



AGENDA
HISTORIC PRESERVATION BOARD
CITY HALL, CITY COMMISSION CHAMBERS
May 23, 2024, 2024 8:30 A.M.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (*free of charge*) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. **If hearing impaired**, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD- Telecommunications Device for the Deaf) or the **Florida Relay Service** Number 1-800-955-8770 (VOICE), for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the April 25, 2024 Historic Preservation Board meeting minutes.
- III. Old Business:
 - A. Historic Lakeland, Inc. Watch List Report (no change since last month)
 - i. 137 Lake Morton Drive
 - ii. 2430 New Jersey Road
 - iii. 302 E. Belvedere Street
 - iv. 632 Easton Street
 - v. 2304 Carolina Avenue
 - vi. 849 E. Lime Street
 - B. Historic Preservation Board Annual Review, May 23, 2024, following the HPB & DRC regular meetings
- IV. New Business: NONE
- V. Adjourn for Design Review Committee.

MINUTES

HISTORIC PRESERVATION BOARD
City Commission Chambers
Thursday, April 25, 2024
8:30 a.m.

(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board met in Regular Session; Adam Abitbol, Bruce Anderson, Jason Hill, Ricardo Jimenez, Natalie Oldenkamp, Chris Olson, Michael Porter, MeLynda Rinker and Britney Wilson were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Alex Landback, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

Acting Chair MeLynda Rinker called the April 25, 2024 meeting of the Historic Preservation Board (“Board”) to order at 8:31 a.m. A quorum was reached, as nine Board members were present. Chair Christopher Olson arrived a few minutes late and relieved Acting Chair MeLynda Rinker of her duty.

II. Review and Approval of Previous Meeting Minutes

Ms. Natalie Oldenkamp motioned to approve the March 28, 2024 meeting minutes as presented. Ms. MeLynda Rinker seconded the motion. The motion passed 9—0.

III. Old Business:

A. Historic Lakeland, Inc. Watch List Report

- i. 137 Lake Morton Drive (continued from 2023)
- ii. 2430 New Jersey Road (continued from 2023)
- iii. 302 E. Belvedere Street (continued From 2023)
- iv. 632 Easton Street
- v. 2304 Carolina Avenue
- vi. 849 E. Lime Street

- B. **HPB24-005 – 111 S. Florida Avenue** – Appeal of the Design Review Committee decision from January 25, 2024 that denied the request to maintain the painted brick on the front façade of the building on the subject property. Owner: Professional Developers of Central Florida LLC. Appellant: Mr. Zach Miller.

Chair Olson introduced the request.

Mr. Michael Porter recused himself from the vote for this item due to a potential conflict of interest.

Ms. Emily Foster presented the staff report, stating the subject property is located on the west side of South Florida Avenue, just north of the Polk Theatre, and consists of one lot with a total area of 0.17 acres. On the property is a two-story commercial building, built circa 1921, which is a contributing structure in the Munn Park Historic District. Known as the W. Fisk Johnson Building, it is a two-part commercial structure in the Masonry Vernacular architectural style that has brick and smooth stucco

cladding, as well as a flat roof with parapet wall. The front façade features two storefronts with inset entry door areas and awnings, an inset entry to the second floor, and five sets of double- or single-hung sash windows with arched headers. On January 25, 2024, the Applicant sought approval to retain the paint over the natural brick on the front façade of the building, which was completed in approximately July 2023, without Design Review approval by staff. According to the Applicant's contractor, the system used on the exterior of the brick building consisted of power washing, priming all brick with Sherwin-Williams Loxon primer, and finishing with two coats of high-performance acrylic paint. In the contractor's opinion, to remove this system would require abrasive blasting, which would likely damage the brick underneath. Painting the exterior of the building was part of an overall rehabilitation of the building, which included new mechanical and security systems, flooring, interior framing, wall covering, trim, and paint. On April 10, 2024, the Applicant provided additional evidence to substantiate the appeal, including a professional opinion from the Applicant's contractor and a third-party opinion from RSR Industrial Group on the methods and viability of removing the paint from the historic brick on the subject building. Both opinions cited abrasive methods to remove the Loxon primer/sealer and paint, which would likely damage the historic brick and are not recommended.

Ms. Foster stated that the request was evaluated using Secretary's Standards for the Treatment of Historic Properties: Standards for Preserving Historic Masonry, Secretary's Standards for Rehabilitation #2, #5, #9 and Chapter 6 of the Design Guidelines for Historic Properties. Painting unpainted, natural brick is inconsistent with both the Standards and Design Guidelines. Abrasive methods of paint removal are never recommended for historic buildings since these methods are likely to damage historic building fabric. Alternative paint removal methods exist, such as alkaline and/or organic solvent paint removers, which are gentler and are recommended to safely remove paint from brick. Staff researched the general effects of using Sherwin Williams Loxon masonry primer/sealant and found that this product is intended for modern masonry surfaces. When used on modern masonry including brick, the Loxon product can be removed using solvents effectively. However, when using this product on porous historic brick, as in the case of the subject building, the Loxon fills in cracks and voids within the brick's structure, making complete removal impossible without damaging or significantly altering the brick. Even if gentler methods of paint removal are undertaken, the brick will likely still show evidence of paint. Given this finding, along with the additional professional opinions provided by the Applicant, staff recommends that the painted condition of the historic brick on the front (east) elevation of the subject building be approved to remain painted.

Ms. Foster stated In light of the new evidence presented, staff recommends that the Historic Preservation Board reverse the decision of the Design Review Committee and approve the request as submitted. To be clear, the staff recommendation for this individual case should not be construed as setting a precedent for painting historically unpainted brick. The Standards and Design Guidelines are clear that painting historically unpainted brick is not acceptable.

There were no public comments.

Discussion ensued, including comments from the Board on other possible alternatives.

MOTION: Final approval of the request as submitted per staff recommendation. (M. Rinker/B. Anderson, 8—0).

IV. New Business:

A. Announcements for Historic Preservation Month in May:

- i. HP Month Proclamation presented by Mayor Mutz May 6, 2024, 9:00am, City

- Commission Meeting
- ii. Discover Your Home's History Workshop with LuAnn Mims and Emily Foster, May 9, 2024, 5:30pm, Lakeland History Room at Lakeland Library Main Branch
 - iii. Annual Historic Preservation Awards Presentation, May 20, 2024, 6:00pm, Polk Theatre
 - iv. Historic Preservation Board Annual Review, May 23, 2024, following the HPB & DRC regular meetings.

V. Adjourn for Design Review Committee.

The meeting adjourned at 9:08 a.m.

Chair, Historic Preservation Board

Senior Planner, Historic Preservation



AGENDA
DESIGN REVIEW COMMITTEE
CITY HALL, CITY COMMISSION CHAMBERS
May 23, 2024
immediately following the Historic Preservation Board Meeting

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (*free of charge*) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. **If hearing impaired**, please contact the **TDD numbers**: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the **Florida Relay Service** Number 1-800-955-8770 (VOICE), for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the April 25, 2024 Design Review Committee meeting minutes.
- III. Review Certificates of Review administratively approved since the previous meeting.
- IV. Consideration of Certificate of Review Applications:
 - A. Oath Administration for Public Testimony by Assistant City Attorney.
 - B. [HPB24-095 – 731 S. Missouri Avenue](#) – Final Approval for replacement siding, front porch alterations, and enclosing and replacing door and window openings on the house at the subject address. Owner/Applicant: Mr. Guy Afriat.
 - C. [HPB24-096 – 727 S. Missouri Avenue](#) – Final Approval for replacement siding, front porch alterations, and enclosing and replacing door and window openings on the house at the subject address. Owner/Applicant: Mr. Guy Afriat.
 - D. [HPB24-103 – 549 W. Hancock Street](#) – Final Approval for the new construction of a single-family house and detached garage at the subject address. Owner: Consult 1 LLC. Applicant: Waller Construction, Inc.
- V. Other Business: NONE
- VI. Adjournment.

MINUTES

DESIGN REVIEW COMMITTEE

City Commission Chambers

Thursday, April 25, 2024

(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board's Design Review Committee met in Regular Session; Bruce Anderson, Ricardo Jimenez, Natalie Oldenkamp, Chris Olson, Michael Porter, MeLynda Rinker and Britney Wilson were present. Historic Preservation Board members Adam Abitbol and Jason Hill were also present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation, Christelle Burrola, Planning Assistant, and Alex Landback, Assistant City Attorney, were also present.

I. Call to Order and Determination of a Quorum

The meeting was called to order by Chair MeLynda Rinker at 9:08 a.m. The Committee roll call was performed and a quorum was present.

II. Review and Approval of the Previous Meeting Minutes

Ms. Natalie Oldenkamp motioned to approve the March 28, 2024 meeting minutes. Mr. Chris Olson seconded the motion. The motion passed 7—0.

III. Review of Certificates of Review administratively approved.

A list of twenty-four (24) administratively approved Certificate of Review projects covering the period 3/22/24-4/17/24 was included with the agenda packet. In response to Mr. Chris Olson, Ms. Emily Foster stated the property owner from 544 Belmar Street W removed the original chimney without a Certificate of Review. The property owner will rebuild the chimney but it will not be operable. There were no additional questions or comments about these projects.

IV. Consideration of Certificate of Review Applications:

- A. Oath Administration for Public Testimony by Assistant City Attorney Alex Landback.
- B. **HPB24-065 – 602 W. Park Street** – Final Approval for the new construction of an accessory dwelling unit at the subject address. Owner/Applicant: Ms. Carla Johnson.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of a corner lot consisting of 0.17 acres at the southwest corner of West Park Street and South Ohio Avenue. On the property is a one-story single-family house, constructed circa 1925 in the Craftsman Bungalow architectural style, and is a contributing building in the Dixieland Historic District. According to the Polk County Property Appraiser's office, the total living area of this house is 1,136 square feet. At the rear of the subject property is a one-story, frame vernacular detached garage with a gabled roof and wood lap siding. This structure was built in 1925 and is approximately 400 square feet in area. Due to extensive deterioration, including failure of the slab foundation, the Applicant requests to demolish the garage to build a new, one-story ADU. The exterior dimensions and footprint of the proposed ADU will match the garage at 20 feet by 20 feet, with a total living area of 400 square feet. The ADU will have a hipped roof with a 4/12 pitch and a small hipped roof porch on the front (east) elevation. Materials proposed to be used for the ADU include:

- Concrete slab foundation
- Wood siding, trim, and corner boards

- Fiberglass windows with a one-over-one lite configuration
- Wood half-lite entry door
- Fiberglass architectural roofing shingles

The site plan submitted for this request shows building setbacks that mostly comply with the requirements set forth in the City's Land Development Code. However, the street side setback along S. Ohio Avenue will need to be revised to a minimum of 15 feet. Additionally, this ADU proposal will require compatibility review approval by the Planning and Zoning Board.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. Generally, while the maintenance of existing historic accessory buildings is recommended, these structures do not possess the same level of significance due to their subordinate scale, modest construction and design, and usually limited visibility in rear yards. Therefore, demolition of these structures is acceptable in cases where substantial deterioration is present and is delegated to staff for approval by the Historic Preservation Board. Staff finds that the demolition of the detached garage on the subject property is acceptable. Regarding the ADU request, staff finds that this proposed new construction does not disturb the spatial relationships of surrounding buildings, and the essential form and integrity of the principal house is maintained. In evaluating the request with the Design Guidelines, staff finds the subordinate scale of the ADU and its simplified design to be consistent with the Design Guidelines. Staff also finds the materials, fenestration, and roof form and pitch to be consistent with the Design Guidelines, and the structure is appropriately located to the rear of the lot. This structure is compatible with the development pattern in the Dixieland neighborhood, in which accessory dwellings are commonly found in both historic and contemporary forms. Finally, while the proposal mostly conforms with the requirements of Land Development Code concerning accessory dwelling units, the street side building setback (along S. Ohio Avenue) will need to be increased to 15 feet for ADU compatibility review approval by the Planning and Zoning Board.

Ms. Foster stated staff recommends Final Approval of the request with the following condition: Windows must be installed with a recess to provide a shadow line instead of being installed flush with the exterior wall.

Chair Rinker asked if the Applicant had any additional comments or questions. The applicant was not present.

There were no public comments.

MOTION: Final approval of the request with the conditions recommended by staff. (C. Olson/N. Oldenkamp, 7—0).

- C. HPB24-080 – 1046 Lexington Street** – Final Approval to construct a carport addition onto the front elevation of the house at the subject address. Owner: Mr. Jason Newton. Applicant: Mr. Dan Sharrett, Sharrett Construction LLC.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is an interior lot with an area of 0.16 acres. On this property is a two-story, single-family, frame vernacular house, which is a contributing building in the Biltmore Cumberland Historic District. The house has an irregular plan with a multi-gabled roof, balconies, and lap siding. This house has a front yard setback of approximately 85 feet, compared to the front yard setbacks of the neighboring houses at 1040 and 1048 Lexington Street, which have front yard setbacks of 25 feet and 34 feet, respectively. The Applicant's request proposes to construct a carport addition of approximately 243 square feet onto the front elevation of the subject house, to the right of the covered front porch/balcony. The

roof of the carport addition will be an extension of the one-story gable on the front elevation. The carport addition will be supported by wood columns matching the style of the columns on the existing covered front porch/balcony. The design and materials for the addition are intended to match the existing house, and include:

- Exterior Cladding: Wood lap siding and trim in gable to match the existing siding on house
- Columns: Wood to match design and dimensions of the columns on the covered front porch/balcony.
- Roof: Asphalt or fiberglass shingles to match existing roofing; 6/12 gable roof

Ms. Foster stated the site plan for the proposed addition shows building setbacks that comply with the Urban Form Standards in the Land Development Code. The request was evaluated using Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds the requested addition does not disturb the spatial relationships that characterize the neighborhood, and the essential form and integrity of the subject house are maintained. Staff also finds that the materials and simple design of the proposed carport addition reflect the materials of the existing house and meet the intent of the Design Guidelines. Typically, a front-loaded, enclosed garage would not be an appropriate treatment for a contributing house according to the design guidelines. However, given the unusual deep front setback of the subject house, more than twice the setback dimensions of the adjacent houses, as well as the open-sided and complementary design of the proposed carport, staff finds that the proposal meets the intent of the Design Guidelines. Furthermore, the carport addition appears to be designed in such a way that it could be removed without causing major damage to the façade of the subject house. Finally, the building setbacks for the carport addition meet the requirements of the Land Development Code's Urban Form Standards.

Ms. Foster stated staff recommends final approval of the request as submitted.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Daniel Sharrett was present in support of the request, but had no additional comments or questions.

There were no public comments.

MOTION: Final approval of the request as submitted. (B. Anderson/B. Wilson, 7—0).

V. Other Business: NONE

VI. Adjournment: There being no further business, the meeting was adjourned at 9:47 a.m.

Chair, Design Review Committee

Senior Planner, Historic Preservation

Number	Location	Description	Milestone	Approved
Historic Preservation (15)				
Minor Review (15)				
HPB24-089		829 SUCCESS AVE, LAKE LAND, FL 33801 (CONTRIBUTING) Install 4' H black aluminum fence enclosure on north side yard of house.	Approved	04/22/24
HPB24-090		319 HANCOCK ST W, LAKE LAND, FL 33803 (CONTRIBUTING) Install 6' H stockade wood to separate the detached structure in the backyard of the subject property from the principal house on the lot. Fence will be built on-site using pressure treated pine in the stockade design. Back gate/fence along alley will be 36" + from the alley. Left side of lot will have same privacy wood all the down starting at the left front of the house.	Approved	04/23/24
HPB24-091		523 PARK ST W, LAKE LAND, FL 33803 (CONTRIBUTING) Installation of small garden shed with the dimensions of 7 ft x 6 ft. By 5 ft. for storage of basic garden and lawn equipment. Sun cast 7x6x5 plastic shed. Brown and tan. With pressure-treated wood base and ground screw anchors.	Approved	04/25/24
HPB24-092		832 CLAYTON AVE S, LAKE LAND, FL 33801 (NON-CONTRIBUTING) Installing 194 linear feet of 6 ft. tall board on board wood fence one 6' x 5' gate in rear yard of subject property.	Approved	04/26/24
HPB24-094		721 PARK HILL AVE, LAKE LAND, FL 33801 (CONTRIBUTING) Remove the existing wood (non-historic) stair on north side of front porch and enclosing that side of the porch with a handrail matching the existing in that opening. Remove the entire handrail between the center and right brick column plinth as the opening for the new poured concrete stair. Construct small cheek walls at the sides of the new stair. The cheek walls will be constructed of brick with concrete caps to reflect the design of the existing column plinths.	Approved	05/01/24
HPB24-098		1520 BOONE PL, LAKE LAND, FL 33803 (NON-CONTRIBUTING) Install 6 ft. tall wood shadowbox fence on a section of the south side yard with a double gate, and install 4 ft. tall shadowbox fence along south side property line in front yard.	Approved	05/02/24
HPB24-097		719 PALMETTO ST E, LAKE LAND, FL 33801 (CONTRIBUTING)	Approved	05/03/24

Metal oval sign, approx. 1.5ft x 2.5ft, flat sign with lettered logo on both sides. Sign is hanging from existing bracket over front door of the tenant space.

[HPB24-099](#)

Approved

05/08/24

733 SIKES BLVD, LAKELAND, FL 33815 (NON-CONTRIBUTING)

Replace existing solid front door with a Fiberglass single door unit: Style - Craftsman Lite 2 Panel Shaker Flush-Glazed finish. Glass style - Clear 1-lite w/o grids. FL#20461.9

[HPB24-100](#)

Approved

05/08/24

114 WALNUT ST W, LAKELAND, FL 33815 (CONTRIBUTING)

Install approximately 140 ft of 6 ft high black coated chain link fence to enclose rear of property. Additionally, two ingress/egress gates will be installed.

