



AGENDA
HISTORIC PRESERVATION BOARD
City Commission Chambers
March 23, 2023 8:30 A.M.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Jenny Sykes, no later than 48 hours prior to the proceeding, at **(863) 834-8444**, Email: **Jennifer.Sykes@lakelandgov.net**. If hearing impaired, please contact the TDD numbers: Local - **(863) 834-8333** or **1-800-955-8771** (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number **1-800-955-8770 (VOICE)**, for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the February 23, 2023 Historic Preservation Board meeting minutes.
- III. Old Business: None
- IV. New Business:
 - A. Announcement: Nominations are being sought for the 2023 Historic Preservation Awards. Nominated projects must involve historic buildings within the City of Lakeland that have undergone preservation, rehabilitation, or restoration within the last three years, as well as new construction projects within the City's historic districts that have been designed to fit compatibly into the historic character of the districts. Please submit all nominations via email to Emily Foster, emily.foster@lakelandgov.net. The Awards presentation will take place on Monday, May 22nd at the historic Polk Theatre.
- V. Adjourn for Design Review Committee.

MINUTES

HISTORIC PRESERVATION BOARD

City Commission Chambers

Thursday, February 23, 2023

8:30 a.m.

(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board met in Regular Session; Bruce Anderson, Lynn Dennis, Landis Fleming, Cesar Perez, Michael Porter, Natalie Oldenkamp, Chris Olson and MeLynda Rinker were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Ramona Sirianni, Deputy City Attorney, were also present.

I. Call to Order and Determination of a Quorum

Chair Chris Olson called the February 23, 2023 meeting of the Historic Preservation Board ("Board") to order at 8:30 a.m. A quorum was reached, as eight Board members were present.

II. Review and Approval of Previous Meeting Minutes

Mr. Landis Fleming motioned to approve the January 26, 2023 meeting minutes as presented. Ms. Lynn Dennis seconded the motion. The motion passed 7—0.

III. Old Business:

- A. Status update on the resurvey of the East and South Lake Morton Historic Districts. Ms. Emily Foster stated that City staff and the Florida Division of Historical Resources has reviewed the draft report and provided feedback to the consultant for revision of the report. The final deliverable is the final survey report, which is expected on March 24th. The report, along with the recommendations for any changes to the East and South Lake Morton Historic Districts is anticipated to be presented to the Board on April 27, 2023.

IV. New Business: NONE

- A. Vacancy on Design Review Committee. Staff recommends the appointment of Natalie Oldenkamp to the Design Review Committee, to fill Jeremy Moses' seat. Ms. MeLynda Rinker motioned to nominate Natalie Oldenkamp. Mr. Cesar Perez seconded the motion and it passed 8—0.

V. Adjourn for Design Review Committee.

The meeting adjourned at 8:35 a.m.

Chair, Historic Preservation Board

Senior Planner, Historic Preservation



AGENDA
DESIGN REVIEW COMMITTEE
March 23, 2023

immediately following the Historic Preservation Board Meeting

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Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the February 23, 2023 Design Review Committee meeting minutes.
- III. Review Certificates of Review administratively approved since the previous meeting.
- IV. Consideration of Certificate of Review Applications:
 - A. Oath Administration for Public Testimony by Assistant City Attorney.
 - B. [HPB23-032 – 801 E. Main Street](#) – Final Approval requested for the installation of an illuminated wall sign on the principal building of the subject property. Owner: Ten Cap Partners LLC. Applicant: Mr. Roger Snyder and Mr. Ryan Birt, Dixie Signs Inc.
 - C. [HPB23-040 – 727 Jefferson Avenue](#) – Final Approval requested for the new construction of a covered stoop onto the front elevation of the house on the subject property. Owner/Applicant: John and Valerie Tutton.
 - D. [HPB23-049 – 506 W. Park Street](#) – Final Approval requested for the major rehabilitation of the single-family residence on the subject property. Owner: Merlin Properties of Central Florida. Applicant: Ms. Yelithza Paramo, Paramount Building.
 - E. [HPB23-050 – 914 S. Missouri Avenue](#) – Final Approval requested for the installation of a new roof system on the two-story structure on the subject property. Owner: Mr. Gary Hyde. Applicant: Mr. Jordan Napoles, Mark Brown Construction Inc.
- V. Other Business: NONE
- VI. Adjournment.

MINUTES

DESIGN REVIEW COMMITTEE City Commission Chambers

Thursday, February 23, 2023

(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)

The City of Lakeland Historic Preservation Board's Design Review Committee, met in Regular Session; Lynn Dennis, Landis Fleming, Natalie Oldenkamp, Chris Olson, Cesar Perez, Michael Porter and MeLynda Rinker were present. Historic Preservation Board member Bruce Anderson was also present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation, Christelle Burrola, Planning Assistant, and Ramona Sirianni, Deputy City Attorney, were also present.

I. Call to Order and Determination of a Quorum

The meeting was called to order by Chair MeLynda Rinker at 8:35 a.m. The Committee roll call was performed and a quorum was present.

II. Review and Approval of the Previous Meeting Minutes

Ms. Lynn Dennis motioned to approve the January 26, 2023 meeting minutes. Mr. Cesar Perez seconded the motion. The motion passed 7—0.

III. Review of Certificates of Review administratively approved.

A list of ten (10) administratively approved Certificate of Review projects covering the period 1/20/23-2/17/23 was included with the agenda packet. There were no additional questions or comments about these projects.

