALL BE C TOUNDATION L N CLEAN, ADEQU S SHALL HAVE A	OMPACTED OADING. ATELY MINIMUM 28 DA	ŧ	TO REVIEW ALL FINAL CONSTRIPRIOR TO COMMENCEMENT OF STEED	UCTION DOCUMENTS FOR COMPLIANCE WITH THE DESIGN INTENT THE PROJECT.			
WITH ASTM A-615. LAP SPLICES, WHERE REQUIRED, SH #5 REBAR, 30" FOR #6 REBAR & 35" FOR #7 REBAR. PLANS ARE ENGINEERED FOR A MAXIMUM STEMWALL H	IALL BE A MINIMI	JM OF 25" FOR	IAI CITE	TO ACHEIVE THE DESIGN PRES: ELECTRICAL, PLUMBING & MECHAN	SURES SPECIFIED. NICAL:	DO		
GRADING). THE CONTRACTOR OR BUILDING OWNER SHA HEIGHT BASED UPON SITE CONDITIONS PRIOR TO POU ENGINEERING WHEN MORE THAN 4 COURSES ARE REQU A FOUNDATION SURVEY SHALL BE PERFORMED AND A C SITE FOR THE BUILDING INSPECTORS USE, OR ALL PRO	ALL DETERMINE T PRING THE FOUND JIRED. OPY OF THE SURV	THE EXACT STEM DATION AND COP /EY SHALL BE ON	IWALL NTACT 4-D I THE	MEET ALL APPLICABLE CODES. T ARE BASED UPON A DESIGN PRO ALL ELECTRICAL OUTLETS IN B.	R 471.003(2)(I) OF THE FLORIDA ADMINISTRATIVE CODE; ELECTRICAL, YSTEMS SHALL BE DESIGNED BY THE RESPECTIVE CONTRACTORS TO THE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS DRAWN HEREON DVIDED BY THE OWNER TO ADDRESS HIS/HER REQUIREMENTS. ATHROOMS, KITCHEN (WITHIN 6 FEET OF SINKS), GARAGE AND AT BE WIRED INTO A GROUND-FAULT INTERRUPTER "GFCI" CIRCUIT.	WI FIBE		
STRING STRETCHED FROM MARKER TO MARKER TO VERI BER MATERIALS:	FY THE REQUIRE	D BUILDING SET	BACKS.		EDROOMS SHALL BE WIRED INTO AN ARC-FAULT INTERRUPTER	"ҒУР		
ALL TIMBER MATERIALS SHALL BE AS FOLLOWS: LVL BEAMS SHALL BE (1.9E) MICROLLAM LVL MATMACMILLAN (OR EQUAL). LUMBER UTILIZED IN BOTTOM PLATES, TOP PLASHALL BE #2 YELLOW PINE (OR BETTER). EXTERIOR AND INTERIOR LOAD BEARING STUD ALL OTHER STUDS SHALL BE "STUD GRADE" SPRENDED PSL POSTS SHALL BE (1.8E) PARALLAM PSL MATEMACMILLAN (OR EQUAL). SEE "POST SUPPORT TO WITH 8D NAILS SHALL BE CONSTRUCTED WITH 1/2" POST SUPPORT TO WITH 8D NAILS SPACED AT 3" O.C. ALONG ALL HORIZON VERTICAL JOINTS & EDGES AND 12" O.C. ALONG ALL INTERIOR STORM	S SHALL BE #2 S UCE. RIALS MANUFAC ABLE" ON THIS S LYWOOD OR 7/16 NTAL JOINTS & E TERMEDIATE STU	D PACKS AND BE PRUCE (OR BETTE TURED BY TRUSS HEET FOR LOAD O.S.B. (2-M-W R. DGES; 6" O.C. AL DER STUDS WITH	SJOIST AMS ER). SJOIST VALUES. ATING) NAILED ONG ALL H (2) USP OR SIMPSON	GLAZING PER THE FLORIDA BUI (1) GLAZING IN SWIN SLIDING DOOR AS (2) GLAZING IN DOOR STEAM ROOMS, B BUILDING WALL EI OF THE GLAZING I (3) GLAZING IN AN IN THE NEAREST VER A CLOSED POSITI THE FINISHED FI (4) GLAZING IN AN IN LOCATIONS DESC	NSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF CILDING CODE, RESIDENTIAL - SECTION R308: NGING DOORS, FIXED AND SLIDING PANELS OF SSEMBLIES. RS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, NATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A NCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET. NDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE STICAL EDGE IS WITHIN A 24 INCH RADIUS OF THE DOOR IN ION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE LOOR OR WALKING SURFACE. NDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE CRIBED IN ITEMS (2) AND (3) ABOVE. THAT MEETS ALL OF CONDITIONS:	1/2" EXT WIT TOP		
ANCHOR WOOD SHEARWALL SEGMENTS TO FOUNDATTI END OF WALL SEGMENTS AND AT ANY WALL SEGMENT ANCHOR TRUSSES AS FOLLOWS: ROOF UPLIFTS OF 455# AND LESS USE (1) USP "	INTERSECTIONS RT3" OR SIMPSON	(BUILDING CORI N "H3" HURRICAN	NERS). NE TIE.	C) TOP EDG D) ONE OR I THE PLA	D AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT. I EDGE LESS THAN 18 INCHES ABOVE THE FLOOR. E GREATER THAN 36 INCHES ABOVE THE FLOOR. MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF ANE OF THE GLAZING.			
FOR UPLIFTS FROM 456# UP TO 910# USE (2) US UPLIFTS FROM 911# UP TO 1,450# USE A USP "H	TW20" OR SIMPS	ON "HTS20" TWI	ST STRAP.		ING CODE, RESIDENTIAL - SECTION R308 FOR ADDITIONAL AREAS AZARDOUS LOCATION FOR THE PURPOSE OF GLAZING.			
ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-I PRIOR TO REQUESTING THE FRAMING INSPECTION. IF DESIRED, EQUIVALENT CONNECTORS MADE BY ANOTUSP" OR "SIMPSON" CONNECTORS SHOWN.		·		DRAFTSTOPPING SHALL BE P FLOOR/CEILING ASSEMBLIE CONSTUCTED SUCH THAT TI APPROXIMATE AREAS WITH	PROVIDED (PARALLEL TO THE MAIN FRAMIMG MEMBERS) IN ES SEPARATING USEABLE SPACES. DRAFTSTOPPING SHALL BE HE FLOOR/CEILING ASSEMBLY IS BROKEN UP INTO TWO OR MORE INO AREA GREATER THAN 1000 SQ. FT.			
				SQ. FT. AND HAVING MININ NOT TO BE LESS THAN 22 X	G TO REMAIN. MODIFICATIONS SHALL SHALL NOT EXCEED 30 NUM 30 INCHES OF VERTICAL HEIGHT. ROUGH-FRAMED OPENING (30 INCHES. WHEN MECHANICAL EQUIPMENT IS LOCATED IN ISTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE,			
STANDARD HIP & RIDGE CUT FROM METRIC THREE TAB SHINGLES PREVAILING 5" WIND DIRECTION					SHINGLE NAILING NOTES: ALL NAILS MUST PENETRATE AT LEAST 3/4" INTO			
	5 5/8" FASTE DISTANCE	NING			THE WOOD ROOF DECK. NAIL SHINGLES WITH 11 OR 12 GAUGE GALVANIZED NAILS WITH 3/8" DIAMETED HEADS A DECUMPED (AS SHOWN IN)			
		VALLEY L		6" MIN. EXTRA NAIL	WITH 3/8" DIAMETER HEADS - 6 REQUIRED (AS SHOWN IN "HIGH WIND AREAS")			
STANDARD MANSARD NORMAL WIND AREAS WIND AREAS		UNDERLA	AZMILIN I	ASPHALT PLASTIC CEMENT CLIP CORNER	ROOF-TO-WALL FLASHING NOTES: 4" X 5" ANGLE FLASHING - 26 GAUGE GALVANIZED METAL, RUBBER VALLEY FLASHING OR 12" WIDE - 26 GAUGE GALVANIZED METAL WITH SHINGLES OVER THE TOP.			
1" 11" 11" 1" 1"	2" 1"		2" C L		MATERIAL SPECIFICATIONS: UNDERLAYMENT SHALL CONFORM TO ASTM D226, TYPE II OR ASTM 4869, TYPE IV.			