[HPB24-093](#)

Approved

05/09/24

817 PENNSYLVANIA AVE, LAKELAND, FL 33801 (CONTRIBUTING)

Add wood screen enclosure with screen door to southeast side of front porch.

[HPB24-105](#)

Approved

05/13/24

1201 FLORIDA AVE S, LAKELAND, FL 33803

Install non-lighted flat sign on the building wall, above a garage door. The sign is made of aluminum (light weight) and is rounded with overall size 45.5"x40" (3.79' x 3.33' which is 12.6SF). Sign has a bracket behind to hide any screw on the front. Sign will be installed with approx 6-8 screws.

[HPB24-101](#)

Approved

05/14/24

1134 RUBY ST, LAKELAND, FL 33815 (CONTRIBUTING)

Replace the existing chain link fence in the backyard of subject property with wood picket fence 6 feet tall by 8 feet wide per fence panel.

[HPB24-106](#)

Approved

05/14/24

939 MISSOURI AVE S, LAKELAND, FL 33803 (CONTRIBUTING)

Replace back privacy fence that was in need of repair after landscaping was cleared. New fence will be setback from the alley by at least 3 feet.

[HPB24-107](#)

Approved

05/14/24

420 BELVEDERE ST W, LAKELAND, FL 33803 (NON-CONTRIBUTING)

Installation of a 6 ft. tall tan nonglossy PVC fence in the rear yard of the subject property.

[HPB24-109](#)

Approved

05/16/24

716 PATTERSON ST W, LAKELAND, FL 33803 (NON-CONTRIBUTING)

Replace the existing white 4 ft. tall wood picket fence at the front of the lot with a new white 4 ft. tall vinyl picket fence. 50 linear feet including a 4 ft. wide walk gate.

Total Planning Projects Approved: 15



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
May 23, 2024**

Project #	HPB24-095
Project Type	Major Rehabilitation
Property Address; Historic Name	731 S. Missouri Avenue William and Ida Warren House (Lakeland City Directory 1919)
Historic District; FMSF#	Dixieland Historic District; DL 190
Owner/Applicant	Mr. Guy Afriat
Future Land Use; Zoning; Context District	Residential High; O-1; Urban Neighborhood
Existing Use	Residential
Adjacent Properties	Residential and Commercial/Office
Previous Approvals	N/A

REQUEST

The Applicant requests approval for replacement siding, front porch alterations, and replacing doors and windows, as well as enclosing and relocating certain window and door openings on the subject house.

SUMMARY OF BACKGROUND INFORMATION AND INITIAL REQUEST

The subject property is an interior lot (Dranes 2nd Addition, Block 2, Lot 5 north 85.8 feet and south 16.5 feet of Lot 4) that is 0.15 acres in size. On this property is a two-story Frame Vernacular house built circa 1910, which is a contributing building in the Dixieland Historic District. Architectural features include a gable roof, brick chimney, hipped roof front porch supported by metal columns and handrail, and double-hung sash windows. Alterations to the house include a shed roof side addition, the installation of asbestos shingle siding in place of the original wood siding, the replacement of several original window sashes with fixed and awning windows, the removal of original front porch wooden columns, and the partial enclosure of the front porch.

Historically, this house was built as a single-family home; however, it was converted to four apartments several decades ago. Due to years of deferred maintenance, the house is in poor, but repairable condition. As part of an extensive rehabilitation of the house to return it to single-family use, the Applicant requests to make the following alterations:

1. Remove all existing asbestos siding on the house and replace it with textured composite lap siding with a 7-inch exposure and wood grain texture.
2. Replace all existing windows with composite, single-hung sash windows matching the existing opening sizes.
3. Enclose three window opening on the north side elevation, one windows on the rear elevation (addition), and relocate two window openings on the rear elevation. Enclosed window openings will be infilled with typical wall framing and lap siding.
4. Replace exterior doors with fiberglass three-quarter lite and half-lite doors.
5. Convert one door opening to a window on the front elevation of house (non-historic, used for dividing the house into apartments previously). Enclose one door opening on south side elevation with typical wall framing and lap siding

6. Remove metal columns and handrail on front porch and replace with square wooden columns and wood handrail.

The Applicant also plans to remove the metal roof and replace with fiberglass shingles; this request can be reviewed and approved administratively by staff.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard #6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 6 Exterior Architectural Features: Alteration and Maintenance.

Sub-Chapter 6.3 Front Doors and Entrances

- Doors and entrances that are preserved and maintained as original features that contribute to the architectural character of the structure.
- Doors and entrances should be compatible with the style of the house.
- Door openings should keep the same proportions as originally built and should not be enlarged to accommodate different size doors.
- Door head heights should be consistent with window heights throughout the structure.
- Entryways and doors should retain as many of their trim features as possible.
- Replacement doors, storm doors and screen doors should be appropriate to the style of the host structure.
- Removal, covering up or destroying original entryway and door trim or other architectural features is not acceptable.

Sub-Chapter 6.4 Windows and Shutters for Contributing Buildings

- Existing window trim, casing, and other decorative details contributing to the building's character should be preserved. Any replacement of trim, casing and other decorative details surrounding the window must use the same or similar material of the same design, profile, and dimension.
- Window openings should be kept in the same proportion as originally provided.
- Replacement of original windows should only be considered in cases where original windows have deteriorated beyond reasonable repair.
- Replacement window requirements:
 - Window design should reflect the architectural style of the building (see Chapter 5: House Styles for window designs appropriate for specific architectural styles).
 - Must retain the opening size of the original window.
 - Must use the same type of window as the original. Double-hung sash windows may be replaced with a double-hung sash or single-hung sash window.
 - Must retain the same divided lite/pane pattern as the original window. Muntins/grids must be dimensional and mounted to the exterior glass, approximately of the same dimension as the original window;
 - Must be installed with a recess inside the casing of the window opening to produce a shadow line (flush installation is not permitted); box or block frame windows are recommended as fin/flange windows do not produce an adequate recess.
 - Double or grouped windows may not be separated by a standard mull bar and must be separated by a wood or similar material mullion of the same dimension as the original mullion.
 - Window must be trimmed out with wood or similar material of the same design, profile, and dimension as the original, including angled sill and top drip edge. It is recommended that the original window trim and casing be preserved.
 - Non-historic windows such as jalousie, awning, and aluminum single-hung sash windows, may be replaced with windows that are typical for the architectural style of the building.
 - Possible substitutes must be approved by the Historic Preservation Board.

Sub-Chapter 6.5 Siding and Exterior Wall Cladding.

- Exterior siding should be similar in style to the original.
- If siding is replaced, all trim board dimensions and joinery details should be maintained and kept visible.
- Fiber cement board siding similar in scale, proportion, texture and finish to wood as an alternative replacement exterior cladding is acceptable.
- If replacement of asbestos siding is unavoidable, use similar board dimensions and joinery details; fiber-cement products may serve as replacement material.
- Environmental remediation is required for removing and discarding asbestos siding.

Sub-Chapter 6.2 Porches

- Porch columns, railings and trim details should match the historical architectural style of the house.
- Deteriorated features of the porch should be duplicated in shape and character as close to the original as possible.
- Corner boards on wooden porches should be preserved and not covered up or replaced with narrower features.
- The removal, wholly or in part, of a porch, balcony, railings, or steps if they exist as part of the original structure.
- Replacement of original porch features with inappropriate materials or features that conflict with the original porch design is not acceptable

ANALYSIS:

Staff finds that the request meets the Standards, as the features requested to be replaced are either not original historic fabric (asbestos shingle siding, aluminum windows, metal porch columns and handrail), or the original fabric (windows) is deteriorated beyond reasonable repair. The window and door enclosures/conversion are requested for primarily secondary elevations of the house and will not adversely affect its architectural character or integrity. The requested door enclosure on the front of the house is not a historic feature. Staff recommends preserving and repairing the central window with leaded glass on the front elevation of the house, as this is one of the few historic features remaining.

As the subject house did not originally have asbestos siding, staff finds that the use of fiber-cement lap siding for replacement siding is consistent with the Design Guidelines. Additionally, the requested window and door replacements are appropriate in size, configuration, and material. Finally, the use of simply designed wood columns and handrail is compatible with the architectural style of the house and consistent with the Design Guidelines.

STAFF RECOMMENDATION:

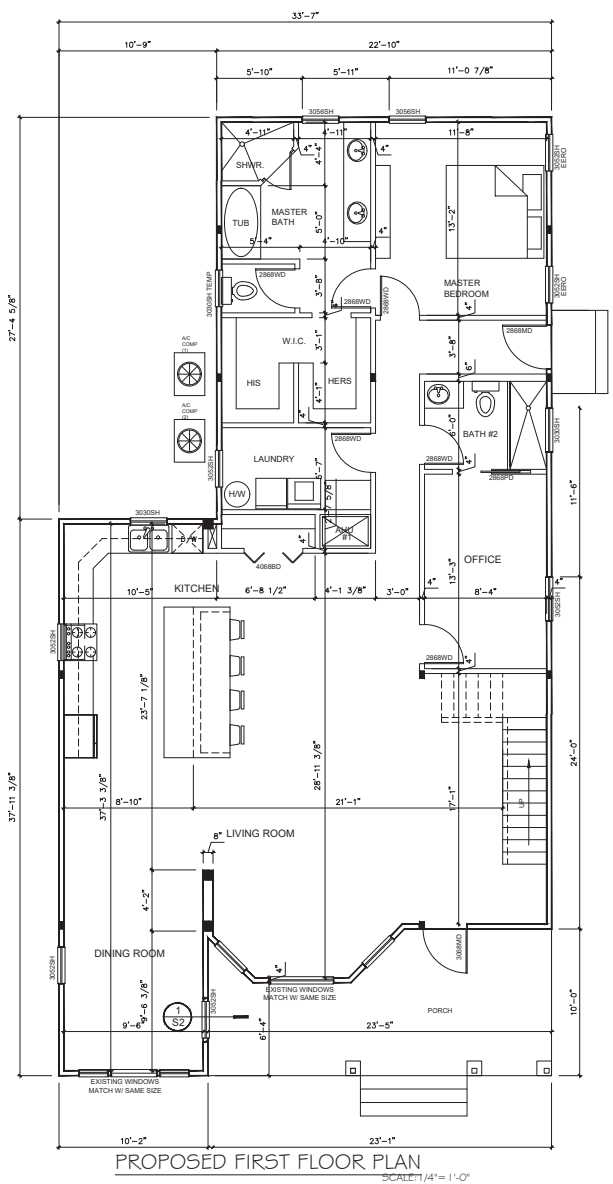
Approval of the request with the following conditions:

1. Exterior siding must include the use of corner boards of an appropriate width at every corner of house,
2. Windows must be installed with a recess into the wall to provide a shadowline; window casing must include a traditional sill. Paired or grouped windows must have a vertical mullion of at least 4 inches wide.
3. Preserve and repair the central window with leaded glass on the front elevation, first floor.
4. Front porch columns must include a simple capital and base compatible with the Frame Vernacular architectural style of the subject house.

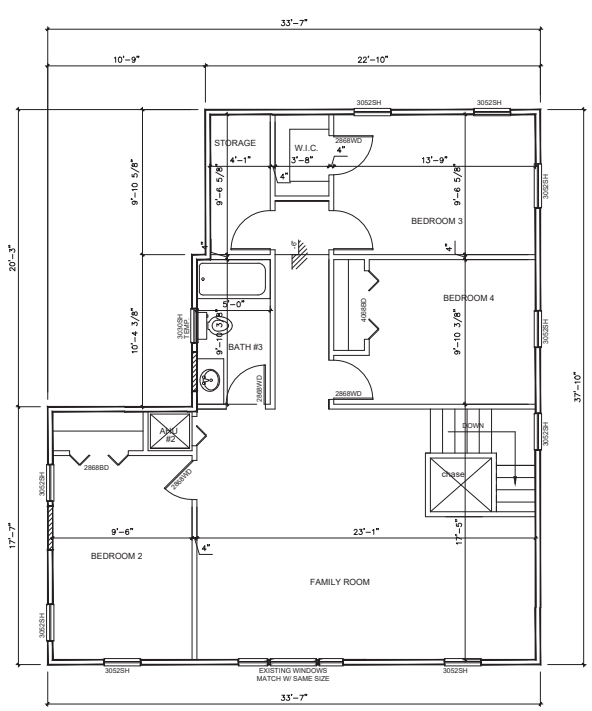
Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



731

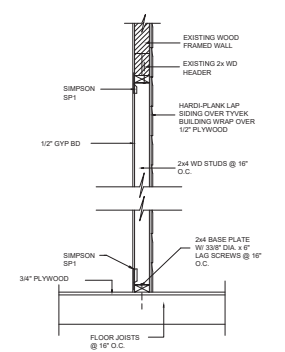


1ST FLOOR AREA (A/C)	LIVING AREA (A/C)	2nd FLOOR AREA (A/C)
LIVING AREA (A/C)	LIVING AREA (A/C)	PORCH = 196.4 SQ FT
PORCH = 196.4 SQ FT	TOTA SQ FT = 2962.2 SQ FT	



PROPOSED SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

DENOTES EXISTING WINDOW OR DOOR OPENING TO ENCLOSED BY WOOD FRAMING



SECTION 1 SCALE: 3/4" = 1'-0"

- SCOPE OF WORK**
- IT SHALL BE NOTED THAT THE PURPOSE OF THESE DRAWINGS ARE TO ILLUSTRATE THE RENOVATION & MINIMUM MODIFICATION OF THIS RESIDENTIAL HISTORICAL STRUCTURE.
 - CONTRACTOR SHALL REMOVE AND REPLACE ALL ROTTED WOOD STUDS, RAFTERS, FLOOR JOISTS & FLOOR BEAMS AND REPLACE WITH NEW WOOD MEMBERS AS DETAIL & SECTION SHEET SHOWS.
 - ALL INTERIOR DRYWALLS SHALL BE REMOVED AND REPLACED W/ NEW 1/2" GYPSUM BD @ WALLS & AT CEILINGS
 - ELECTRICAL CONTRACTOR SHALL RE-WIRE ENTIRE HOUSE TO MEET THE CURRENT NEC 2020 CODES
 - ALL DAMAGED PLUMBING SHALL BE REMOVED AND REPLACED.
 - PORTIONS OF EXISTING ROOF STRUCTURE SHALL BE REPLACED DUE TO DAMAGE & REPLACED PER STRUCTURAL DETAILS
 - BUILDING SHALL BE DEODORIZED AND CLEANED, REPAINTED WITH PRIMER PAINT PRIOR TO APPLICATION OF FINAL INTERIOR FINISH PAINT
 - ALL EXISTING WINDOWS TO BE REPLACED WITH SAME SIZE CODE & COMPLYING EGRESS WINDOWS AT ALL BEDROOMS
 - ALL EXISTING WINDOWS IN BATHROOM SHALL BE REPLACED WITH TEMPERED GLASS WINDOWS
 - THE FRONT PORCH COLUMNS SHALL BE REPLACED WITH NEW SQUARE COLUMNS PER DETAILS AND IN CONFORMANCE WITH THE HISTORICAL DISTRICT REQUIREMENTS.
 - CONTRACTOR SHALL REMOVE DAMAGED EXTERIOR SIDING AND REPLACE WITH NEW LAP SIDING PER STRUCTURAL DETAILS PROVIDED.
 - CONTRACTOR SHALL REPLACE METAL ROOF FINISH WITH NEW CORRUGATED METAL ROOF FINISH.
 - EXISTING DAMAGED METAL STAIRCASE TO SECOND FLOOR SHALL BE DEMOLISHED, AND SECOND DOOR OPENINGS AT FRONT OF HOUSE TO BE ADDED GIVING ACCESS TO SECOND FLOOR FROM THE EXISTING PORCH.
 - NEW HVAC SYSTEM TO BE ADDED TO ALL UNITS AND ALL EXTERIOR WALLS AND ROOF SHALL BE INSULATED PER PLAN.

DESIGN PRESSURES

WIND DESIGN LOAD INFORMATION

WIND SPEED (ULTIMATE) 140 mph
 WIND SPEED (ALLOWABLE) 98 mph
 WIND EXPOSURE II
 RISK CATEGORY V-B
 ENCLOSURE TYPE ENCLOSED
 INTERNAL PRESSURE COEFFICIENT +/- 0.18

EFFECTIVE WIND AREA (SQ FT)

AREA	(4)	(5)
10	(+) 29.7 (-) 32.1	(+) 29.7 (-) 39.6
20	(+) 28.3 (-) 30.8	(+) 28.3 (-) 37.0
50	(+) 26.6 (-) 29.1	(+) 26.6 (-) 33.5
100	(+) 25.2 (-) 27.7	(+) 25.2 (-) 30.9

WIND PRESSURE & SUCTION (PSF)

(+) VALUE DENOTES PRESSURE
 (-) VALUE DENOTES SUCTION

WIND PRESSURE/SUCTION DIAGRAM

STANDARD DESIGN PRESSURE NOTES

- ASCE 7-22WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS PER FLORIDA BUILDING CODE 6th EDITION (2023). WIND SPEED IS BASED ON LINEAR INTERPOLATION FOR THIS SITE.
- MEAN ROOF HEIGHT FOR A TYPICAL SINGLE STORY HOME IS 15FT. 2 STORY HOME IS 30FT
- MULTIPLY THE ABOVE PRESSURES BY 1.67 TO GET ULTIMATE WIND PRESSURES.
- "H" = END ZONE IS ONLY WIND 5'-0" OF ALL EXTERIOR BUILDING CORNERS.
- INDICATED PRESSURES CAN BE INTERPOLATED FOR OTHER DOOR SIZES. OTHERWISE USE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREAS.
- DESIGNATED AREAS WHERE THE ULTIMATE WIND SPEED IS 140 MPH OR GREATER IS CONSIDERED TO BE IN THE WIND-BOURNE DEBRIS REGION. GLAZED OPENING PROTECTION IS REQUIRED AND SHALL BE PROVIDED PER SECTION R301.2.1.2 OF THE FLORIDA BUILDING CODE - RESIDENTIAL CURRENT EDITION.