IV. Consideration of Certificate of Review Applications:

A. Oath Administration for Public Testimony by Deputy City Attorney Ramona Sirianni.

B. HPB23-016 – 1017 South Boulevard – Final Approval requested for the construction of a new detached garage and accessory dwelling unit on the subject property. Owner: Mr. Marten Walters. Applicant: Prebor 3 Architecture.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of one interior lot of record consisting of 0.16 acres and has alley access to the rear of the property. On the property is a one-story single-family house, constructed circa 1925 in the Bungalow architectural style, which is a contributing building in the South Lake Morton Historic District. Features expressing the Bungalow style include the cross-gable roof, front-gabled front porch, and tapered porch columns on brick plinths. According to the Polk County Property Appraiser's office, the total living area of this house is 1,291 square feet. The Applicant requests to construct a two-story garage apartment in the rear yard, which is proposed to be 23 feet 4 inches by 23 feet 4 inches in size (544.3 square feet). The new building is proposed to consist of a 544 square feet garage on the ground floor, and a 544 square feet studio apartment on the second floor, accessed by an external stair. The second-story apartment will feature a full-width balcony on the east elevation of the building. Materials proposed to be used for the garage apartment include:

- Concrete slab on grade foundation;
- Stucco over masonry cladding on ground floor; fiber cement lap siding on second floor;
- Fiber cement trim, casing, and corner boards;
- Vinyl single-hung sash windows with three-over-one lite configuration;

- Steel overhead garage door; fiberglass entry doors with full or partial glazing;
- Fiberglass shingles on a 6/12 pitch roof;
- Fiber cement or PVC fascia; and
- Pressure treated wood stairs and balcony.

The site plan submitted for this request shows building setbacks of five feet from the interior (south) property line and 15 feet from the rear property line. A new 21 feet four inches wide concrete driveway connecting to the garage from the alley is proposed, as well as a single concrete parking space placed in the rear yard. The site plan complies with the Land Development Code pertaining to Accessory Dwelling Units.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds that the garage apartment does not disturb the spatial relationships of the principal house, and the essential form and integrity of the existing house is maintained. New but similar materials will be used, which will be complementary in nature to the design of the house. In evaluating the request with the Design Guidelines, staff finds the subordinate scale of the garage apartment and its simplified design to be consistent with the Design Guidelines. Staff finds the materials and design of the window, doors, balcony, and roof pitch to be consistent with the Design Guidelines, and the structure is appropriately located to the rear of the lot with vehicular access from the alley. This structure is compatible with the development pattern in the Lake Morton neighborhood, in which accessory dwellings are commonly found in both historic and contemporary form. For compliance with Land Development Code Sub-Section 4.3.2 regarding accessory dwelling units ("ADU"), as well as approval for Compatibility Review by the Planning and Zoning Board, the maximum square footage for the ADU will need to be reduced from 544 square feet to 516 square feet based on the living area square footage of the principal house. Ms. Foster stated Final Approval of the request with the following conditions, to be approved by staff prior to permitting:

1. Use fiber cement lap siding with a maximum exposure of 6 inches.
2. Windows must be installed with a recess to provide a shadow line instead of flush to exterior wall; simulated divided lite muntins must be dimensional and mounted to exterior glass.
3. Use a straight eave return instead of a boxed or "pork chop" eave return.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Victor Prebor was present in support of the request.

There were no public comments.

Discussion ensued.

Mr. Michael Porter made a motion to approve staff's recommendation with the addition of requiring lap siding around the entire dwelling unit. Ms. Natalie Oldenkamp seconded the motion, but it failed, 4—3.

MOTION: Final approval of the request with the conditions recommended by staff, modifying condition 1 to state "If fiber cement lap siding is used, it must have a maximum exposure of 6 inches". (C. Olson/L. Fleming, 7—0)

- C. **HPB23-019 – 522 E. Park Street** – Final Approval requested for the new construction of an addition onto the rear elevation of the house on the subject property. Owner/Applicant: Mr. Michael McArthur and Ms. Jennifer Smurr.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is an interior lot of record consisting of 0.28 acres, with alley access to the rear. On this property is a one-story, single-family residence built circa 1925 in the Bungalow architectural style, which is a contributing building in the South Lake Morton Historic District. The Bungalow styling of this house is expressed by a front-gabled roof, and a front porch with a hipped roof supported by square columns. The house also has novelty siding, corner boards, exposed rafter tails, and double-hung sash wood windows with a nine-over-one lite configuration in the Prairie style. This home remains in most of its original condition. The current living area of this house is 988 square feet, according to the Polk County Property Appraiser's office. The Applicant's request proposes to construct a two-story addition onto the rear elevation of the home consisting of approximately 1,000 square feet, which will consist of additional living space, as well as an additional bedroom and bathroom. The proposed addition will remove two existing historical windows and a small shed-roofed porch on the rear elevation of the house. The addition will be approximately 26 feet 8 inches tall from finish floor grade to the ridge of the roof, and the design and materials for the addition are intended to be compatible with the existing house. Materials proposed for the addition include:

- Raised foundation to match existing;
- Wood lap siding to match the profile of the existing novelty siding;
- Corner boards and window/door trim and casing to match existing;
- Aluminum single-hung sash windows with a Prairie style 9-lite upper sash; windows on south and east elevation of addition appear to be fixed windows with 4- and 8-lite configurations;
- The gable profile roof will have a pitch and wood gable vent matching the design of the existing with fiberglass or asphalt roofing shingles and a wood fascia.
- An exposed eave and rafter tails to match existing will be used.