5" EXPOSURE

ROOF SHINGLE & FLASHING INSTALLATION SPEC'S

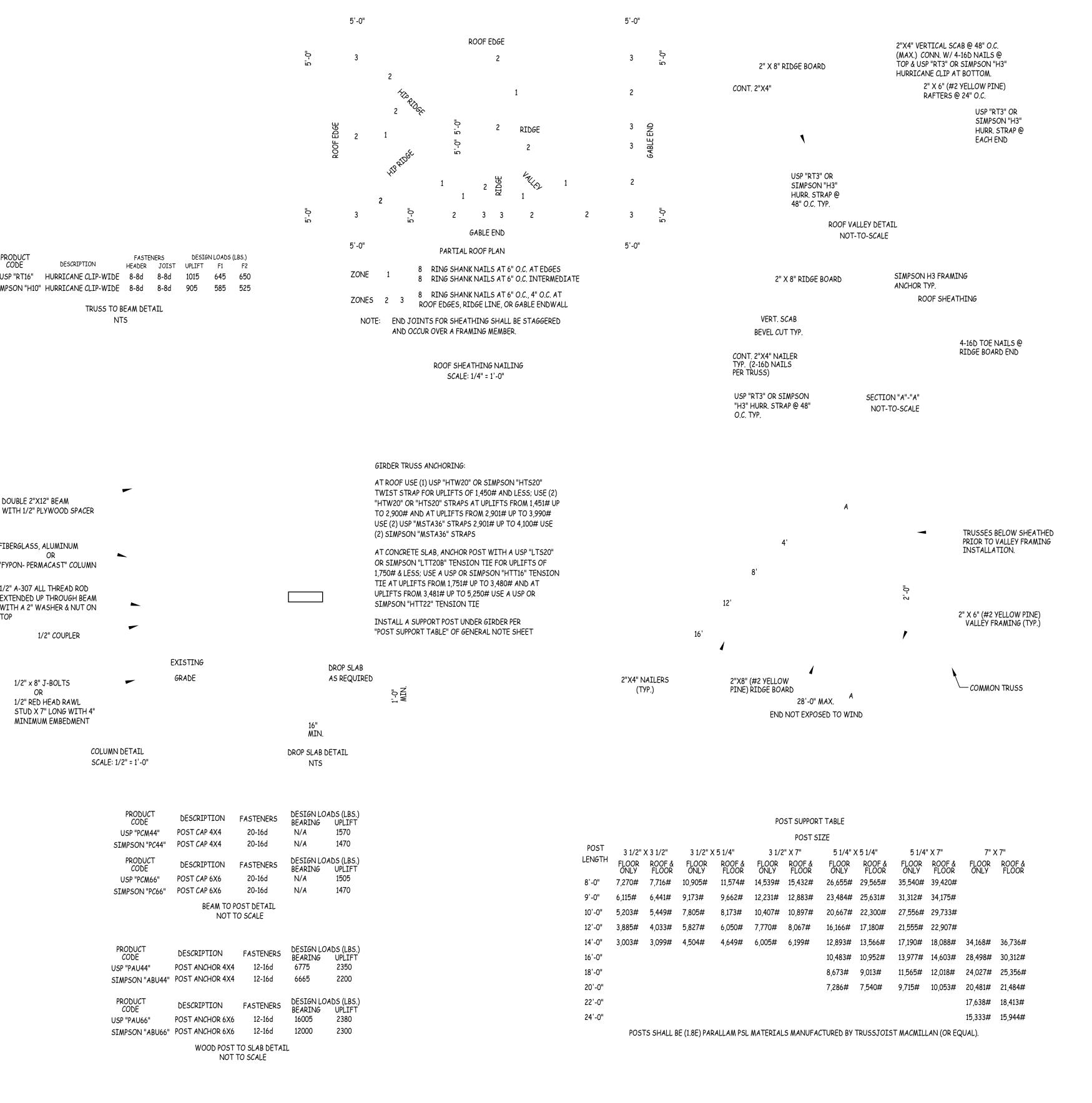
NOT TO SCALE

FBC R905.2.8

ASTM D3462.