- STRUCTURAL NOTES**
- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH FBC SECTION R301 2018 EDITION RESIDENTIAL IN CONJUNCTION W/ ASSET-22 FOR WIND LOAD @ 140 MPH W/ 1 & 3-SECOND GUST/NORMAL 108 MPH WIND - WIND EXPOSURE II & RISK CATEGORY 2
 - a) Unhabitable attic without storage: 1 Opsf,
 - b) Unhabitable attic with limited storage: 2 Opsf,
 - c) Habitable attics and attics served with fixed stairs: 3 Opsf,
 - d) Balconies (exterior) and decks: 4 Opsf,
 - e) Guards and handrails: 2 Opsf,
 - f) Guard in-fill components: 5 Opsf,
 - g) Passenger vehicle garages: 3 Opsf,
 - h) Rooms other than sleeping room: 4 Opsf,
 - i) Sleeping rooms: 3 Opsf,
 - j) Stairs: 4 Opsf,
 - k. (FBC-Residential R301, Table R301.5)
 - WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBC SECTION R301
 - ALL FLOOR SLABS TO BE OF 3000 PSI CONC. PLANT MIX MIN. 4" THICK WITH FIBER MESH REINFORCEMENT ON 6 MIL. POLY. VAPOR-BARRIER OVER TERMITE TREATED COMPACTED CLEAN FILL.
 - FIBER MESH REINFORCEMENT FIBERS SHALL BE "V" TO "I" COLLATED POLYPROPYLENE FIBERS REQUIRED DOSEAGE RATE TO BE AS SPECIFIED BY THE MANUFACTURER. FIBERS SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND WITHIN THE SPECIFIED "ASTM D94" TYPE # 4, 13 AND WITH THE FLORIDA BUILDING CODES. CERTIFICATION OF COMPLIANCE SHALL BE MADE AVAILABLE ON REQUEST. STANDARD AOC 302 PROCEDURES FOR PLACING, FINISHING, AND CURING SHALL BE FOLLOWED WHEN USING FIBER MESH CONCRETE.
 - CONCRETE MASONRY UNITS SHALL MEET: (1) 3 OF ACI 530/ASCE 5/TMS 402 OR 81A BUILDING CODE REQUIREMENTS.
 - WORTHY TO BE TYPE "M" OR "S", GROUT - 2500 PSI @ 28 DAYS.
 - MASONRY CLEAN OUTS REQUIRED @ GREAT OR GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
 - REBAR TO BE # 5'S GRADE AC. W/ MIN. LAP OF 30". USE "L" BARS @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
 - CHP. BR. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 9" O.C. WITH 5/8 NALS. GYP. BR. WALLS SHALL BE NAILED @ 9" O.C. WITH 5/8 NALS
 - UPRT CONNECTORS TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
 - EPXY ANCHOR ALTERNATIVE: HIRSHAD ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS. THE FOLLOWING CRITERIA MUST BE MET:

ANCHOR SIZE	CONC. HOLE SIZE	MIN. HOLE DEPTH
1/2"	1/2"	8"
3/8"	3/8"	8"
1/4"	1/4"	8"

 AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPXY INSTALLATION. (PREP. ENG. TRUSSES EXCLUDED) STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.
- WOOD STRUCTURAL NOTES**
- ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
 - ALL STRUCTURAL LUMBER SHALL BE SPT(SPRUCE/PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PREP. ENG. TRUSSES EXCLUDED)
 - STUDS TO BE LOCATED WITHIN 5" OF ROOF TRUSS LOCATIONS.
 - END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4". STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.C.
 - PLYWOOD OR OSB WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C. UNLESS OTHERWISE NOTED.
 - NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
 - MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
 - DR. STUDS @ EA. END OF SHEAR WALL.
 - WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
 - NAIL PATTERN
 - DOUBLE PLATE 12" O.C., OUTSIDE SPURCE ZONE (SEE NOTE 4)
 - DOUBLE STUDS @ 12" O.C.
 - DOUBLE OR TRIPLE HEADER @ 6" O.C. @ EDGE @ 12" O.C., INTERMEDIATE
 - HEADER TO STUD @ 4" O.C. EA. HEADER MEMBER -STUD TO TOP OR BOTTOM PLATE: (2) 16d THRU PLT. OR (2) 16d EA. SIDE TOE NAILED TO PLT.
 - ROOF SHEATHING TO BE MIN. 19/32" PLYWOOD OR 7/16" OSB NAILED PER ROOF NAILING PATTERN DETAIL.
 - FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
 - ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
 - TRUSS BRACING PER TRUSS MANUFACTURER'S DRAWINGS.
 - ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY
 - ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- FIELD REPAIR NOTES**
- MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USP M7W6 OR H10 OR SIMPSON M7M16 W/ (4) "X 2" TAPCONS TO BOND BEAM.
 - MISSED L-BOLTS FOR FRAMED EXTERIOR BEARING WALLS MAY BE 1) SUBSTITUTED W/ 1/2" DIA. X 7" LONG WEDGE ANCHORS (REDHEADS), MISSED FOOTING DONNELS MAY BE SUBSTITUTED W/ A STRAIGHT #8 REBAR SET IN A 3/4" DIA. X 6" DEEP HOLE FLD W/ UNITEC
 - PROPOXY 300 OR SIMPSON SET OR ETP ADHESIVES.
 - THE BUILDER MAY FIELD SUBSTITUTE A DIFFERENT CONNECTOR THAN THE ONE SPECIFIED PROVIDED THAT THE CONNECTOR HAS A GREATER CAPACITY THAN THE ORIGINAL SPECIFIED CONNECTOR WITHOUT THE ENGINEER'S VERIFICATION PROVIDED ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS ARE FOLLOWED.
 - BLOCK WALL OVERHANGING SLAB CONDITION:
 - IF WALL BEHIND EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED
 - 7" TO 11" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT UP TO 7" - NO REPAIR NEEDED
 - 11" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT UP TO 7" - NO REPAIR NEEDED
 - 11" - REQUIRE SPECIAL ENGINEERING LETTER PENETRATION OF PLUMBING PIPES/DRAIN VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DEF. STUD AND FLOOR TRUSS IS NO CLOSER THAN 2" FROM PENETRATION.
 - ADD (1) M7M16 @ TOP AND BOTTOM PLATE

SKS CONSULTING SERVICES
 1000 S. MISSOURI AVE. SUITE 100
 ST. LOUIS, MO 63104
 TEL: 314.433.1111
 FAX: 314.433.1112

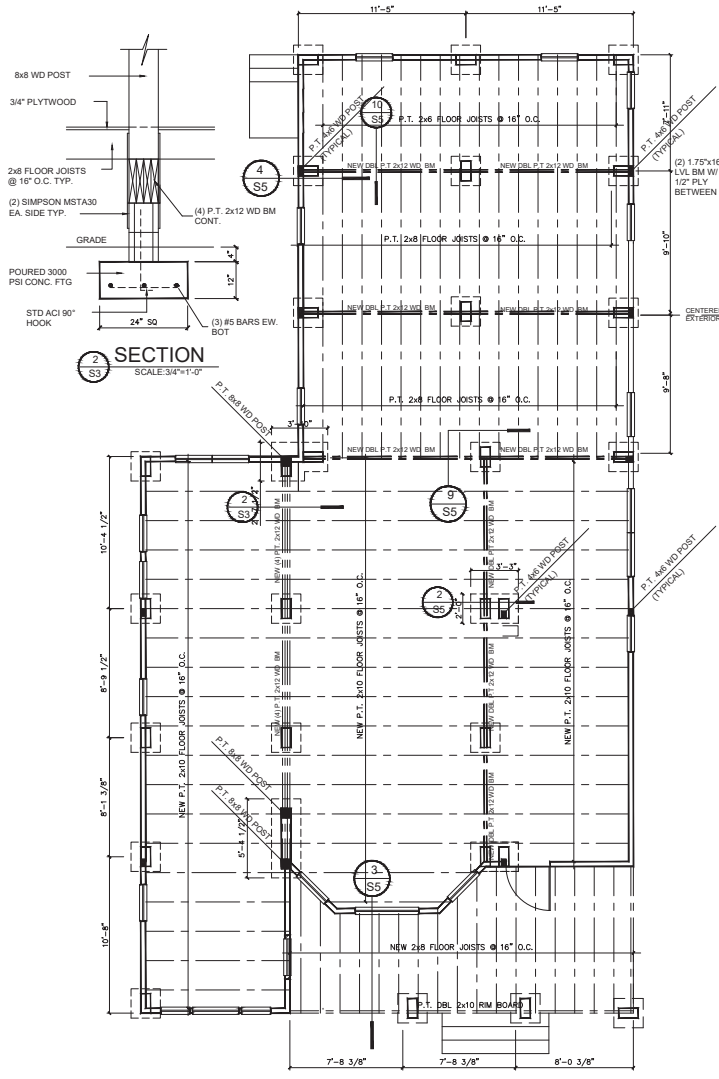
731 S MISSOURI AVE ALTERATION

DATE: JANUARY 30, 2024
 SCALE: AS SHOWN
 SHEET NO.: 1 OF 2
 PROJECT NO.: 24-008
 DRAWN BY: SHS/COR
 CHECKED BY: SHS/COR

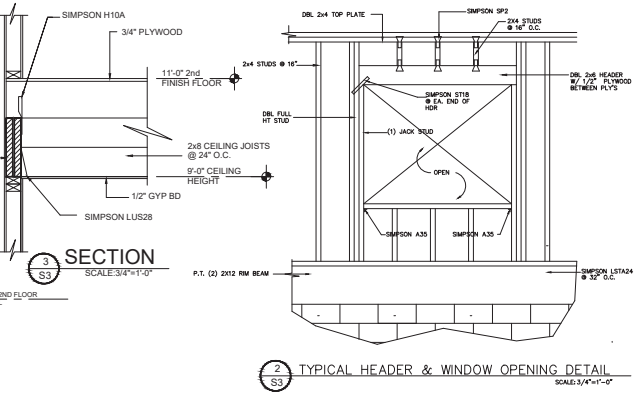
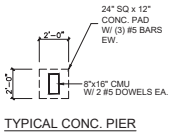
NO. DATE REVISION PER CITY COMMENTS CLIENT CHANGES

DATE: 1/30/24
 SCALE: AS SHOWN
 SHEET NO.: 1 OF 2
 PROJECT NO.: 24-008
 DRAWN BY: SHS/COR
 CHECKED BY: SHS/COR

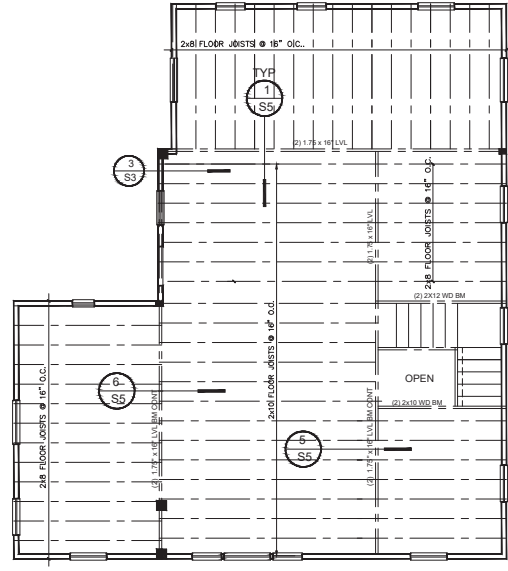
S2



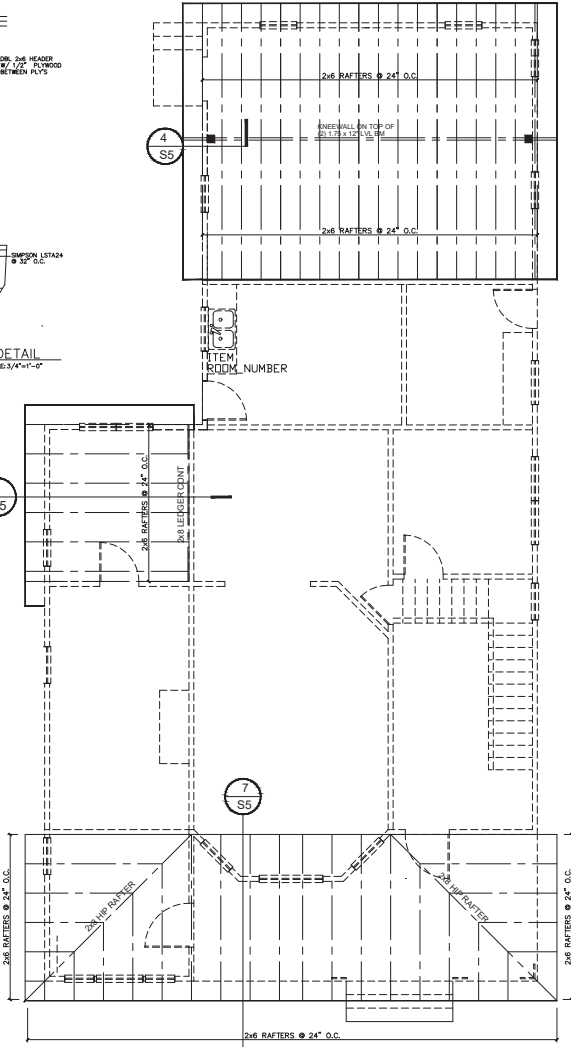
FIRST FLOOR FRAMING / FOUNDATION PLAN
SCALE: 1/4"=1'-0"



SECTION 3 SCALE: 3/4"=1'-0"
SECTION 2 TYPICAL HEADER & WINDOW OPENING DETAIL SCALE: 3/4"=1'-0"



SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

SKS CONSULTING SERVICES
1000 S BARNHILL LANE SUITE 100
ST. LOUIS, MO 63104
TEL: 314.433.1111
WWW.SKS-CONSULTING.COM

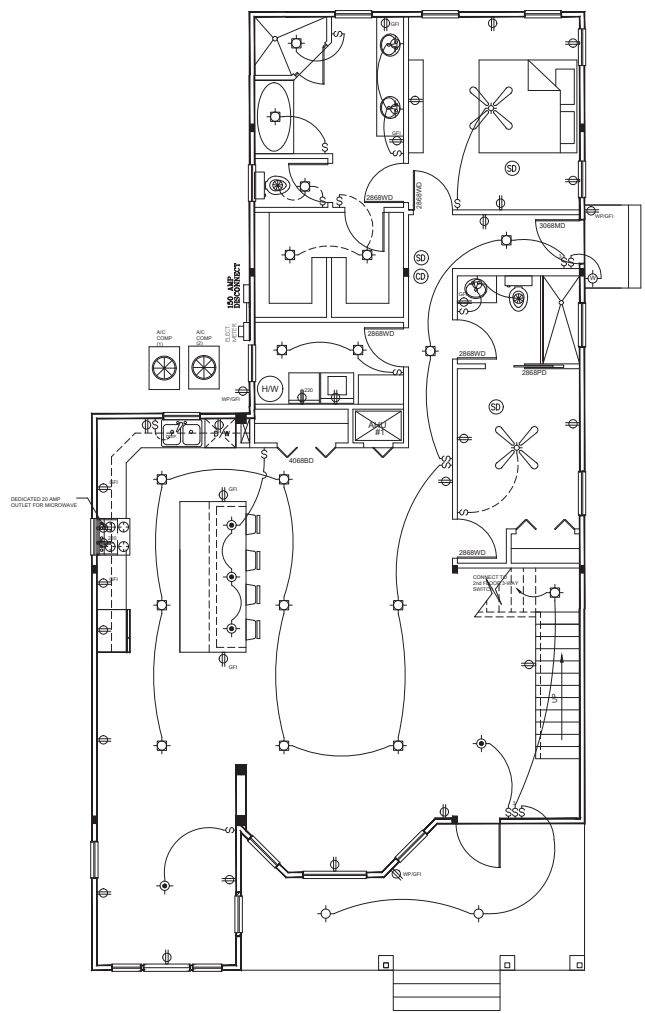
NO.	DATE	DESCRIPTION
1	JANUARY 30, 2024	ISSUE DRAWINGS
2	FEBRUARY 14, 2024	REVISED PER CITY COMMENTS & CLIENT CHANGES

DATE: JANUARY 30, 2024	SCALE: SEE DRAWINGS	PROJECT NO.: 24-008731 MISSOURI AVE
DRAWN BY: SWS / CDR	DESIGNED BY: SWS / CDR	CHECKED BY: SWS