Ms. Foster stated the site plan for the proposed addition shows building setbacks that comply with the City's Land Development Code, Urban Form Standards. The request was evaluated using Secretary's Standards for Rehabilitation #2, #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds the requested addition does not disturb the spatial relationships that characterize the neighborhood, and the essential form and integrity of the subject house is maintained. In evaluating the request with the Design Guidelines, the materials of the proposed addition reflect the original materials of the house and are compatible with the Guidelines. The design of the proposed addition's windows, siding, open eave and exposed rafter tails, and roof pitch and form is consistent with the style of the subject house and Design Guidelines. Furthermore, the addition is appropriately placed on the rear elevation of the house. Staff recommends Final Approval of the request with the following conditions, to be approved by staff prior to permitting:

1. Siding on addition must match the exposure dimension and profile of the original siding on the house.
2. Windows on the addition shall comply with the following requirements:
 - a. Windows with a divided lite appearance must have dimensional muntins/grid installed on the exterior glass.
 - b. Windows must be recessed to provide a shadow line and not installed flush to the exterior wall surface.
 - c. Windows also must include historically appropriate trim, including header, sill, and apron.

Chair Rinker asked if the Applicant had any additional comments or questions. Ms. Jennifer Smurr was present in support of the request.

In response to Ms. MeLynda Rinker, Ms. Smurr stated that she has no issues with staff's recommended conditions.

There were no public comments.

MOTION: Final approval of the request with the conditions recommended by staff. (M. Porter/N. Oldenkamp, 7—0)

- D. HPB23-020 – 201 E. Main Street** – Final Approval requested for recessing the glass storefront windows and entry door on the north elevation of the building on the subject property. Owner: Dr. Saqib Khan. Applicant: Mr. Soloman Wassef, Lakeland Loft.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is located at the southeast corner of S. Tennessee Avenue and E. Main Street and consists of one lot of record with a total area of 0.10 acres. On the property is a two-story commercial building. Built circa 1959, this building is a noncontributing structure in the Munn Park Historic District. Historically, this building has served office uses on both floors. Currently, the second floor serves Lakeland Loft, while the ground floor is unoccupied. This masonry vernacular building features stucco exterior cladding, a pedimented parapet roofline, and horizontal, sculptured banding. Glass and metal storefront windows exist on the north and west ground floor elevations; the north elevation has an off-centered and recessed double door entry. In addition to a renovation of the building's ground floor interior, the Applicant requests to remove the existing storefront windows, doors, and framing on the north elevation and recess this feature 25 feet inside the existing footprint of the ground floor, where the materials of the storefront will be reused and reinstalled. The storefront windows on the west elevation will remain as is. The masonry wall structure surrounding the storefront will not be altered, but may be repainted.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. Staff finds that the proposed request meets the intent of the Standards and Design Guidelines in terms of not destroying historic building fabric or adversely affecting architectural integrity, as the subject building is a non-contributing structure within the Munn Park Historic District. Staff finds that the existing storefront does not have a unique design or distinctive materials or is otherwise historically important, and that the relocation of the storefront is reversible. The proposed recessed storefront area provides a design strategy to serve a variety of uses for the building and extend its useful life, consistent with the Design Guidelines. The recessed storefront treatment is consistent with other storefronts along E. Main Street, including Black and Brew and Linksters. Staff recommends that a simply designed metal handrail balustrade or knee wall is installed along the north elevation footprint of the existing storefront windows to provide a traditional bulkhead appearance and prevent a trip hazard from the existing storefront base, or to remove the existing base altogether.

Ms. Foster stated Staff recommends Final Approval of the request with the following conditions, to be approved by staff before building permit application submittal:

1. Install a simply designed metal handrail balustrade or knee wall along the north elevation footprint of the existing storefront windows above the storefront base or remove this base altogether.
2. Provide an exterior paint palette if repainting the exterior of the building.
3. Signage will require an additional historical review and sign permit application.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Soloman Wassef was present in support of the request.

There were no public comments.

Mr. Wassef stated he does not see a reason to install metal railing. He wants a log type material since the restaurant in the building will be "island themed".

Discussion ensued.

MOTION: Final approval of the request with the conditions recommended by staff. (L. Fleming/C. Perez, 7—0)

- E. HPB23-022 – 809 Osceola Street** – Final Approval requested for the construction of a second-story Accessory Dwelling Unit (ADU) above the existing detached garage on the subject property. Owner: Mr. Greg Neely. Applicant: Mr. Dan Sharrett, Sharrett Construction.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of one interior lot of record consisting of 0.12 acres. This property has alley access. On the property is a one-story single-family house, constructed in 2016 to reflect the Bungalow architectural style, which is a non-contributing building in the East Lake Morton Historic District. According to the Polk County Property Appraiser's office, the total living area of this house is 1,447 square feet. The Applicant requests to remove the gabled roof of the existing detached garage and construct a second story ADU on top of the garage, which is located in the rear yard of the subject property. The exterior dimensions of the ADU will match the garage and will be 19 feet ten inches by 21 feet 5 inches for a total area of 424.8 square feet. The new second story will feature a gabled roof with a 4/12 pitch matching the existing garage roof. The ADU will be accessed by an external stair. The second-story apartment will feature a full-width balcony on the east elevation of the building. Materials proposed to be used for the garage apartment include:

- Hardie board lap siding to match existing;
- Hardie trim, casing, and corner boards;
- Vinyl single-hung sash windows;
- Fiberglass entry door;
- Asphalt shingles on a 4/12 pitch roof to match existing; and
- Wood stairs and balcony.