FLASHING FOR ASPHALT SHINGLES SHALL COMPLY WITH

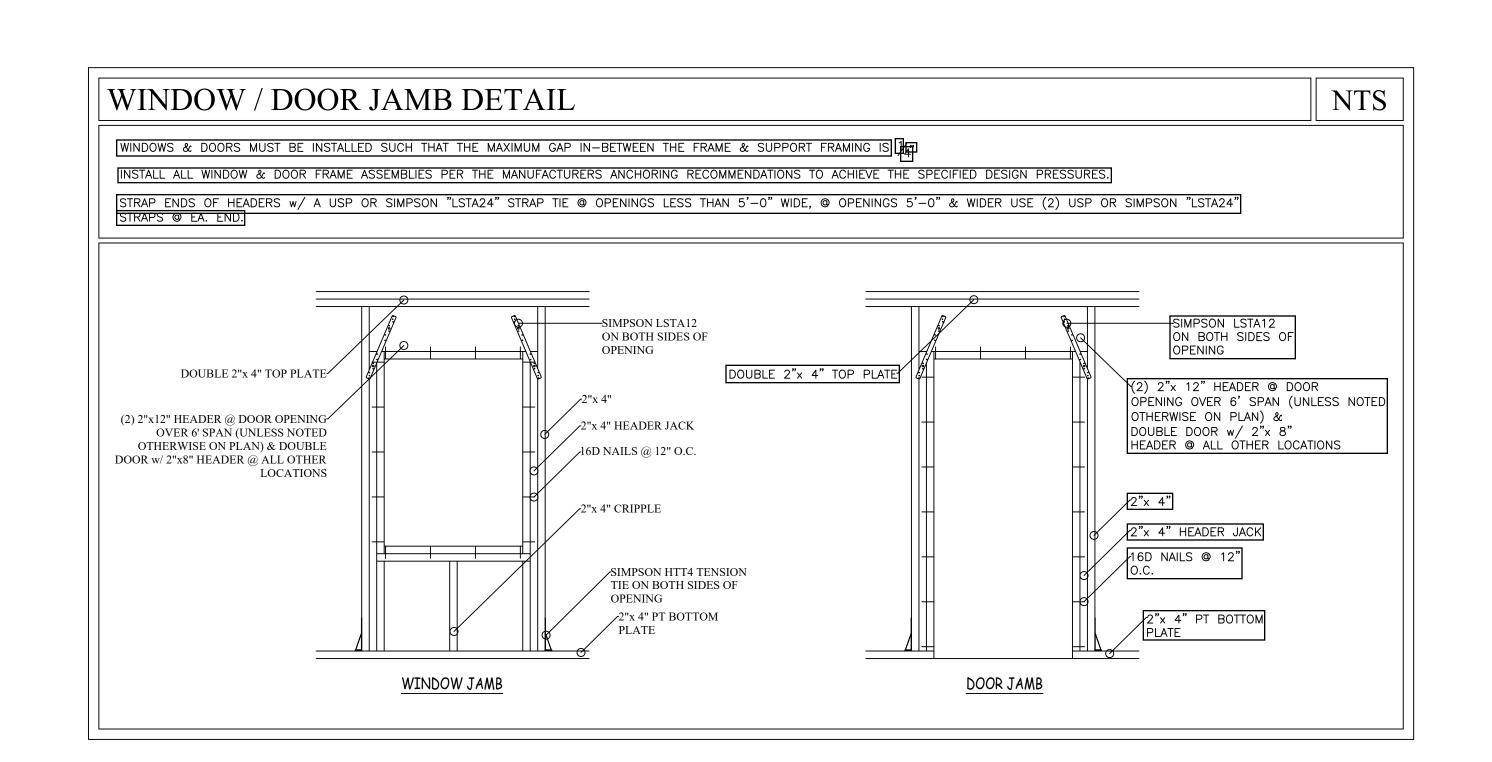
ASPHALT SHINGLES SHALL COMPLY TO ASTM D225 OR