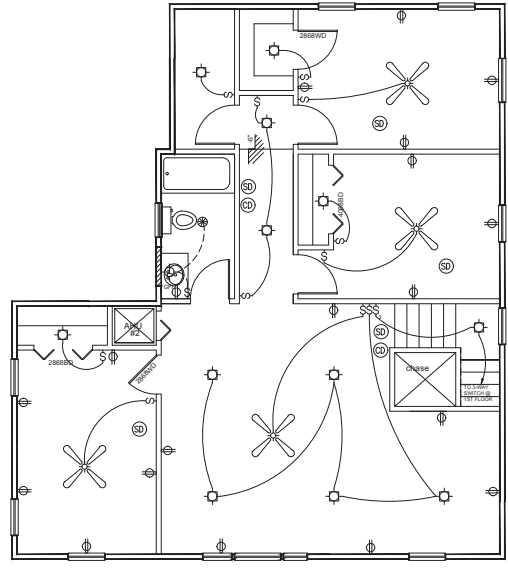
731 S MISSOURI AVE ALTERATION

S3

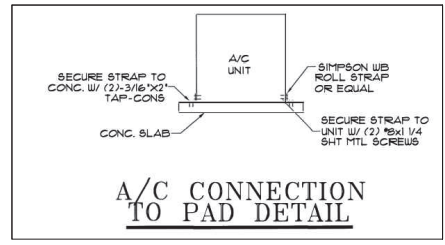
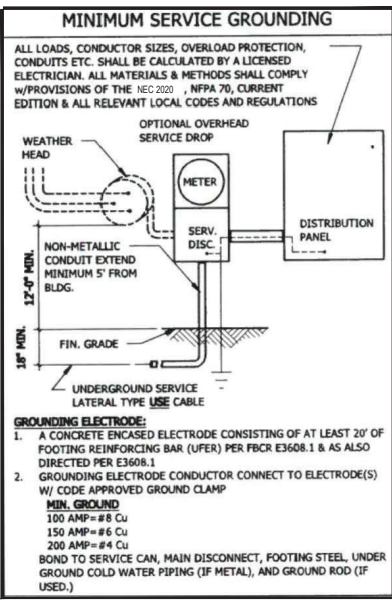
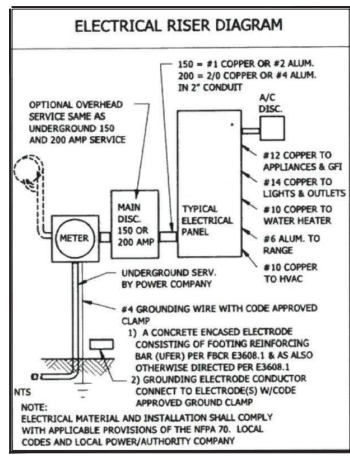
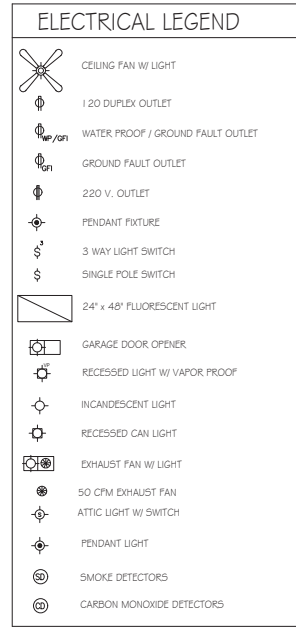
24-008 731 S. Missouri Ave. SWS
 PWD: Monday, April 29, 2024, 12:48:04 AM
 PWS: ARCH-141 (Rev D) (24.00 X 36.00 inches)



PROPOSED FIRST ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



A/C CONNECTION TO PAD DETAIL

SMOKE ALARMS AND CARBON MONOXIDE PROTECTION

MAKE / MODEL INFORMATION:
 SMOKE DETECTOR: Kidde FireX MODEL: #M618
 SMOKE / CARBON COMBO: Kidde FireX MODEL: #FN-CO5M-1BA

SMOKE DETECTORS ARE REQUIRED IN ALL DWELLINGS. EACH SLEEPING AREA IS REQUIRED TO HAVE A SMOKE DETECTOR INSIDE AND ONE SMOKE DETECTOR OUTSIDE OF EVERY SLEEPING AREA. EACH LEVEL OF A RESIDENCE, INCLUDING BASEMENTS, MUST HAVE SMOKE DETECTORS LOCATED NEAR THE STAIRS TO THE LEVEL ABOVE.

EACH DWELLING HAVING A FOSSIL-FUEL BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE MUST ALSO BE EQUIPPED WITH CARBON MONOXIDE ALARMS. THESE ALARMS MUST BE LOCATED WITHIN TEN FEET OF ROOMS USED FOR SLEEPING PURPOSES AND AT ALL CHANGE IN ELEVATIONS. COMBINATION SMOKE/CARBON MONOXIDE DETECTORS MAY BE USED IN THESE LOCATIONS. THESE COMBINATION DETECTORS MUST BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

DETECTOR SHALL BE HARD WIRED (110VOLT TYPE) TO A NON-SWITCHABLE SOURCE WITH ONLY AN OVER CURRENT PROTECTION CIRCUIT INTERRUPTER. SMOKE/CO ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING UNIT. ALL DETECTORS SHALL BE PROVIDED WITH A VISIBLE "POWER ON INDICATOR" AND TEST BUTTON.

ALL SMOKE ALARMS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA BUILDING CODE - RESIDENTIAL 2023 8TH EDITION THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

IN NO CASE SHALL MORE THAN 18 INITIATING DEVICES BE INTERCONNECTED (OF WHICH 12 CAN BE SMOKE ALARMS) WHERE THE INTERCONNECTING MEANS IS NOT SUPERVISED. THEREBY, DURING THE INSTALLATION OF THE SMOKE ALARMS WHEN MORE THAN 12 ARE REQUIRED IN THE ENTIRE HOME, THE BUILDER MAY PROVIDE A SUPERVISING STATION IN ACCORDANCE WITH NFPA 72.

ELECTRICAL NOTES:

- ALL WORK TO BE PERFORMED I.A.W. FLORIDA BUILDING CODE - RESIDENTIAL 2023 8TH EDITION
- ALL LOADING/WIRE SIZING & DESIGN TO BE DETERMINED & INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR PER CODES AS STATED IN # 1.
- ALL WIRE TO BE COPPER, UNLESS SPECIFIED OTHERWISE.
- ALL 110V, 10, 15 & 20AMP RECEPTACLES INSTALLED OUTDOORS & IN BATHROOMS, KITCHENS & GARAGES, SHALL HAVE A G.F.I. CIRCUITS PER LATEST EDITION ON THE N.E.C.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15 & 20 AMPERE OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. ALSO RECEPTACLES ARE TO BE TAMPER RESISTANT.
- CONDUIT ROUTING AND DEVICE / EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY, CONTRACTOR SHALL FIELD ROUTE AND LOCATE AS REQUIRED.
- COORDINATE LOCATIONS OF ELECTRICAL FIXTURES, DEVICES, OUTLETS, ETC., WITH ARCHITECTURAL PLANS ELEVATIONS AND REFLECTED CEILING PLANS PRIOR TO ROUGH-IN WORK.
- COORDINATE ALL COUNTERTOP RECEPTACLES WITH ARCHITECTURAL DETAILS PRIOR TO ROUGH-IN; LOCATE LONG AXIS VERTICALLY.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION; REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATION AND SIZE OF EQUIPMENT WHICH ARE PROVIDED BY OTHERS AND CONNECTED BY ELECTRICIAN.
- VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING IN FOR LIGHT SWITCHES.
- HEIGHT OF DEVICES A F.F. SHALL BE TO CENTER UNLESS NOTED OTHERWISE. RECEPTACLES 18", LIGHT SWITCHES 48", MAIN ELECTRICAL PANEL 60"
- ALL OVERHEAD FIXTURES ARE CENTERED IN ROOMS U.N.O.
- COACH LIGHTS SHALL BE INSTALLED 6'-6" ABOVE GARAGE FINISHED FLOOR AND CENTERED ON RETURN WALL. OTHER EXTERIOR LIGHTS ARE TO BE INSTALLED 6'-6" AFF.

SKS CONSULTING SERVICES
 1000 S. PALM BLVD. SUITE 100
 MIAMI, FL 33134
 TEL: 305.441.1111
 FAX: 305.441.1112

DATE	DESCRIPTION
JANUARY 30, 2024	REVISED PER CITY COMMENTS & CLIENT CHANGES
NOV 14, 2023	REVISED PER CITY COMMENTS & CLIENT CHANGES

NO.	DATE	SCALE	ISSUE DRAWING	DESIGNED BY	CHECKED BY
1			ISSUE DRAWING	SWS / CDB	SWS / CDB
2			ISSUE DRAWING	SWS / CDB	SWS / CDB

731 S MISSOURI AVE ALTERATION

S4

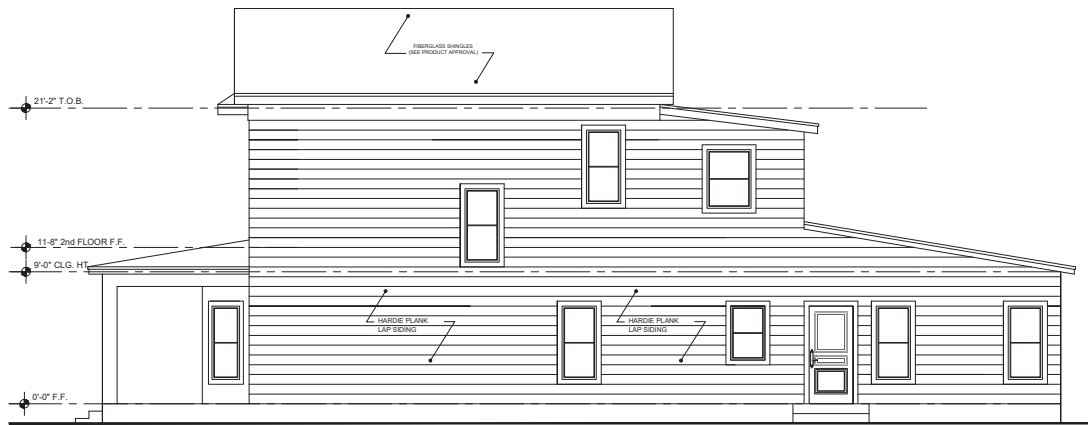
Proj Size: ARCH-JLJ (Sheet D) (24.00 x 36.00 inches)

Proj Date: Monday, April 29, 2024, 12:47:55 AM

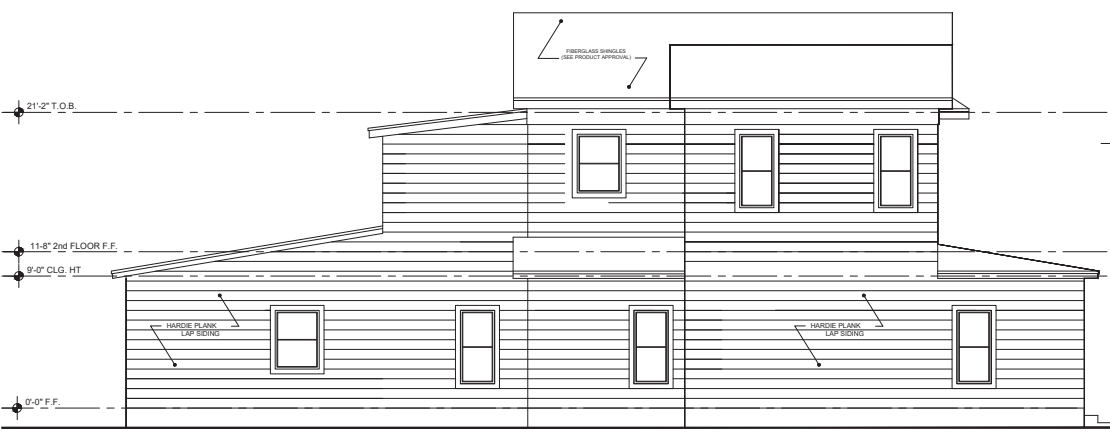
24-008/731 S Missouri Ave.dwg



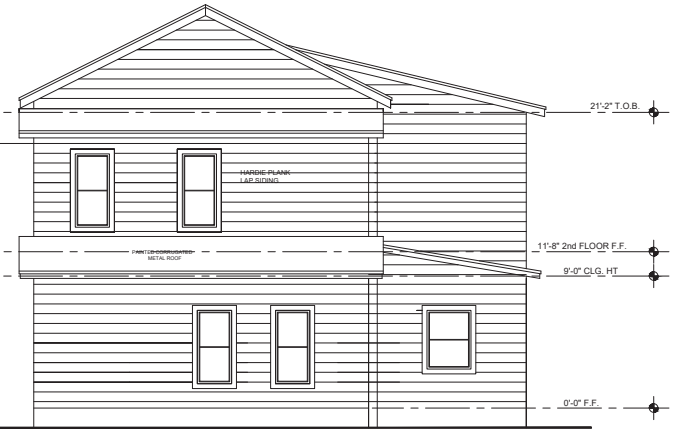
FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

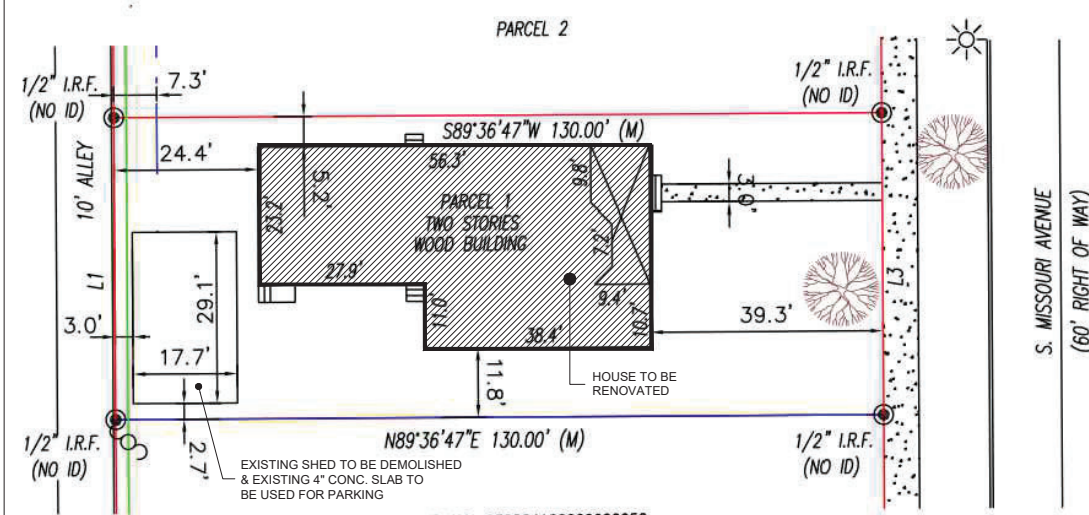
SKS
CONSULTING SERVICES
1000 S WYANNA LANE SUITE 100
DANIEL, MISSOURI 64402
PHONE: 660.251.1111
FAX: 660.251.1119

NO.	DATE	DESCRIPTION

DATE:	JANUARY 30, 2024
SCALE:	SEE DRAWING
PROJECT NO.:	18240001 - 000000 3181
DRAWN BY:	SKS / COR
DESIGNED BY:	SKS / COR
CHECKED BY:	SKS

731 S MISSOURI AVE ALTERATION

S6



PARCEL ID NO. 23082412000002052
CHRIS W. CHEATWOOD & JUDITH F. CHEATWOOD

DESCRIPTION:

PARCEL 1:

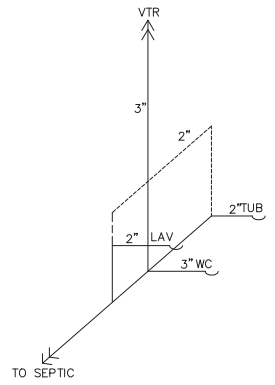
THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED PROPERTY: THE SOUTH 16.5 FEET OF LOT 4 AND THE NORTH 85.7 FEET OF LOT 5, BLOCK 2 OF DRANE'S SECOND ADDITION TO LAKELAND, FLORIDA, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1, PAGE 47, PUBLIC RECORDS OF POLK COUNTY, FLORIDA.

SITE PLAN
SCALE: 1"=10'-0"

S. MISSOURI AVENUE
(60' RIGHT OF WAY)

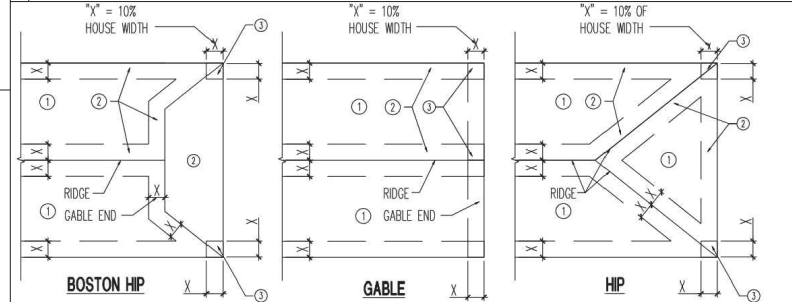
LINE	BEARING	DISTANCE
L1	S00°23'13"E (M)	51.01' (M)
L3	N00°23'13"W (M)	51.01' (M)

NORTH



WASTE DIAGRAM
DIAGRAMATIC N.T.S.

ROOF NAILING SCHEDULE



ROOF SHEATHING	NAILS	ROOF FASTENING ZONES			
		1	2	3	
SHINGLE: 19/32" SPAN RATED PLYWOOD OR OSB	8d RING SHANK 0.113" x 2-3/8"	OFFSET DIMENSION "x" = 10% HOUSE WIDTH	"x"	"x"	
TILE: 19/32" SPAN RATED PLYWOOD OR OSB		PANEL EDGES @ SUPPORTS (1)	6" O.C.	6" O.C.	4" O.C.
METAL: 15/32" SPAN RATED PLYWOOD w/24 GA. 19/32" SPAN RATED PLYWOOD w/26 GA.		PANEL FIELD (1)	6" O.C.	6" O.C.	6" O.C.