The site plan submitted for this request shows building setbacks of nine feet from the west side property line, 7.16 feet from the east side property line, and 20 feet from the rear property line, which meets the requirements set forth in the City's Land Development Code.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds that the second story addition to the existing garage does not disturb the spatial relationships of surrounding buildings, and the essential form and integrity of the principal house is maintained. Materials similar to the existing garage and house will be used, which provides compatibility with the existing structures on this property. In evaluating the request with the Design Guidelines, staff finds the subordinate scale of the second-story addition and its simplified design to be consistent with the Design Guidelines. Staff finds the materials and design of the window, doors, external stair, and roof pitch to be consistent with the Design Guidelines, and the structure is appropriately located to the rear of the lot with vehicular access from the alley. This structure is compatible with the development pattern in the Lake Morton neighborhood, in which accessory dwellings are commonly found in both historic and contemporary form. For compliance with Land Development Code Sub-Section 4.3.2 regarding accessory dwelling units, as well as approval by the Planning and Zoning Board, the site plan also must show one additional off-street parking space to accommodate the ADU for Compatibility Review purposes. The building setbacks as shown on the site plan comply with the Land Development Code requirements.

Ms. Foster stated Staff recommends Final Approval of the request with the following conditions:

1. Use fiber cement lap siding with a maximum exposure of 6 inches.
2. Windows must be installed with a recess to provide a shadow line instead of installed flush with the exterior wall.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Daniel Sharrett was present in support of the request.

There were no public comments.

In response to Chair Rinker, Mr. Sharrett stated that he agrees to staff's recommended conditions.

In response to Mr. Sharrett, Ms. Foster stated one-over-one windows would be acceptable.

MOTION: Final approval of the request with the conditions recommended by staff. (L. Dennis/C. Perez, 7—0)

V. Other Business: NONE

VI. Adjournment: There being no further business, the meeting was adjourned at 9:28 a.m.

Chair, Design Review Committee

Senior Planner, Historic Preservation

**Certificates of Review Administratively Approved
Between 2/20/2023 and 3/15/2023**

1. 605 W PARK ST (Contributing Building) - Installation of 215 linear feet of 6 ft. tall privacy wood fence with 2 gates.
Subject to the following conditions: (HPB23-031)
2. 815 S MISSOURI AV (Contributing Building) - Installation of a 6 ft. tall brown matte vinyl privacy fence along south side property line with a 4 ft. setback from the alley and 25 ft. setback from the front property line.
Subject to the following conditions: (HPB23-033)
3. 832 S FLORIDA AV (Non-Contributing Building) - Replace Chiefland tenant panel with new 7" X 46 3/8" tenant panel, same size as previous, for Wildflower Hair Company. Tenant panel to be 3mm ACM with digitally printed and laminated vinyl.
Subject to the following conditions: (HPB23-034)
4. 735 E MAIN ST (Contributing Building) - Noncontributing building. Scope of repair work for exterior of building to include:
 1. Mansard and roof repair at southeast side using in-kind materials.
 2. Replace 2 exterior doors in-kind.
 3. Replace wall and exterior door to outdoor cooking area with in-kind materials.Subject to the following conditions: (HPB23-035)
5. 418 S LAKE AV (Contributing Building) - Installation of 4 low-profile solar panels on north-facing side of house roof and 18 low-profile solar panels on the roof of the detached garage on the subject property.
Subject to the following conditions: (HPB23-036)
6. 1203 KING AV (Non-Contributing Building) - Installation of 18 solar panels on north facing side of roof and 2 panels on west facing side of porte cochere.
Subject to the following conditions: (HPB23-037)
7. 743 WINFREE AV (Contributing Building) - Installation of 27 linear feet of 6 ft. tall wood stockade fence facing the street at sides of subject house, and 177 linear feet of 4 ft. tall black chain link fence enclosing rear yard.
Subject to the following conditions: (HPB23-038)
8. 415 W BEACON RD (Contributing Building) - Installation of 51 linear feet of 6 ft. tall tan vinyl privacy fence at the sides of the house on the subject property, replacing existing fence.
Subject to the following conditions: (HPB23-039)

**Certificates of Review Administratively Approved
Between 2/20/2023 and 3/15/2023**

9. 820 PARK HILL AV (Contributing Building) - Installation of 215 linear feet of 6 ft. tall wood board-on-board fence enclosing the rear yard of the subject property. Replacing an existing wood privacy fence.
Subject to the following conditions: (HPB23-041)

10. 719 W BELMAR ST (Contributing Building) - Replacement of 17 aluminum windows with 17 Pella SH-510 vinyl single hung sash windows (FL#33447.1) with a one-over-one lite configuration (no divided lite).
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.

IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS.

WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-042)

11. 701 S WILSON AV (Non-Contributing Building) - 1. Removal of a secondary entrance door on the rear elevation of the subject house and enclosing doorway with same/similar wall materials as existing house.
2. Replacing two windows on the rear elevation with vinyl single hung sash windows matching window opening sizes.
Subject to the following conditions: (HPB23-043)
12. 301 ARIANA ST (Contributing Building) - Replace existing non-historic flooring on the front porch with 5-inch TimberTech decking. The stairs from the porte cochere to the front porch will be replaced or covered with TimberTech material.
Subject to the following conditions: (HPB23-044)