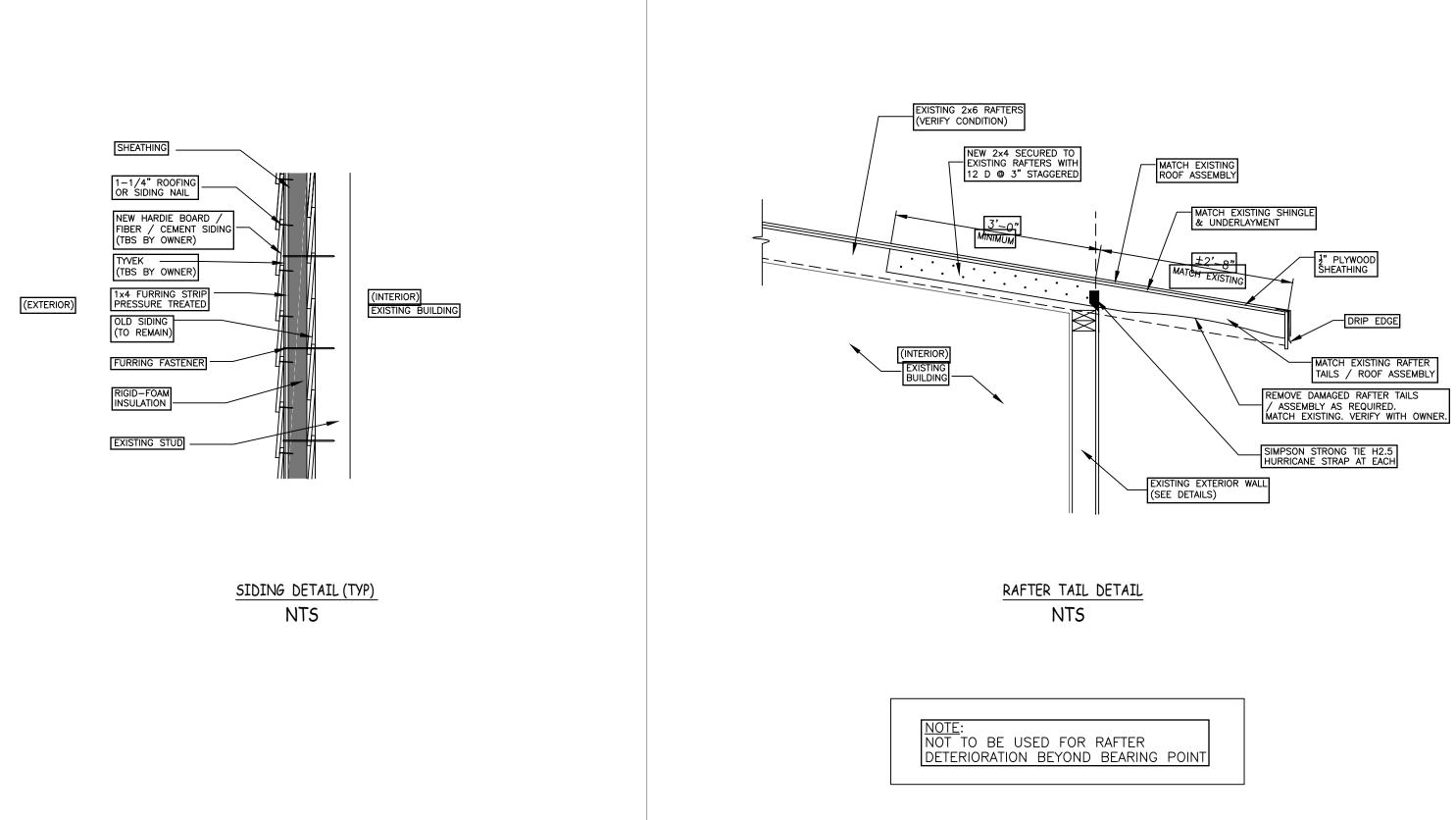


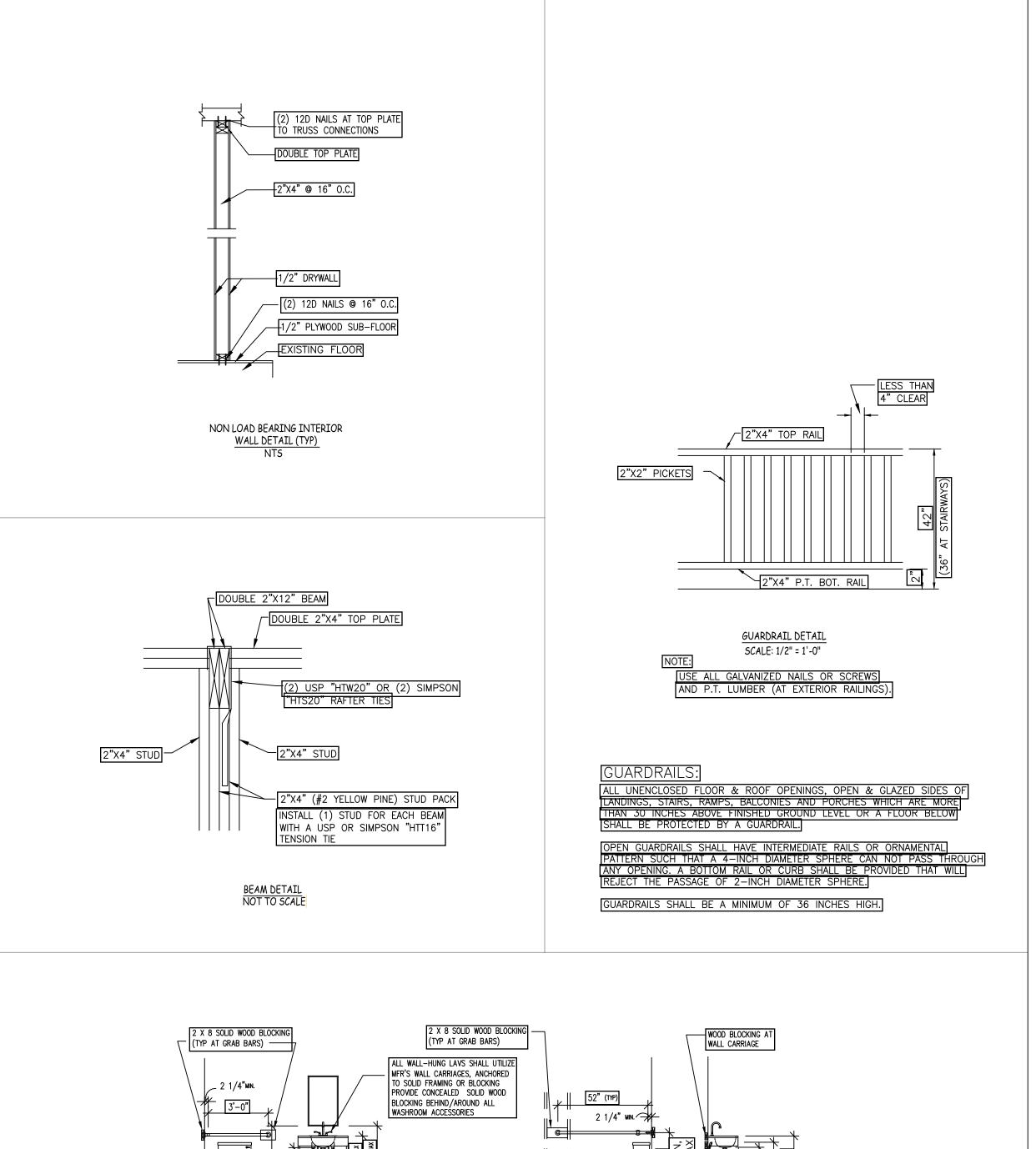
NOTE:
IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND INFORMATION IN FIELD PRIOR TO ORDERING OR CONSTRUCTION.