NOTES:
1. LONG SIDE OF SHEATHING TO BE PERPENDICULAR TO TRUSSES OR RAFTERS-TYPICAL.
2. EDGE SPACING ALSO APPLIES OVER GABLE END WALLS OR TRUSSES.
3. FASTENING ZONES 2 AND 3 ARE EQUAL TO 10% OF TOTAL HOUSE WIDTH, DIMENSION "x" OFFSET FROM ROOF EDGE.
30' WIDE HOUSE = 3' ZONE, 40' WIDE HOUSE = 4' ZONE, 50' WIDE HOUSE = 5' ZONE, 60' WIDE HOUSE = 6' ZONE



NO.	DATE	DESCRIPTION
1	1/23/2024	REVISED PER CITY COMMENTS & CLIENT CHANGES

DATE	SCALE	DESCRIPTION
JANUARY 30, 2024	SEE DRAWING	PROVISIONAL CLIENTS SHEET
		PROJECT NO. 23082412000002052
		DRAWN BY: SWS / CDB
		DESIGNED BY: SWS / CDB
		CHECKED BY: SWS

731 S MISSOURI AVE ALTERATION

24-008-731 S Missouri Ave.dwg
 P:\Date: Monday, April 29, 2024, 12:47:48 AM
 P:\Size: ARCH\11.dwg (24.00 x 36.00 inches)



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
May 23, 2024**

Project #	HPB24-096
Project Type	Major Rehabilitation
Property Address; Historic Name	727 S. Missouri Avenue Frank and Willie Butler House (Lakeland City Directory 1921)
Historic District; FMSF#	Dixieland Historic District; DL 191
Owner/Applicant	Mr. Guy Afriat
Future Land Use; Zoning; Context District	Residential High; O-1; Urban Neighborhood
Existing Use	Residential
Adjacent Properties	Residential and Commercial/Office
Previous Approvals	N/A

REQUEST

The Applicant requests approval for replacement siding, front porch alterations, and replacing doors and windows, as well as enclosing certain window and door openings on the subject house.

SUMMARY OF BACKGROUND INFORMATION AND INITIAL REQUEST

The subject property is an interior lot (Dranes 2nd Addition, Block 2, Lots 4 south 16 feet and north 35 feet of 5) that is 0.15 acres in size. On this property is a two-story Frame Vernacular house built circa 1910, which is a contributing building in the Dixieland Historic District. Architectural features include a gable roof, brick chimney, hipped roof front porch supported by metal columns and handrail, and double-hung sash windows. Alterations to the house include a shed roof side addition, the installation of asbestos shingle siding in place of the original wood siding, the replacement of several original window sashes with fixed and awning windows, the removal of original front porch wooden columns, and the partial enclosure of the front porch.

Historically, this house was built as a single-family home; however, it was converted to three apartments several decades ago. Due to years of deferred maintenance, the house is in poor, but repairable condition. As part of an extensive rehabilitation of the house to return it to single-family use, the Applicant requests to make the following alterations:

1. Remove all existing asbestos siding on the house and replace it with textured composite lap siding with a 7-inch exposure and wood grain texture.
2. Replace all existing windows with composite, single-hung sash windows matching the existing opening sizes.
3. Enclose one window opening on the north side elevation, two windows on the south side elevation, and relocate one window opening on the rear elevation. Enclosed window openings will be infilled with typical wall framing and lap siding.
4. Replace exterior doors with fiberglass three-quarter lite and half-lite doors.
5. Enclose two door openings on the front elevation of house (non-historic, used for dividing house into apartments previously) with typical wall framing and lap siding. Convert one window opening on north side elevation to a door opening.

6. Remove metal columns and handrail on front porch and replace with square wooden columns and wood handrail.

The Applicant also plans to remove the metal roof and replace with fiberglass shingles; this request can be reviewed and approved administratively by staff.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard #6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 6 Exterior Architectural Features: Alteration and Maintenance.

Sub-Chapter 6.3 Front Doors and Entrances

- Doors and entrances that are preserved and maintained as original features that contribute to the architectural character of the structure.
- Doors and entrances should be compatible with the style of the house.
- Door openings should keep the same proportions as originally built and should not be enlarged to accommodate different size doors.
- Door head heights should be consistent with window heights throughout the structure.
- Entryways and doors should retain as many of their trim features as possible.
- Replacement doors, storm doors and screen doors should be appropriate to the style of the host structure.
- Removal, covering up or destroying original entryway and door trim or other architectural features is not acceptable.

Sub-Chapter 6.4 Windows and Shutters for Contributing Buildings

- Existing window trim, casing, and other decorative details contributing to the building's character should be preserved. Any replacement of trim, casing and other decorative details surrounding the window must use the same or similar material of the same design, profile, and dimension.
- Window openings should be kept in the same proportion as originally provided.
- Replacement of original windows should only be considered in cases where original windows have deteriorated beyond reasonable repair.
- Replacement window requirements:
 - Window design should reflect the architectural style of the building (see Chapter 5: House Styles for window designs appropriate for specific architectural styles).
 - Must retain the opening size of the original window.
 - Must use the same type of window as the original. Double-hung sash windows may be replaced with a double-hung sash or single-hung sash window.
 - Must retain the same divided lite/pane pattern as the original window. Muntins/grids must be dimensional and mounted to the exterior glass, approximately of the same dimension as the original window;
 - Must be installed with a recess inside the casing of the window opening to produce a shadow line (flush installation is not permitted); box or block frame windows are recommended as fin/flange windows do not produce an adequate recess.
 - Double or grouped windows may not be separated by a standard mull bar and must be separated by a wood or similar material mullion of the same dimension as the original mullion.
 - Window must be trimmed out with wood or similar material of the same design, profile, and dimension as the original, including angled sill and top drip edge. It is recommended that the original window trim and casing be preserved.
 - Non-historic windows such as jalousie, awning, and aluminum single-hung sash windows, may be replaced with windows that are typical for the architectural style of the building.
 - Possible substitutes must be approved by the Historic Preservation Board.

Sub-Chapter 6.5 Siding and Exterior Wall Cladding.

- Exterior siding should be similar in style to the original.
- If siding is replaced, all trim board dimensions and joinery details should be maintained and kept visible.
- Fiber cement board siding similar in scale, proportion, texture and finish to wood as an alternative replacement exterior cladding is acceptable.
- If replacement of asbestos siding is unavoidable, use similar board dimensions and joinery details; fiber-cement products may serve as replacement material.
- Environmental remediation is required for removing and discarding asbestos siding.

Sub-Chapter 6.2 Porches

- Porch columns, railings and trim details should match the historical architectural style of the house.
- Deteriorated features of the porch should be duplicated in shape and character as close to the original as possible.
- Corner boards on wooden porches should be preserved and not covered up or replaced with narrower features.
- The removal, wholly or in part, of a porch, balcony, railings, or steps if they exist as part of the original structure.
- Replacement of original porch features with inappropriate materials or features that conflict with the original porch design is not acceptable

ANALYSIS:

Staff finds that the request meets the Standards, as the features requested to be replaced are either not original historic fabric (asbestos shingle siding, aluminum windows, metal porch columns and handrail), or the original fabric (windows) is deteriorated beyond reasonable repair. The window and door enclosures/conversion are requested primarily for secondary elevations of the house and will not adversely affect its architectural character or integrity. The door openings on the front of the house that are requested to be enclosed are not historic features.

As the subject house did not originally have asbestos siding, staff finds that the use of fiber-cement lap siding for replacement siding is consistent with the Design Guidelines. Additionally, the requested window and door replacements are appropriate in size, configuration, and material. Finally, the use of simply designed wood columns and handrail is compatible with the architectural style of the house and consistent with the Design Guidelines.

STAFF RECOMMENDATION:

Approval of the request with the following conditions:

1. Exterior siding must include the use of corner boards of an appropriate width at every corner of house,
2. Windows must be installed with a recess into the wall to provide a shadowline; window casing must include a traditional sill. Paired or grouped windows must have a vertical mullion of at least 4 inches wide.
3. Front porch columns must include a simple capital and base compatible with the Frame Vernacular architectural style of the subject house.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



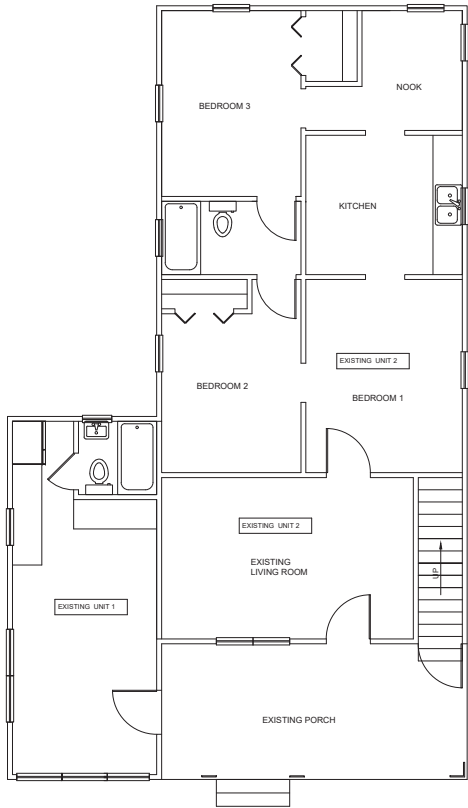
727

727

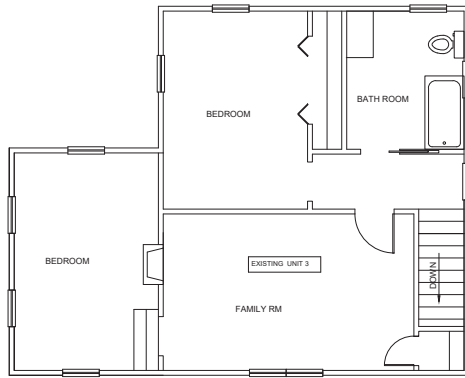
727

COVER SHEET

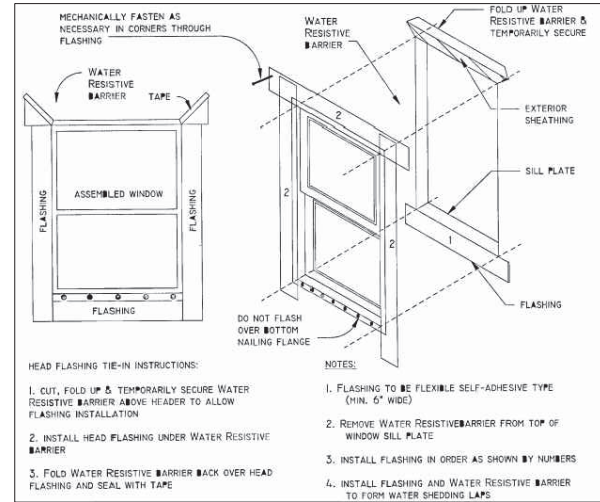
PROPOSED SFR RENOVATION
727 S MISSOURI AVE
LAKELAND FL.



EXISTING 1st FLOOR PLAN



EXISTING 2nd FLOOR PLAN



Single Hung

▲ = Meets egress minimum opening of 5.7 sq. ft., with a 20" minimum width and 24" minimum height.

Callout	Actual Size	Rough Opening	Callout	Actual Size	Rough Opening	Callout	Actual Size	Rough Opening
1626	18" x 30"	18 3/4" x 30 1/2"	2460	28" x 72"	28 3/4" x 72 1/2"	3040	36" x 48"	36 3/4" x 48 1/2"
1630	18" x 36"	18 3/4" x 36 1/2"	2466	28" x 78"	28 3/4" x 78 1/2"	3046	36" x 54"	36 3/4" x 54 1/2"
1636	18" x 42"	18 3/4" x 42 1/2"	2470 ▲	28" x 84"	28 3/4" x 84 1/2"	3052 ▲	36" x 62"	36 3/4" x 62 1/2"
1640	18" x 48"	18 3/4" x 48 1/2"	2476 ▲	28" x 90"	28 3/4" x 90 1/2"	3056 ▲	36" x 66"	36 3/4" x 66 1/2"
1646	18" x 54"	18 3/4" x 54 1/2"	2626	30" x 30"	30 3/4" x 30 1/2"	3060 ▲	36" x 72"	36 3/4" x 72 1/2"
1652	18" x 62"	18 3/4" x 62 1/2"	2630	30" x 36"	30 3/4" x 36 1/2"	3066 ▲	36" x 78"	36 3/4" x 78 1/2"
1656	18" x 66"	18 3/4" x 66 1/2"	2636	30" x 42"	30 3/4" x 42 1/2"	3070 ▲	36" x 84"	36 3/4" x 84 1/2"
1660	18" x 72"	18 3/4" x 72 1/2"	2640	30" x 48"	30 3/4" x 48 1/2"	3076 ▲	36" x 90"	36 3/4" x 90 1/2"
1666	18" x 78"	18 3/4" x 78 1/2"	2646	30" x 54"	30 3/4" x 54 1/2"	3426	40" x 30"	40 3/4" x 30 1/2"
1670	18" x 84"	18 3/4" x 84 1/2"	2652	30" x 62"	30 3/4" x 62 1/2"	3430	40" x 36"	40 3/4" x 36 1/2"
1676	18" x 90"	18 3/4" x 90 1/2"	2656	30" x 66"	30 3/4" x 66 1/2"	3436	40" x 36"	40 3/4" x 36 1/2"
2026	24" x 30"	24 3/4" x 30 1/2"	2660	30" x 72"	30 3/4" x 72 1/2"	3440	40" x 42"	40 3/4" x 42 1/2"
2030	24" x 36"	24 3/4" x 36 1/2"	2666 ▲	30" x 78"	30 3/4" x 78 1/2"	3446	40" x 54"	40 3/4" x 54 1/2"
2036	24" x 42"	24 3/4" x 42 1/2"	2670 ▲	30" x 84"	30 3/4" x 84 1/2"	3452 ▲	40" x 62"	40 3/4" x 62 1/2"
2040	24" x 48"	24 3/4" x 48 1/2"	2676 ▲	30" x 90"	30 3/4" x 90 1/2"	3456 ▲	40" x 66"	40 3/4" x 66 1/2"
2046	24" x 54"	24 3/4" x 54 1/2"	2826	32" x 30"	32 3/4" x 30 1/2"	3460 ▲	40" x 72"	40 3/4" x 72 1/2"
2052	24" x 62"	24 3/4" x 62 1/2"	2830	32" x 36"	32 3/4" x 36 1/2"	3466 ▲	40" x 78"	40 3/4" x 78 1/2"
2056	24" x 66"	24 3/4" x 66 1/2"	2836	32" x 42"	32 3/4" x 42 1/2"	3470 ▲	40" x 84"	40 3/4" x 84 1/2"
2060	24" x 72"	24 3/4" x 72 1/2"	2840	32" x 48"	32 3/4" x 48 1/2"	3480 ▲	40" x 90"	40 3/4" x 90 1/2"
2066	24" x 78"	24 3/4" x 78 1/2"	2846	32" x 54"	32 3/4" x 54 1/2"	3826	44" x 30"	44 3/4" x 30 1/2"
2070	24" x 84"	24 3/4" x 84 1/2"	2852	32" x 62"	32 3/4" x 62 1/2"	3830	44" x 36"	44 3/4" x 36 1/2"
2076	24" x 90"	24 3/4" x 90 1/2"	2856	32" x 66"	32 3/4" x 66 1/2"	3836	44" x 42"	44 3/4" x 42 1/2"
2426	28" x 30"	28 3/4" x 30 1/2"	2860 ▲	32" x 72"	32 3/4" x 72 1/2"	3840	44" x 48"	44 3/4" x 48 1/2"
2430	28" x 36"	28 3/4" x 36 1/2"	2866 ▲	32" x 78"	32 3/4" x 78 1/2"	3846	44" x 54"	44 3/4" x 54 1/2"
2436	28" x 42"	28 3/4" x 42 1/2"	2870 ▲	32" x 84"	32 3/4" x 84 1/2"	3852 ▲	44" x 62"	44 3/4" x 62 1/2"
2440	28" x 48"	28 3/4" x 48 1/2"	2876 ▲	32" x 90"	32 3/4" x 90 1/2"	3856 ▲	44" x 66"	44 3/4" x 66 1/2"
2446	28" x 54"	28 3/4" x 54 1/2"	3026	36" x 30"	36 3/4" x 30 1/2"	3860 ▲	44" x 72"	44 3/4" x 72 1/2"
2452	28" x 62"	28 3/4" x 62 1/2"	3030	36" x 36"	36 3/4" x 36 1/2"	3866 ▲	44" x 78"	44 3/4" x 78 1/2"
2456	28" x 66"	28 3/4" x 66 1/2"	3036	36" x 42"	36 3/4" x 42 1/2"	3870 ▲	44" x 84"	44 3/4" x 84 1/2"

FLORIDA PRODUCT APPROVALS

ROOFING SHINGLES GAF SHINGLES FL10124-R27
 ROOFING UNDERLAYMENT GAF UNDERLAYMENT FL10626-R26
 SIDING LP BUILDING SOLUTIONS FL38604-R1
 WINDOWS ANDERSON WINDOWS FL15906-R6
 DOORS MASONITE FL8228-R7