**Certificates of Review Administratively Approved
Between 2/20/2023 and 3/15/2023**

13. 612 W PARK ST (Contributing Building) - Repair or replace existing 6 ft. tall wood privacy fence in-kind and in same location.
Subject to the following conditions: Where fence replacement is needed, 6 ft. tall wood privacy fence must be used and must be installed in the same location as existing fence. (HPB23-045)
14. 712 ANGELINA LN (Non-Contributing Building) - Replacement of all existing metal windows and doors on building with Ply Gem vinyl single-hung windows (FL#14039-R7) and JELD-WEN (FL# 11136.3) Contours Steel, steel edge doors. Replacement of sections of T1-11 siding with LP Building Solutions Siding (FL#9190).
Subject to the following conditions: 1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. FOR WINDOWS WITH SIMULATED DIVIDED LITES, MUNTINS (GRIDS/GRILLES) SHALL BE DIMENSIONAL AND MOUNTED TO THE EXTERIOR OF THE GLAZING (GLASS) WITH A MINIMUM SURFACE RELIEF OF A ¼ INCH. MUNTINS "SANDWICHED" BETWEEN DOUBLE-PANED GLAZING SHALL NOT BE PERMITTED, EXCEPT WHEN INSTALLED BENEATH EXTERIOR-MOUNTED MUNTINS.
4. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.
IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT.
ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS.
WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-047)

**Certificates of Review Administratively Approved
Between 2/20/2023 and 3/15/2023**

15. 716 ANGELINA LN (Non-Contributing Building) - Replacement of all existing metal windows and doors on building with Ply Gem vinyl single-hung windows (FL#14039-R7) and JELD-WEN (FL# 11136.3) Contours Steel, steel edge doors. Replacement of sections of T1-11 siding with LP Building Solutions Siding (FL#9190).
Subject to the following conditions: 2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. FOR WINDOWS WITH SIMULATED DIVIDED LITES, MUNTINS (GRIDS/GRILLES) SHALL BE DIMENSIONAL AND MOUNTED TO THE EXTERIOR OF THE GLAZING (GLASS) WITH A MINIMUM SURFACE RELIEF OF A ¼ INCH. MUNTINS "SANDWICHED" BETWEEN DOUBLE-PANED GLAZING SHALL NOT BE PERMITTED, EXCEPT WHEN INSTALLED BENEATH EXTERIOR-MOUNTED MUNTINS.
4. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.
IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS. WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-048)
16. 425 HUNTER ST (Non-Contributing Building) - Installation of a 6 ft. tall wood privacy fence enclosing the rear yard of the subject property, replacing the previously installed 8 ft. tall wood privacy fence.
Subject to the following conditions: Fence must be setback by 3 feet from the edge of pavement of Lakeside Avenue (alley). (HPB23-051)
17. 1117 RUBY ST (Contributing Building) - Install new 6 ft. tall wood fence on east side of property.
Subject to the following conditions: (HPB23-052)

**Certificates of Review Administratively Approved
Between 2/20/2023 and 3/15/2023**

18. 1510 S DAKOTA AV (Non-Contributing Building) - Replacement of 10 windows per conditions of approval listed below. Casement windows at the front and front right side of the house (4 window openings) will be replaced by Simonton vinyl casement windows (FL#107.2). All other windows will be replaced by Simonton vinyl double-hung sash windows (FL#5167).

Subject to the following conditions: CONDITIONS:

1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
3. FOR WINDOWS WITH SIMULATED DIVIDED LITES, MUNTINS (GRIDS/GRILLES) SHALL BE DIMENSIONAL AND MOUNTED TO THE EXTERIOR OF THE GLAZING (GLASS) WITH A MINIMUM SURFACE RELIEF OF A ¼ INCH. MUNTINS "SANDWICHED" BETWEEN DOUBLE-PANED GLAZING SHALL NOT BE PERMITTED, EXCEPT WHEN INSTALLED BENEATH EXTERIOR-MOUNTED MUNTINS.
4. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.

IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS.

WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-053)

19. 213 CANNON ST (Contributing Building) - Installation of a 6 ft. tall wood fence in the rear yard of the subject property.
Subject to the following conditions: (HPB23-054)

**Certificates of Review Administratively Approved
Between 2/20/2023 and 3/15/2023**

20. 809 MISSISSIPPI AV (Contributing Building) - Replace 9 wood double-hung sash windows with a four-over-one lite configuration with Renewal by Andersen vinyl double-hung sash windows with a four-over-one lite configuration (FL#27970.1). Subject to the following conditions:
1. ALL REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW/ WINDOW OPENING SIZE.
 2. ALL WINDOWS SHALL BE RECESSED FROM THE EXTERIOR WALL FACE TO THE EXTERIOR WINDOW GLASS TO PROVIDE A SHADOW LINE. FLUSH-MOUNTED REPLACEMENT WINDOWS ARE NOT PERMITTED. BOX OR BLOCK FRAMED WINDOWS ARE RECOMMENDED. FIN/FLANGE TYPE WINDOWS ARE NOT RECOMMENDED.
 3. FOR WINDOWS WITH SIMULATED DIVIDED LITES, MUNTINS (GRIDS/GRILLES) SHALL BE DIMENSIONAL AND MOUNTED TO THE EXTERIOR OF THE GLAZING (GLASS) WITH A MINIMUM SURFACE RELIEF OF A ¼ INCH. MUNTINS "SANDWICHED" BETWEEN DOUBLE-PANED GLAZING SHALL NOT BE PERMITTED, EXCEPT WHEN INSTALLED BENEATH EXTERIOR-MOUNTED MUNTINS.
 4. ALL PAIRED OR GROUPED WINDOWS SHALL BE INSTALLED WITH A DIVIDING MULLION OF AT LEAST 3 INCHES IN WIDTH BETWEEN ADJOINING WINDOWS.

IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE REPLACEMENT WINDOWS INSTALLED ARE CONSISTENT WITH THE DESIGN AND METHOD OF INSTALLATION STATED ON THE CERTIFICATE OF REVIEW. FAILURE TO COMPLY WITH THESE CONDITIONS WILL RESULT IN DISAPPROVAL OF THE BUILDING PERMIT FINAL INSPECTION AND WILL REQUIRE COMPLIANT WINDOWS TO BE INSTALLED REGARDLESS OF FINANCIAL IMPACT TO THE APPLICANT. ACCEPTANCE OF A BUILDING PERMIT FOR REPLACEMENT WINDOWS CONSTITUTES APPLICANT'S ACKNOWLEDGEMENT OF THESE CONDITIONS.

WINDOW PRODUCTS STATED ON THE APPROVED BUILDING PERMIT SHALL NOT BE SUBSTITUTED OR REPLACED WITH A PRODUCT FROM A DIFFERENT MANUFACTURER, OR A DIFFERENT MODEL NUMBER FROM THE SAME MANUFACTURER, WITHOUT STAFF APPROVAL. (HPB23-055)



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
March 23, 2023**

Project #	HPB23-032
Project Type	Illuminated Wall Sign
Property Address; Historic Name	801 E. Main Street; N/A
Historic District; FMSF#	East Lake Morton Historic District; N/A
Owner/Applicant	Ten Cap Partners LLC / Mr. Andy Snider, Mr. Ryan Birt, Dixie Signs Inc.
Zoning; Future Land Use; Context District; SPI	C-2; Mixed Commercial Corridor Urban Center; Garden District SPI
Existing Use	Commercial
Adjacent Properties	Commercial, Civic, Residential
Previous Approvals	New Garage Doors (HPB14-172) 9/24/14; Commercial Building Remodel (HPB14-220) 12/10/14; Fence (HPB15-062); Accessory Structures and Gate (HPB15-062) 4/16/15; Fence (HPB18-194) 9/21/18; Internally lighted sign (HPB19-190) 10/24/2019; Accessory Structure (HPB23-010), 1/6/2023

REQUEST

The Applicant requests approval to install an internally illuminated wall sign on the building on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property is located at the southeast corner of E. Main Street and S. Lake Avenue, and consists of a quarter-acre parcel that is located within Sub-District 6 of the Garden District SPI (Special Public Interest) zoning district, as well as the Downtown Lakeland Community Redevelopment Area. The property contains a masonry vernacular building, built in 1960, that originally functioned as a full-service gas station and repair garage. The existing building is considered noncontributing to the East Lake Morton Historic District.

Undergoing renovations in 2014, this property and building has since been utilized for retail, entertainment, and eatery uses under the business name of The Poor Porker. A new business was established on the subject property in 2022 under the "Unfiltered Lakeland" name. This request proposes to install an internally lighted wall sign, 52.56 square feet (29" X 21.75') in size, on the north elevation of the building on the subject property. The sign will consist of white acrylic letter faces covered in digitally printed and laminated vinyl in a burnt orange color, along with a black trim cap, and will state the name of the business. White LEDs will illuminate the sign internally. As the Historic Preservation Board's Design Review Committee is tasked with approval of internally-lighted signs, this request was referred by staff to the Committee for review.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's Design Guidelines for Historic Properties ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards. Per the Commercial Design Guideline Policy, adopted by the Historic Preservation Board September 29, 2007, the Dixieland CRA Commercial Corridor Design Guidelines

("Dixieland Guidelines") are used for the limited commercial areas that are located within primarily residential areas within the City's historic districts.

The following *Dixieland Guidelines* apply to this project:

Chapter VI: Miscellaneous Standards, Sub-Section C. Signs:

1. General Sign Guidelines

a. Maximum Total Sign Area for Signs Attached to Buildings

- ***The aggregate total sign area for any one side of a building, including wall signs***, projecting signs, awnings signs, and marquee signs, ***shall not exceed twelve and one half (12.5) percent of the square footage of the first fifteen (15) feet in height of the wall face upon which such sign or signs are located.*** (See maximum areas for each type of building sign, below.)
- Such allowable sign area shall not be combined with or distributed to other sides of the building and shall be used only on the façade used to calculate the area.

b. Sign Placement

- Signs shall be positioned so that they appear as a design feature of the overall façade of a particular building.
- Signs shall relate to, and help define and enhance, the architectural features of the building, rather than cover or disturb design features, and shall be placed to establish façade rhythm, relative to the architecture of a building.
- Signable areas may include: (1) a continuous flat wall surface free of window or door openings or architectural features, (2) areas between the top of the storefront and the sill of the second-floor windows, (3) sign boards designed for such use and already in place, (4) panels at the top and bottom of show windows, and (5) transoms over doors and windows.
- Signs on buildings shall not be mounted above or extend above the roofline. The sole exceptions to the height limit are building signs intended to memorialize and identify the original building owner. These signs must be comprised of individual, non-illuminated letters either embedded or in relief on the exterior front façade wall. These types of signs are subject to review and final approval by the Historic Preservation Board.

c. Sign Size and Scale

- The scale of signs shall be appropriate for the building on or near which they are placed and the area in which they are located. The size and shape on a sign shall be proportional with the scale of the structure. Small storefronts shall have smaller signs than larger storefronts.
- Signs shall be designed so that they are integrated with the design of the building and the building's use. A well-designed building façade or storefront is created by the careful coordination of sign design, architectural design, and color scheme. Signs located on multiple-tenant buildings shall be designed to complement and enhance each other, although not necessarily to match each other.
- Because the commercial areas exist in close proximity to residential areas, signs shall be designed and located so that they will have little or no impact on adjacent residential neighborhoods.
- Pedestrian-oriented signs are encouraged. These signs shall be read easily and comfortably from the sidewalk or street.

d. Sign Illumination

- Sign illumination shall be in accordance with the LDC Sign Regulations.
- At the discretion of the Historic Preservation Board, internally illuminated signs may be approved with justification.