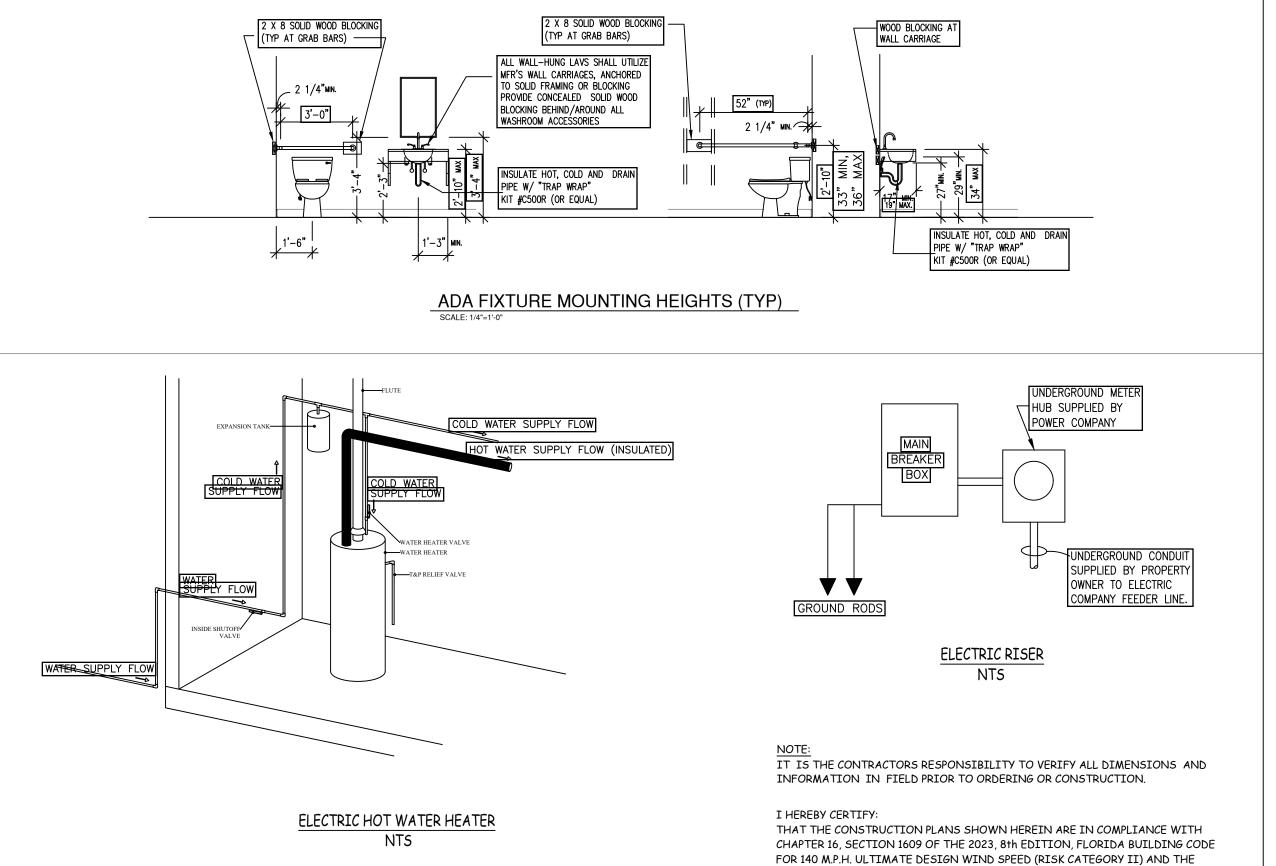
904 MISSOURI OFFICE BUILDING

I HEREBY CERTIFY:
THAT THE CONSTRUCTION PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH
CHAPTER 16, SECTION 1609 OF THE 2023, 8th EDITION, FLORIDA BUILDING CODE
FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) AND THE
2023 FLORIDA BUILDING CODE EXISTING BUILDING 8th EDITION.