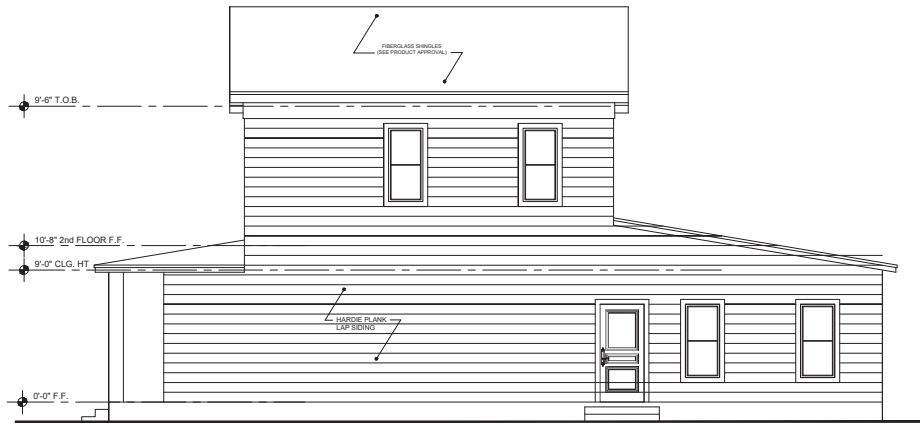
NO.	DATE	DESCRIPTION
1	JANUARY 30, 2024	ISSUED PER CITY COMMENTS & CLIENT CHANGES
2	FEBRUARY 01, 2024	
3		
4		
5		

DATE: JANUARY 30, 2024
 SCALE: AS SHOWN / VARIOUS SIZES
 DRAWN BY: SWS / CDB
 DESIGNED BY: SWS / CDB
 CHECKED BY: SWS

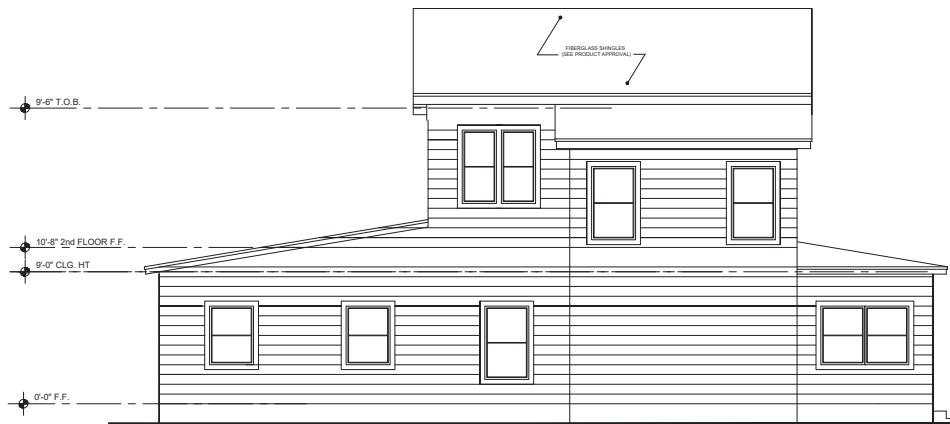
24-008 727 S Missouri Ave.dwg P:\Draws - Monday, April 29, 2024, 12:22:34 AM Plot Size: ARCH-L (11x17) (24.00 x 36.00 inches)



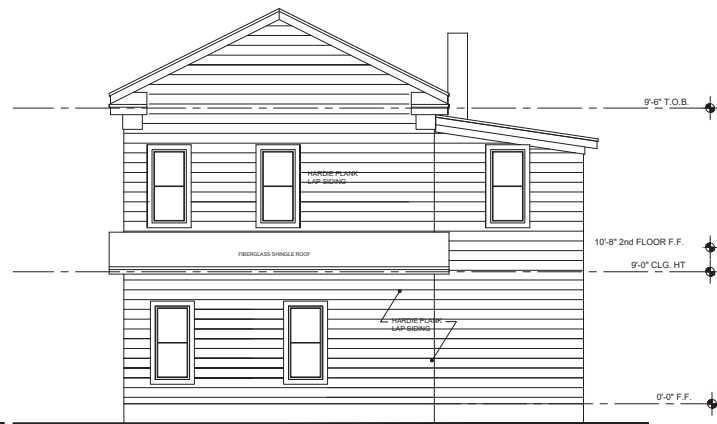
FRONT ELEVATION
SCALE:1/4"=1'-0"



RIGHT SIDE ELEVATION
SCALE:1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE:1/4"=1'-0"



REAR ELEVATION
SCALE:1/4"=1'-0"

SKS
CONSULTING SERVICES

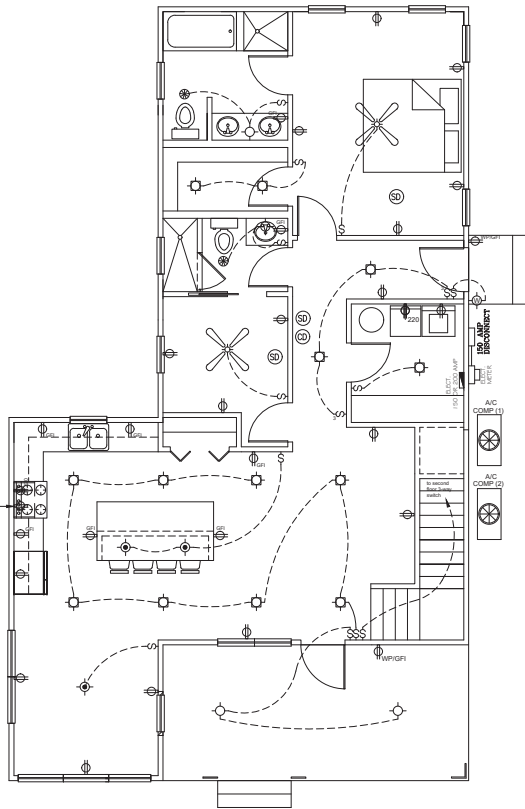
1000 S WANNAN LANE SUITE 100
DANVER, MO 64439
PHONE: 314.451.1111
FAX: 314.451.1118

REGISTERED PROFESSIONAL ARCHITECT
STATE OF MISSOURI
NO. 000000000
EXPIRES 12/31/2024

NO.	DATE	DESCRIPTION
1	1/20/2024	REVISED PER CITY COMMENTS & CLIENT CHANGES

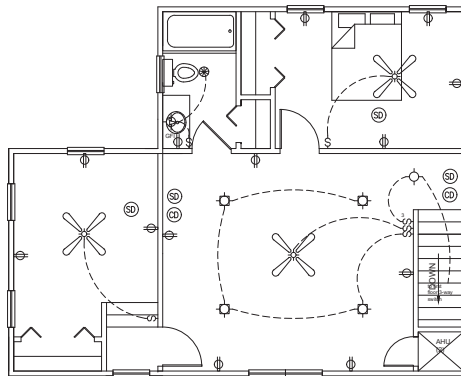
DATE:	JANUARY 30, 2024
SCALE:	SEE DRAWING
PROJECT NO.:	727S MISSOURI AVE
DRAWN BY:	SKS / ODR
DESIGNED BY:	SKS / ODR
CHECKED BY:	SKS

727 S MISSOURI AVE ALTERATION



PROPOSED 1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

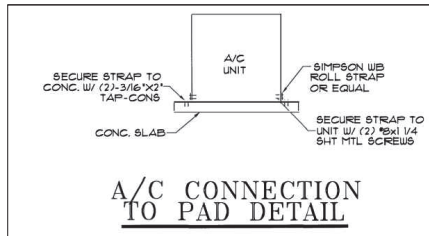
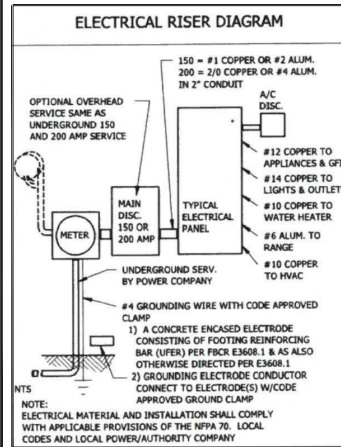
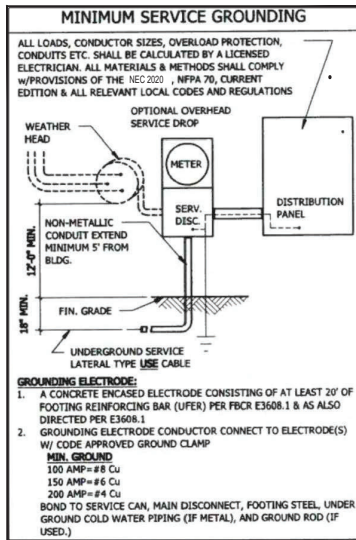
ROOF NAILING SCHEDULE		
ROOF SHEATHING	NAILS	ROOF FASTENING ZONES
SINGLE: 19/32" SPAN RATED PLYWOOD OR OSB	8d RND SHANK 0.113" x 2-3/8"	1 2 3
TILE: 19/32" SPAN RATED PLYWOOD OR OSB		1 2 3
METAL: 15/32" SPAN RATED PLYWOOD #74 GA 19/32" SPAN RATED PLYWOOD #49 GA		1 2 3
NOTES: 1. LONG SIDE OF SHEATHING TO BE PERPENDICULAR TO TRUSSES OR RAFTERS-TYPICAL. 2. EDGE SPACING ALSO APPLIES OVER GABLE END WALLS OR TRUSSES. 3. FASTENING ZONES 2 AND 3 ARE EQUAL TO 10% OF TOTAL HOUSE WIDTH. DIMENSION "X" OFFSET FROM ROOF EDGE. 30' WIDE HOUSE = 3' ZONE, 40' WIDE HOUSE = 4' ZONE, 50' WIDE HOUSE = 5' ZONE, 60' WIDE HOUSE = 6' ZONE.		



PROPOSED 2nd FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND

- CEILING FAN W/ LIGHT
- 120 DUPLEX OUTLET
- WATER PROOF / GROUND FAULT OUTLET
- GROUND FAULT OUTLET
- 220 V. OUTLET
- PENDANT FIXTURE
- 3 WAY LIGHT SWITCH
- SINGLE POLE SWITCH
- 24' x 48' FLUORESCENT LIGHT
- GARAGE DOOR OPENER
- RECESSED LIGHT W/ VAPOR PROOF
- INCANDESCENT LIGHT
- RECESSED CAN LIGHT
- EXHAUST FAN W/ LIGHT
- 50 CFM EXHAUST FAN
- ATTIC LIGHT W/ SWITCH
- PENDANT LIGHT
- SMOKE DETECTORS
- CARBON MONOXIDE DETECTORS



SMOKE ALARMS AND CARBON MONOXIDE PROTECTION

MAKE / MODEL INFORMATION:
 SMOKE DETECTOR: Kidde FireX MODEL: #M618
 SMOKE / CARBON COMBO: Kidde FireX MODEL: #F84-COM-1BA
 SMOKE DETECTORS ARE REQUIRED IN ALL DWELLINGS. EACH SLEEPING AREA IS REQUIRED TO HAVE A SMOKE DETECTOR INSIDE AND ONE SMOKE DETECTOR OUTSIDE OF EVERY SLEEPING AREA. EACH LEVEL OF A RESIDENCE, INCLUDING BASEMENTS, MUST HAVE SMOKE DETECTORS LOCATED NEAR THE STAIRS TO THE LEVEL ABOVE.

EACH DWELLING HAVING A FOSSIL-FUEL BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE MUST ALSO BE EQUIPPED WITH CARBON MONOXIDE ALARMS. THESE ALARMS MUST BE LOCATED WITHIN TEN FEET OF ROOMS USED FOR SLEEPING PURPOSES AND AT ALL CHANGE IN ELEVATIONS. COMBINATION SMOKE/CARBON MONOXIDE DETECTORS MAY BE USED IN THESE LOCATIONS. THESE COMBINATION DETECTORS MUST BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

DETECTOR SHALL BE HARD WIRED (110VOLT TYPE) TO A NON-SWITCHABLE SOURCE WITH ONLY AN OVER CURRENT PROTECTION CIRCUIT INTERRUPTER. SMOKE/CO ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING UNIT. ALL DETECTORS SHALL BE PROVIDED WITH A VISABLE "POWER ON INDICATOR" AND TEST BUTTON.

ALL SMOKE ALARMS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA BUILDING CODE - RESIDENTIAL 2023 8TH EDITION THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

IN NO CASE SHALL MORE THAN 18 INITIATING DEVICES BE INTERCONNECTED (OF WHICH 12 CAN BE SMOKE ALARMS) WHERE THE INTERCONNECTING MEANS IS NOT SUPERVISED. THEREBY, DURING THE INSTALLATION OF THE SMOKE ALARMS WHEN MORE THAN 12 ARE REQUIRED IN THE ENTIRE HOME, THE BUILDER MAY PROVIDE A SUPERVISING STATION IN ACCORDANCE WITH NFPA 72.

ELECTRICAL NOTES:

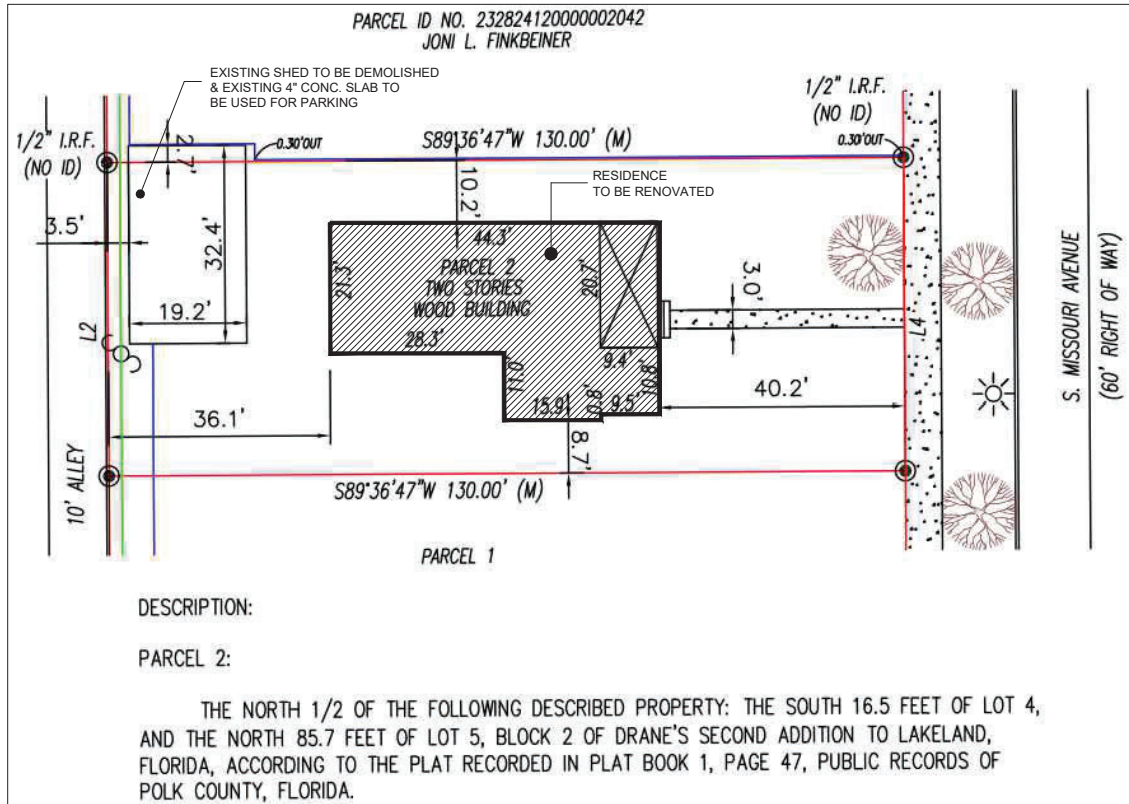
- ALL WORK TO BE PERFORMED I.A.W. FLORIDA BUILDING CODE - RESIDENTIAL 2023 8TH EDITION
- ALL LOADING/WIRE SIZING & DESIGN TO BE DETERMINED & INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR PER CODES AS STATED IN #1.
- ALL WIRE TO BE COPPER, UNLESS SPECIFIED OTHERWISE.
- ALL 110V, 10, 15 & 20AMP RECEPTACLES INSTALLED OUTDOORS & IN BATHROOMS, KITCHENS & GARAGES, SHALL HAVE A G.F.I. CIRCUITS PER LATEST EDITION ON THE N.E.C.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15 & 20 AMPERE OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN AFC-Fault Circuit Interrupter LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. ALSO RECEPTACLES ARE TO BE TAMPER RESISTANT.
- CONDUIT ROUTING AND DEVICE / EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY, CONTRACTOR SHALL FIELD ROUTE AND LOCATE AS REQUIRED.
- COORDINATE LOCATIONS OF ELECTRICAL FIXTURES, DEVICES, OUTLETS, ETC. WITH ARCHITECTURAL, PLANS ELEVATIONS AND REFLECTED CEILING PLANS PRIOR TO ROUGH-IN WORK.
- COORDINATE ALL COUNTERTOP RECEPTACLES WITH ARCHITECTURAL DETAILS PRIOR TO ROUGH-IN. LOCATE LONG AXIS VERTICALLY.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATION AND SIZE OF EQUIPMENT WHICH ARE PROVIDED BY OTHERS AND CONNECTED BY ELECTRICIAN.
- VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING-IN FOR LIGHT SWITCHES.
- HEIGHT OF DEVICES A.F.F. SHALL BE TO CENTER UNLESS NOTED OTHERWISE. RECEPTACLES 18", LIGHT SWITCHES 48", MAIN ELECTRICAL PANEL 60".
- ALL OVERHEAD FIXTURES ARE CENTERED IN ROOMS U.N.O.
- COACH LIGHTS SHALL BE INSTALLED 6'-6" ABOVE GARAGE FINISHED FLOOR AND CENTERED ON RETURN WALL. OTHER EXTERIOR LIGHTS ARE TO BE INSTALLED 6'-6" AFF.