- If the board approves the use of an internally illuminated sign, back-lit (reverse channel) solid letter signs shall be preferred. The use of internally illuminated back-lit cabinet signs shall be prohibited.
- No electrical conduit, circuits, devices, or non-decorative fixtures shall be visible.
- e. Sign Design, Colors, and Materials
 - Creative design is strongly encouraged. The use of unusual shapes of the sign panel, dimensional lettering, sculptural treatments, and layering of sign surfaces are welcome.
 - Colors shall be selected which contribute to legibility and design integrity. Colors or color combinations that interfere with legibility of the sign copy, or that interfere with viewer identification of other signs, shall be avoided. Small accents of several colors may make a sign unique and attractive, but the presence of too many colors will decrease the readability.
 - Paper and cloth signs are prohibited for permanent exterior use (except for cloth fabric on awnings). If wood is used, it shall be properly sealed to keep moisture from deteriorating the sign.
 - Changeable copy shall be prohibited on all building signs.
 - Graphics on all signs shall be dimensional in nature. Dimensional lettering or sign elements should extend beyond or be embedded in the surface to which it is applied. Letters greater than 4 inches in height should have a minimum thickness of ¼ inch in order to cast a shadow.
- 2. Building Signs
 - a. Wall Signs
 - Each business or tenant shall have no more than one (1) wall sign per building.
 - ***The allowable area for wall signs shall be one square foot of sign for each linear foot of primary building facade, not to exceed 50% of the maximum total building sign area calculation. Sign copy may not exceed two (2) feet in height.***
 - No signage shall be permitted on walls not facing the street except street numbers and directional signs at pedestrian or driveway openings. Such signs shall not exceed two (2) square feet in area.
 - Wall plaque signs shall be no larger than 18 inches by 24 inches.

ANALYSIS:

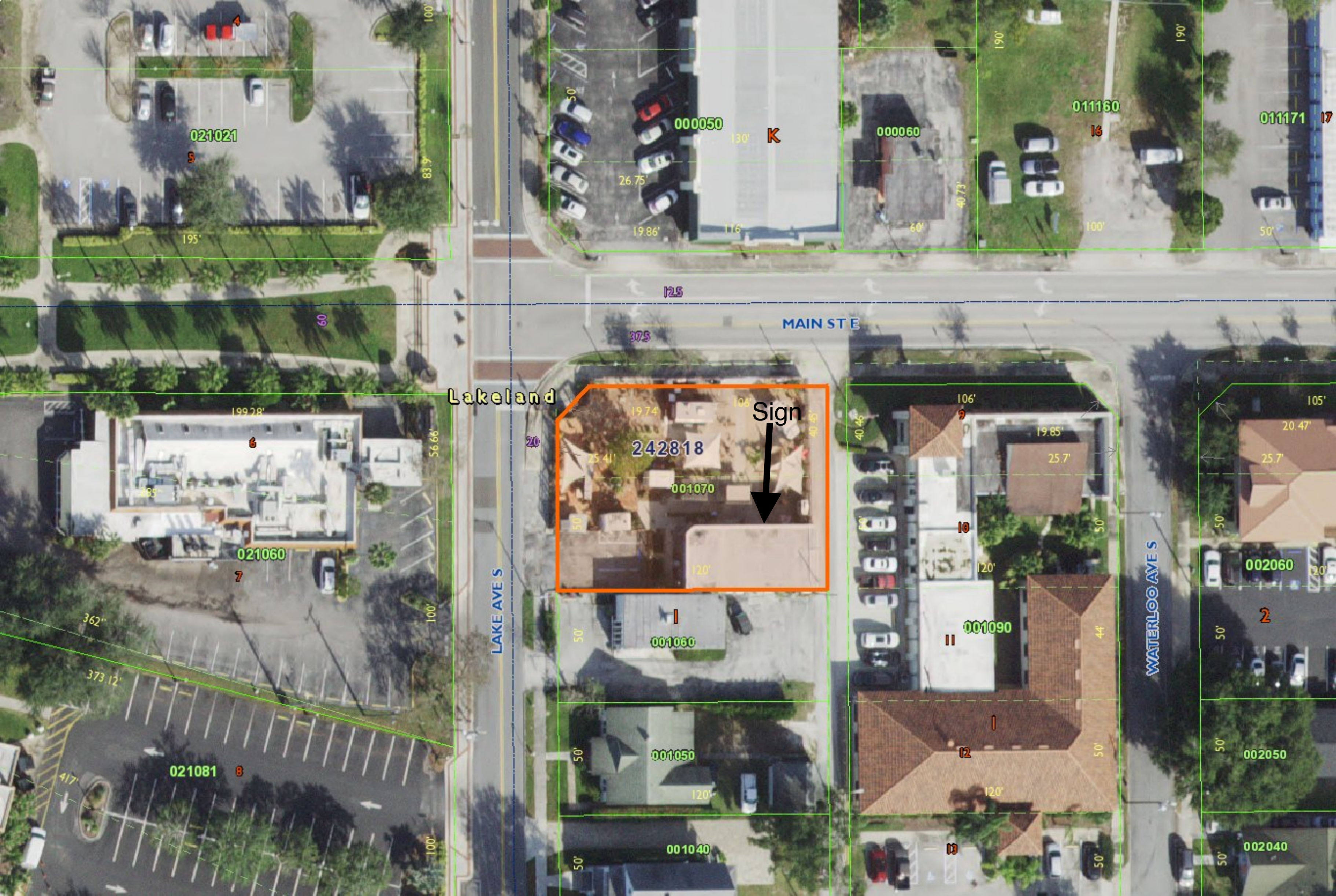
The Design Review Committee previously approved an exposed neon sign on the west elevation wall for the Poor Porker. Staff finds that the design of the proposed sign is acceptable under the Dixieland Guidelines, and the placement and scale of the sign on the upper portion of the building's north elevation wall is appropriate. The individual letter internal lighting source for this sign is found appropriate, as this type of illuminated sign was common on many Mid-Century Modern buildings, and is also found in the East Main Street District, located near the subject property east of Bartow Road (U.S. 98). However, the size of the sign is slightly too large according to the Dixieland Guidelines and must be reduced to no more than 48.66 square feet, based on Dixieland Guideline 2.a. listed above.