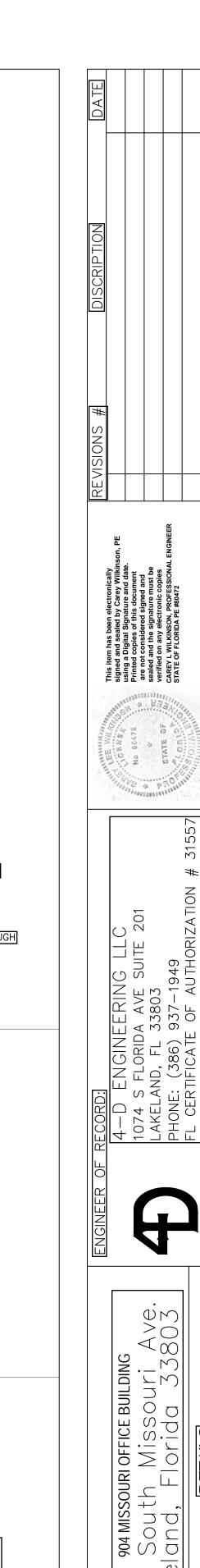








2023 FLORIDA BUILDING CODE EXISTING BUILDING 8th EDITION.



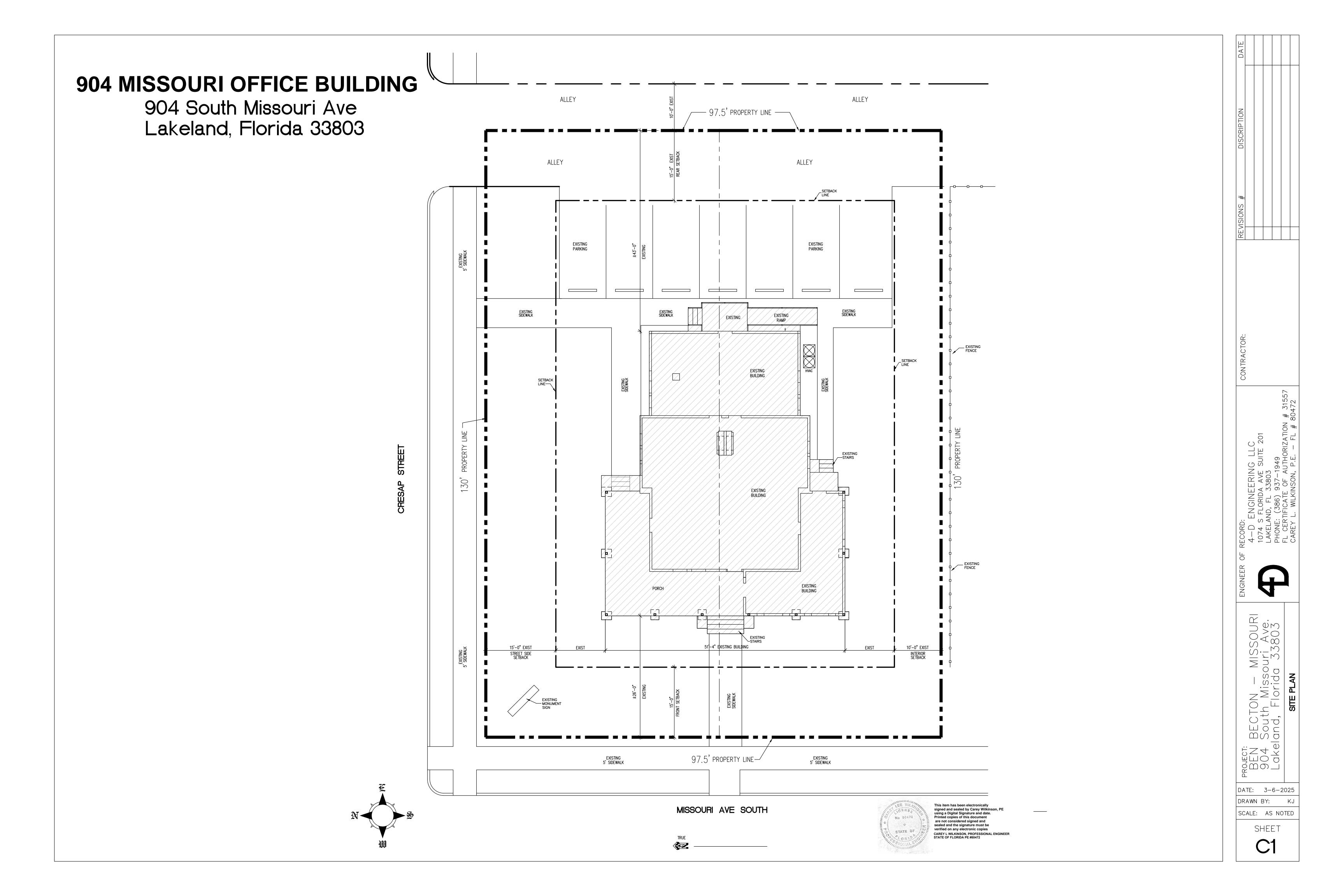
 O_{-}

DATE: 3-6-2025

SCALE: AS NOTED

SHEET

DRAWN BY:



904 S. MISSOURI AVE, LAKELAND, FL 33803

Exterior Details for Historic Review

Review # HPB25-059

April 2022 Color of the Month



Exterior Color Palette

Alabaster

FULL DETAILS

When you want the brightness of a white without sacrificing a warm coziness, try this soft, warm but balanced white. And turn up the peaceful.

March 2022 Color of the Month

SW 7069

Iron Ore

Main Body Color: SW7008 Alabaster

Trim Color: SW7069 Iron Ore

March 2022 Color of the Month
sw 7069
Iron Ore

Accent/ Door Color: SW7069 Iron Ore



Material Sheet



PlastiPro Fiberglass Craftsman Style Door Approval # FL17347-R4



MI Vinyl Single Hung Windows
Approval # FL1767-R19

7.25" X 12' James Hardie
6" Reveal Lap Siding
Smooth Finish
Approval # FL13192-R6

1" X 6" X 12' James Hardie Fascia and Trim
Smooth Finish



Example Photos



Door and Trim



Corner Trim / Siding



Window Trim and window

Note: To maintain a cohesive look with the rest of the structure we do not intend on using the mull bars indicated in example photo.