SKS CONSULTING SERVICES
 1000 S. MISSOURI AVE. SUITE 100
 ST. LOUIS, MO 63104
 TEL: 314.433.1111
 FAX: 314.433.1112

DATE: JANUARY 30, 2024
 SCALE: AS SHOWN
 PROJECT NO: 24-008 727 S MISSOURI AVE
 DRAWN BY: SHS / CDB
 DESIGNED BY: SHS / CDB
 CHECKED BY: SHS

727 S MISSOURI AVE ALTERATION

S5



SITE PLAN
SCALE: 1"=10'-0"

LINE	BEARING	DISTANCE
L2	S00°23'13"E (M)	51.01' (M)
L4	N00°23'13"W (M)	51.01' (M)

NORTH



SKS
CONSULTING SERVICES

1000 S PALM BLVD SUITE 100
LAKE WORTH, FL 33461
TEL: 561-966-1000
WWW.SKS-CONSULTING.COM

NO.	DATE	DESCRIPTION

DATE: JANUARY 30, 2024	SCALE: SEE DRAWINGS	PROJECT NO. 24-081727
DRAWN BY: SWS / CDB	DESIGNED BY: SWS / CDB	CHECKED BY: SWS

727 S MISSOURI AVE ALTERATION



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
May 23, 2024**

Project #	HPB24-103
Project Type	New Construction of a Single-Family House
Property Address; Historic Name	549 W. Hancock Street N/A
Historic District; FMSF#	Dixieland Historic District; Vacant
Owner/Applicant	Consult 1 LLC / Waller Construction Inc.
Zoning; Context District; Future Land Use; SPI	RA-4; Urban Neighborhood; Residential Medium; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	N/A

REQUEST

The Applicant requests approval to build a one-story, single-family house with a detached garage on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property a historically platted lot (Dixieland, Block N, Lot 13) at the northeast corner of W. Hancock Street and S. Ohio Avenue and consists of 0.16 acres (50 feet wide by 135 feet deep); this lot is currently vacant and has alley access at the rear (north side) of the property.

The Applicant requests to build a one-story, single-family house consisting of approximately 1,821 square feet of living area. The home will feature a neo-traditional aesthetic reflecting elements of the Craftsman Bungalow architectural style, such as a gabled roof and gabled front porch supported by tapered columns on brick plinths, windows with a three-over-one lite configuration, and a front entry consisting of a quarter-lite Craftsman style front door. The house plan features an integrated porch on the rear elevation of the house. A detached garage consisting of 400 square feet is proposed to be constructed in the rear yard, which will be accessed from the alley. Materials proposed for the new house include:

Scope	Material
Foundation	Concrete stem wall foundation raised 21 inches above grade (at front porch, 24 inches at finish floor height)
Exterior Cladding	Hardie lap siding with a 6-inch exposure; Hardie shingle siding in the gables; Hardie trim and casing
Windows	Vinyl single-hung sash windows with 4-inch mullions between paired/grouped windows
Doors	All man doors: Fiberglass with quarter-lite; Craftsman style. Garage door: typical steel.
Roof	Fiberglass architectural shingles on 6/12 pitch roof.
Fascia/Soffit	Hardie fascia; Hardie vented soffit
Gable Fretwork	Stained wood
Porch	Concrete floor and steps; Hardie-wrapped tapered columns with pre-cast concrete capitals and brick veneered plinths. Craftsman-style aluminum handrail.

The site plan proposed for the proposed new construction shows orientation of the home's front façade towards West Hancock Street. The proposed building setbacks and porch depth for the house meet the Land Development Code's Urban Neighborhood Standards.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties ("Design Guidelines")* are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this request:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.6: New Residential/Infill Construction.

- The scale and massing of the new building, including its fenestration, roof height and shape, and elevation should be consistent with surrounding contributing buildings.
- Building Form – the front façade of buildings should be closely aligned with other buildings on the block to maintain a uniform setback; consistent spacing of buildings maintains rhythm of historic neighborhood development pattern; the height-to-width ratio of street facing façade should be compatible with adjacent buildings.
- Orientation of new buildings should be toward the primary road and building setbacks should reflect traditional siting dimensions.
- Materials should respect adjacent historic buildings.
- Details and ornamentation should reflect those of surrounding buildings.
- Window material, style, size, and trim should be consistent with historic windows and include dimensional mullions and exterior muntins, if applicable.
- Doors should be of an appropriate design reflective of the architectural style of the building.
- Roof design and details should reflect those of surrounding buildings
- Colors should complement surrounding buildings.

ANALYSIS:

Adjacent to the subject property along West Hancock Street exist several one-story houses that exhibit the Bungalow, Frame Vernacular, and Mediterranean Revival styles. Staff finds that the proposed new house is compatible in massing and scale to contributing Bungalow houses found throughout the Dixieland Historic District. The scale and proportion of the architectural elements of the house, including roof pitch and floor-to-ceiling heights, is also compatible with adjacent structures.

Staff finds that the proposed materials are consistent with residences in the surrounding neighborhood and the Design Guidelines. The design of the house displays a neo-traditional style that is compatible with the

architectural character of the District. Features such as the front-gabled porch supported by tapered columns on brick plinths, lap siding with shingle siding in gables, windows with a three-over-one lite configuration and a Craftsman-style front door are consistent with historical architectural styles found in the neighborhood, as well as the Design Guidelines.

Finally, the proposed placement of the house on the lot is consistent with the Design Guidelines and Urban Neighborhood Standards in terms of orientation, building setbacks, and porch depth. The front yard building setback, at 15 feet, is the minimum required by the Code and is compatible with the houses adjacent to and across the street from the subject property; 539 W. Hancock Street to the east of the subject property is setback approximately 21 feet from the property line and 544 and 548 W. Hancock Street across the street from the subject property is setback approximately 15 feet from the property line.

STAFF RECOMMENDATION:

Final approval of the request with the following conditions, to be reviewed and approved by staff prior to permitting:

1. Windows must be recessed to provide a shadow line and not installed flush to the exterior wall surface. Windows also must include historically appropriate trim, including header and sill.
2. Submittal of an exterior paint palette.

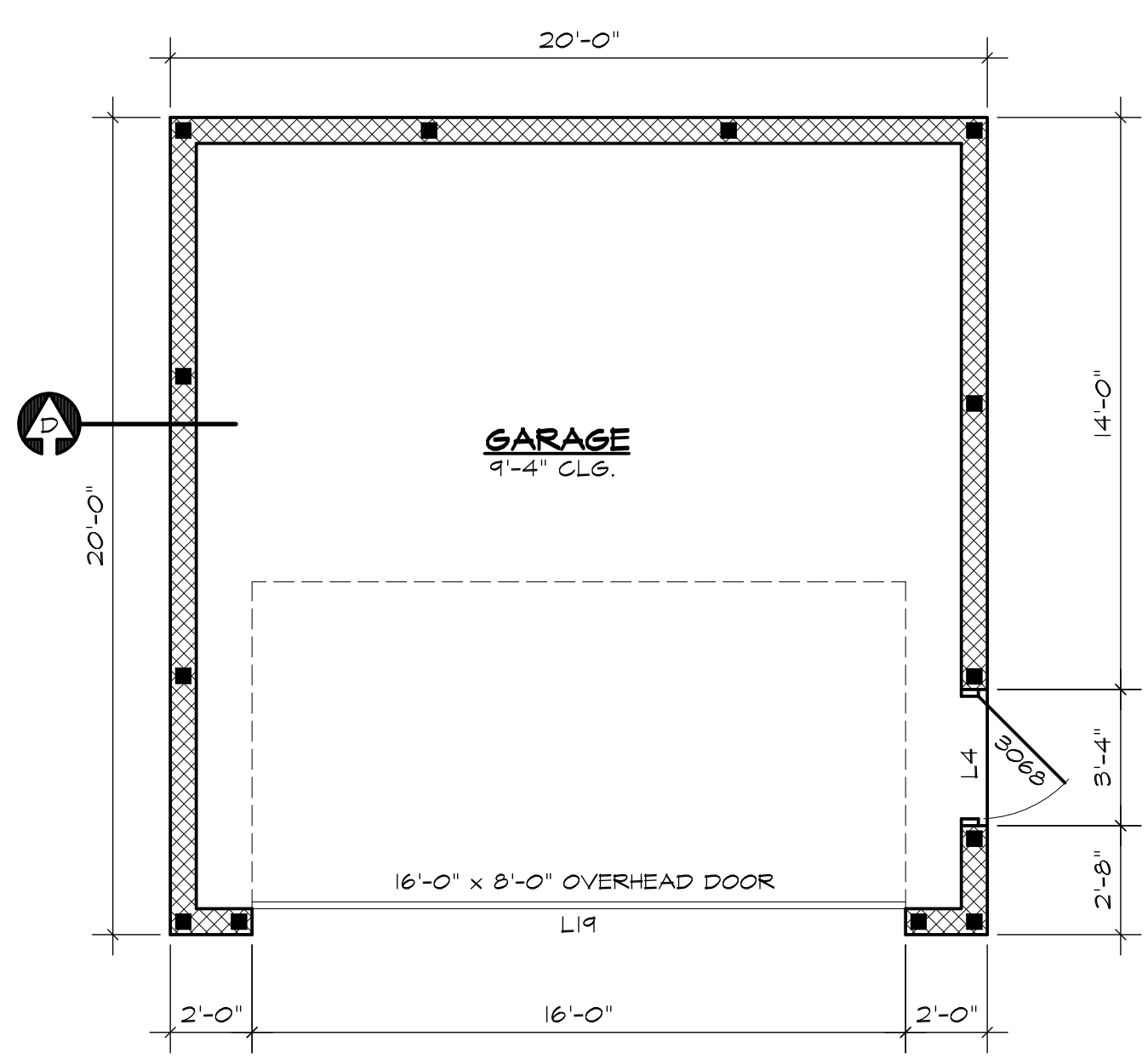
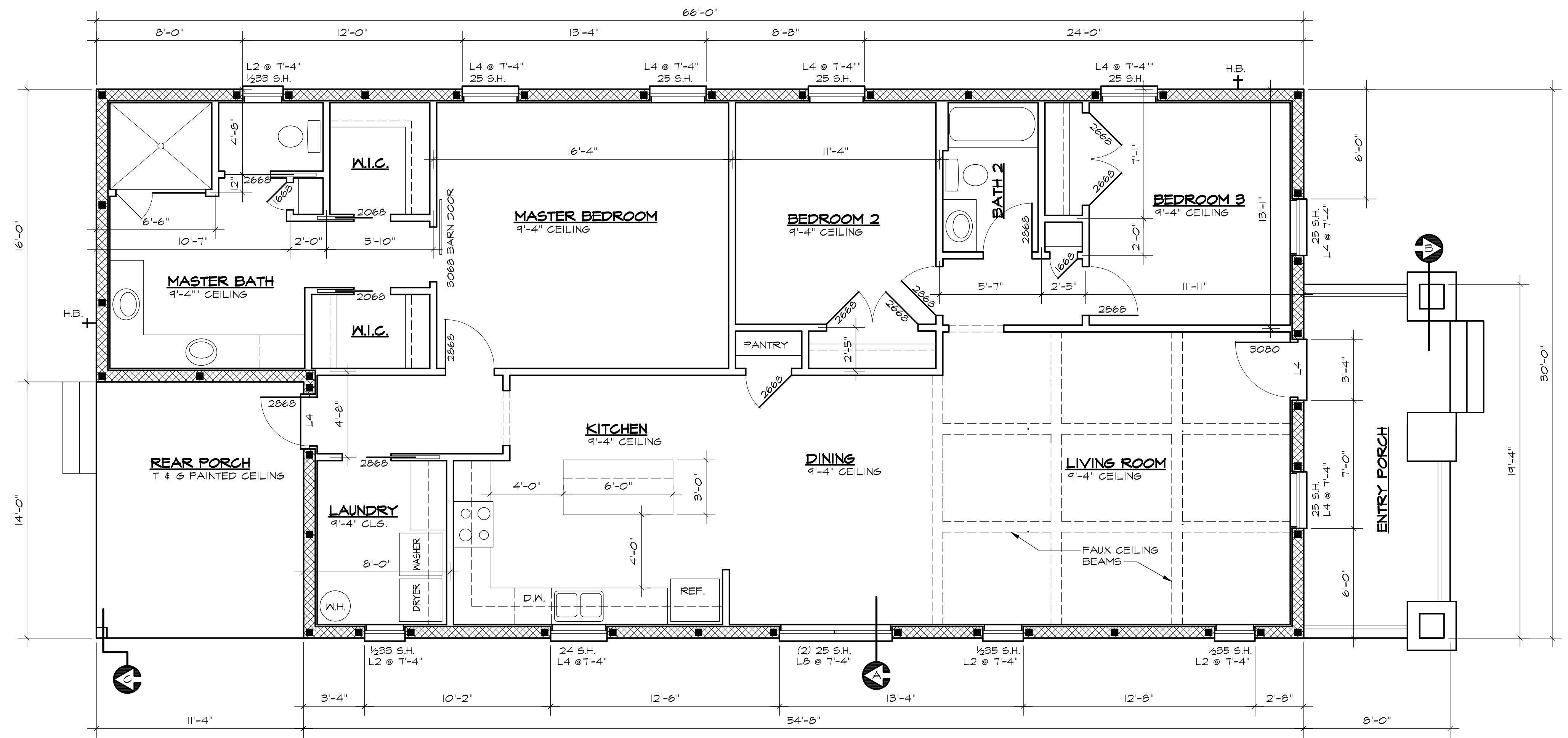
Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board



NEW SPECULATION HOUSE FOR
547 WEST HANCOCK STREET
LAKELAND, FLORIDA 33803



This item has been digitally signed and sealed by
Using a digital signature
Printed copies of this document(s) are not considered signed and sealed and the signature must be verified on any electronic copies

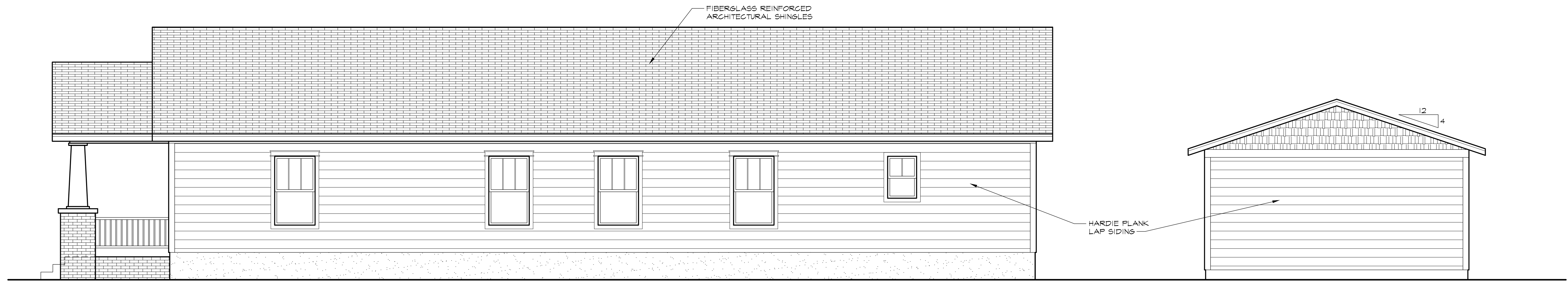


GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

TAG NO.	CLEAR SPAN	LINTEL SIZE	TYPE/SIZE	FILLED = F UNFILLED = U PRESTRESSED = PS COMPOSITE = C	REBAR	LINTEL LOAD
L1	11'-7"	2'-10"	8" - U		NOT REQD	4487 PLF
L2	2'-2"	3'-6"	8" - U		NOT REQD	3435 PLF
L3	2'-8"	4'-0"	8" - U		NOT REQD	2711 PLF
L4	3'-2"	4'-6"	8" - U		NOT REQD	2332 PLF
L5	4'-0"	5'-4"	8" - U		NOT REQD	1895 PLF
L6	4'-8"	5'-10"	8" - U		NOT REQD	1624 PLF
L7	5'-2"	6'-6"	8" - F		- #5	2134 PLF
L8	6'-2"	7'-6"	8" - F		- #5	2271 PLF
L9	7'-0"	8'-4"	8" - F		- #5	1921 PLF
L10	8'-0"	9'-4"	8" - F		- #5	1723 PLF
L11	9'-2"	10'-6"	8" - F		- #5	1484 PLF
L12	10'-0"	11'-4"	8" - F		- #5	1354 PLF
L13	10'-8"	12'-0"	8" - F		- #5	1217 PLF
L14	11'-2"	12'-6"	8" - F		- #5	1200 PLF
L15	12'-0"	13'-4"	8" - F		- #5	1104 PLF
L16	12'-8"	14'-0"	8" - F		- #5 T4B	1044 PLF
L17	13'-4"	14'-8"	8" - PS - F		- #5 T4B	1348 PLF
L18	14'-0"	15'-4"	8" - PS - F		- #5 T4B	1327 PLF
L19	16'-0"	17'-4"	8" - PS - F		- #5 T4B	1152 PLF
L20	18'-0"	19'-4"	16" - PS-F-C		- #5 T4B	1016 PLF
L21	18'-8"	20'-0"	16" - PS-F-C		- #5 T4B	477 PLF
L22	20'-0"	21'-4"	16" - PS-F-C		- #5 T4B	276 PLF
L23	22'-8"	24'-0"	16" - PS-F-C		- #5 T4B	784 PLF

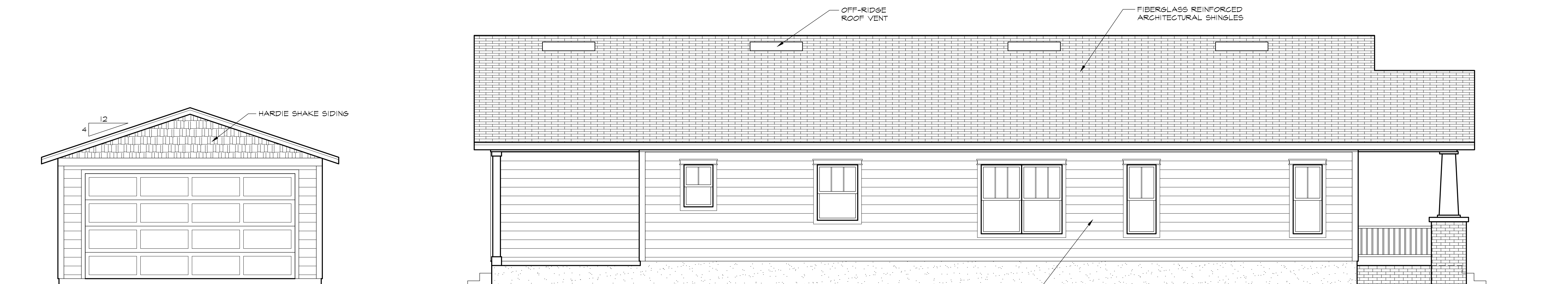
FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

AREA IN SQUARE FEET	
CONDITIONED AREA	1821
FRONT PORCH	155
REAR PORCH	154
GARAGE	400
TOTAL UNDER ROOF	2535



RIGHT SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"

GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"

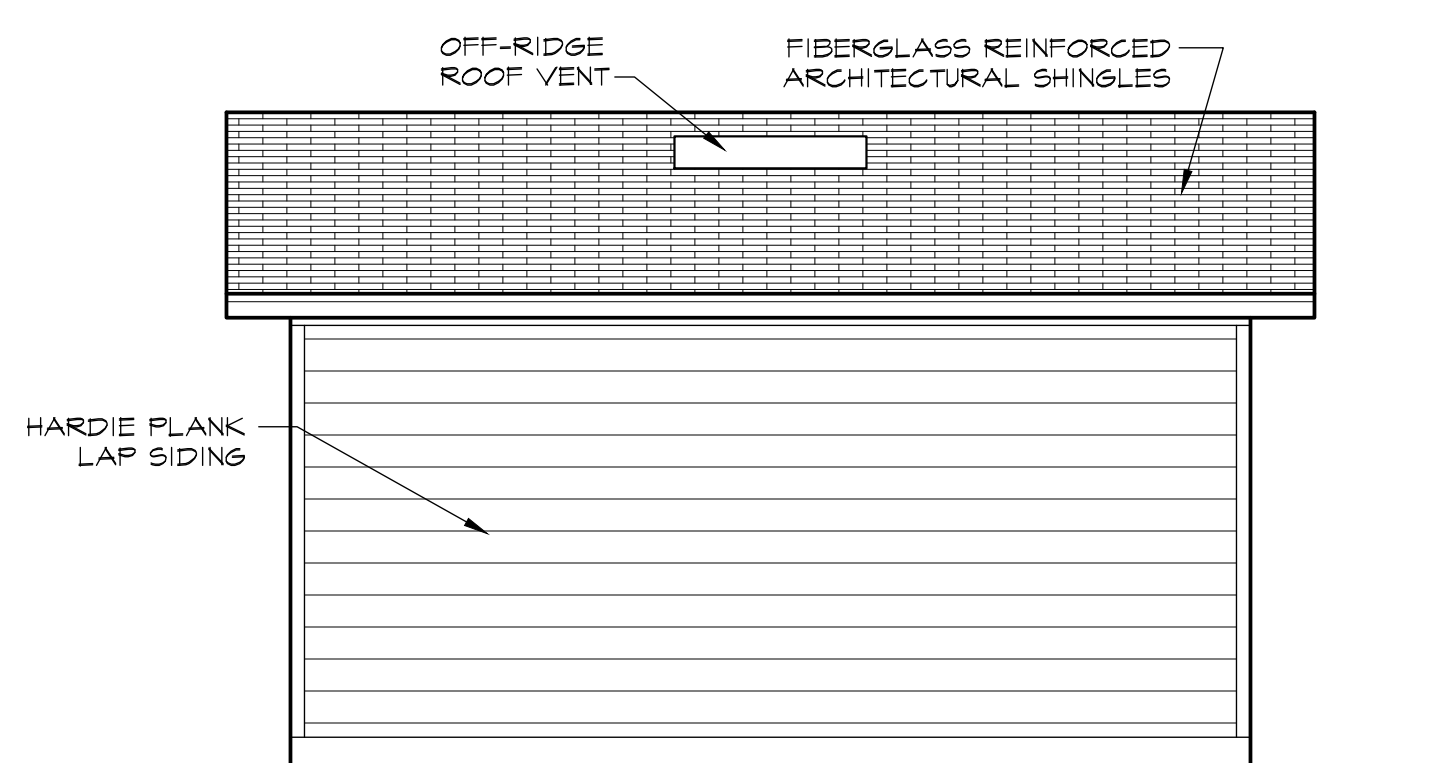


GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

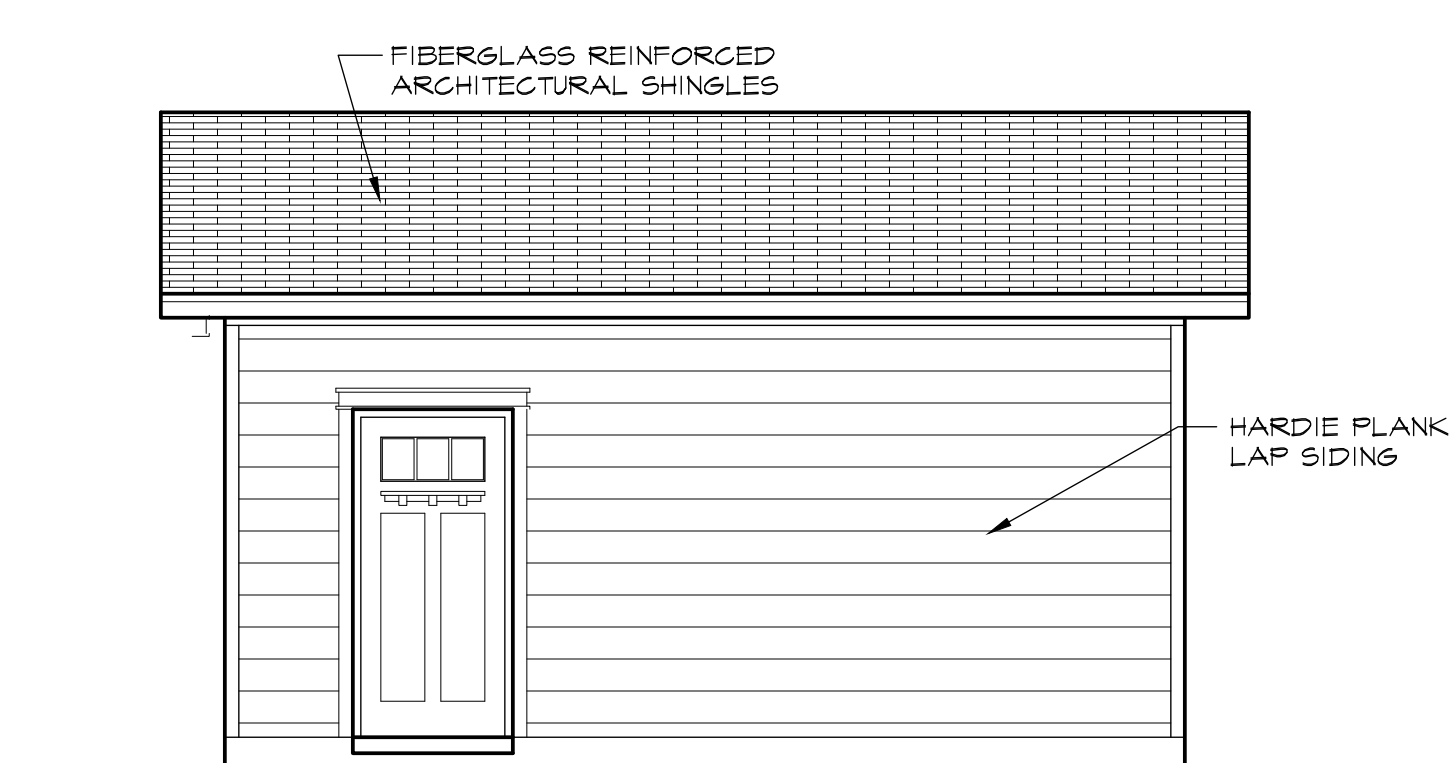
LEFT SIDE (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

MAIN HOUSE
ATTIC SPACE VENTILATION CALCULATION
 2128 SQ. FT. ATTIC AREA /300= 7.09 SQ. FT. X 144 = 1021 SQ. IN.
 1021 SQ. IN. /2= 511 SQ. IN. UPPER AND LOWER REQUIRED
UPPER VENTILATION PROVIDED
 4 TAMCO 48" OFF RIDGE VENTS @ 128 SQ. IN. = 512 SQ. IN. > 511 SQ. IN.
LOWER VENTILATION PROVIDED
 102 LINEAL FT. VENTED HARDIE SOFFIT (MIN.) @ 5 SQ. IN. PER FT. = 510 SQ. IN. > 507

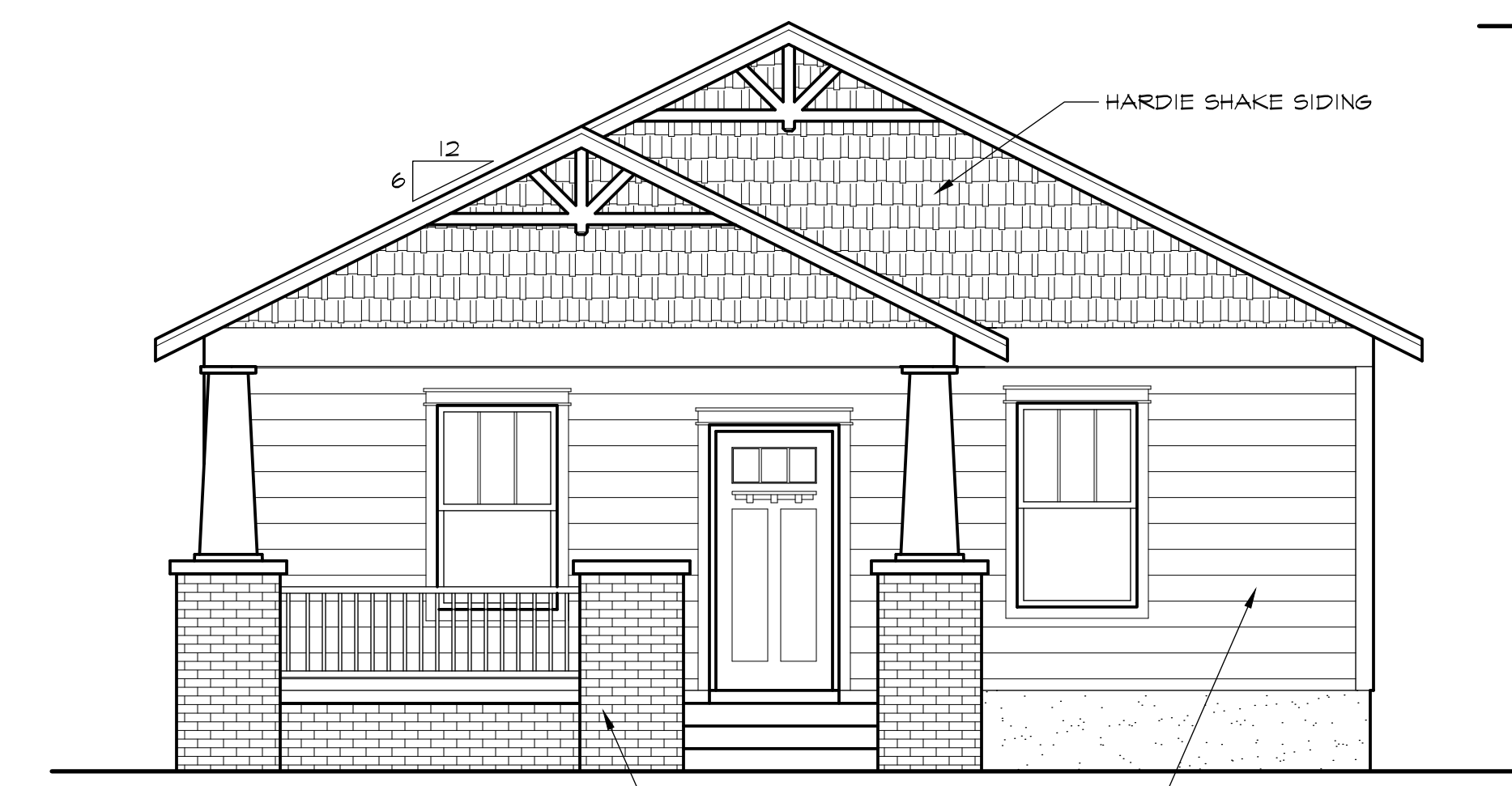
GARAGE
ATTIC SPACE VENTILATION CALCULATION
 400 SQ. FT. ATTIC AREA /300= 1.33 SQ. FT. X 144 = 192 SQ. IN.
 192 SQ. IN. /2= 96 SQ. IN. UPPER AND LOWER REQUIRED
UPPER VENTILATION PROVIDED
 1 TAMCO 48" OFF RIDGE VENT @ 192 SQ. IN. = 192 SQ. IN. > 96 SQ. IN.
LOWER VENTILATION PROVIDED
 40 LINEAL FT. VENTED HARDIE SOFFIT (MIN.) @ 5 SQ. IN. PER FT. = 200 SQ. IN. > 96



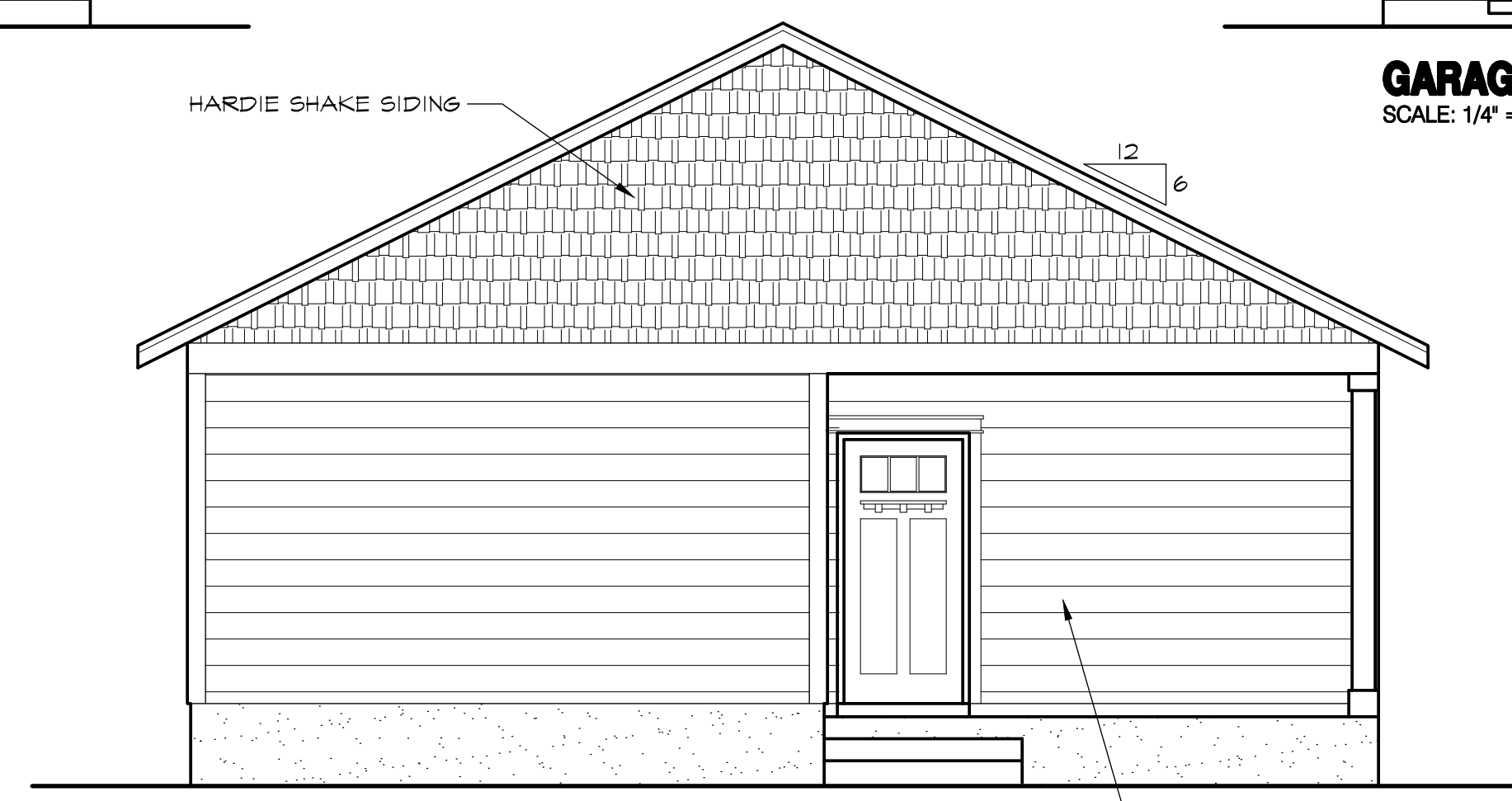
GARAGE LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"




GARAGE RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"


 This item has been digitally signed and sealed by
 Using a digital signature
 Printed copies of this document(s) are not considered signed and sealed and the signature must be verified on any electronic copies.

NEW SPECULATION HOUSE FOR
 547 WEST HANCOCK STREET
 LAKELAND, FLORIDA 33803