STAFF RECOMMENDATION:

Staff recommends final approval of the request with the following condition to be reviewed and approved by staff prior to permitting:

1. Wall sign size must be reduced to a maximum of 48.66 square feet.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board





Building Front Elevation



Existing Condition



Night View



Channel Letters with Remote Power Supply

Scale: 3/8" = 1'-0"

Letter Faces: White acrylic with 1st surface applied digitally printed and laminated vinyl (PMS 173 Burnt Orange).

Trim Cap: 1" Black

Returns: Aluminum painted to match face color as close as possible.

Lighting: Internally illuminated with White LEDs

**Field Survey Required
Prior to Manufacture**

Square Footage:
29" x 21'-9" = 52.56 sf
(Allowed 1" ft per linear bldg
frontage max 2' letter height)

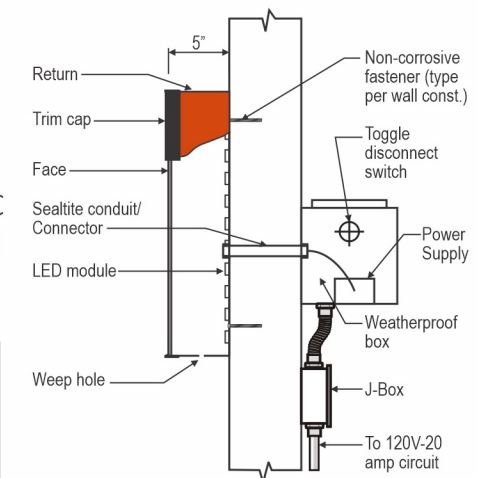
Note: City of Lakeland,
FL requires for all electric
signs either a photo cell
plus standard time clock
- or - an astronomic time
clock to pass separate
final elect. inspection.



Sign is UL wired and
labeled UL approved

Dixie Signs, Inc.
UL #E133744

Complies with current NEC
(National Electric Code)



Typical Letter Section
Scale: NTS

PLEASE CHECK THOROUGHLY: We cannot be held responsible if you APPROVE an incorrect art proof.

I HAVE REVIEWED THE ABOVE SPECIFICATIONS, FULLY UNDERSTAND THE WORK TO BE PERFORMED, AND HEREBY AUTHORIZE THIS PROJECT TO BEGIN.

CLIENT APPROVAL: DATE: ____/____/____
SIGNED: _____
☐ OK to proceed with NO CHANGES
☐ Make changes and SHOW ANOTHER PROOF
☐ OK to proceed with NOTED CHANGES

LANDLORD APPROVAL: DATE: ____/____/____
SIGNED: _____
☐ OK to proceed with NO CHANGES
☐ Make changes and SHOW ANOTHER PROOF
☐ OK to proceed with NOTED CHANGES

Job Name:
Unfiltered Lakeland

Job Address:
801 E. Main St.
Lakeland, FL
Job #: Q-044610
Date: 07-28-22
SP: PAW
Drawn by: je
File: PLTfiles\2022\U\
Unfiltered Lakeland\
bldg ltrs front - opt6.cdr

Sheet No. opt6

REVISIONS
Rev / date/ by / description

DIXIE SIGNS
INCORPORATED
LAKELAND, FL
2930 Drane Field Rd.
Lakeland, FL 33811
863.644.3521 fax 644.3524
www.dixiesignsinc.com

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**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
March 23, 2023**

Project #	HPB23-040
Owner/Applicant	Mr. John Tutton and Mrs. Valerie Tutton
Design Professional	Green Construction
Address; Historic Name	727 Jefferson Avenue; "The Floyd and Ann Stinebaugh House"
Requested Action	Front Stoop Addition
Historic District; FMSF#	Biltmore-Cumberland; #PO6645
Future Land Use; Zoning; Context District	Residential Medium; RA-3; Urban Neighborhood
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	HPB14-169: Garage Door Replacement (9/23/14); HPB15-165: Fence (9/8/15); HPB17-219: Front Porch Addition (12/21/2017); Replace 7 Windows (9/21/2018); HPB20-205: Roof Extension/Rear Patio/Metal Roof.

REQUEST

The Applicants request approval to build a new stoop at the primary entrance on the front elevation of the house at this address.

SUMMARY OF BACKGROUND INFORMATION

The subject property is an interior urban neighborhood lot, consisting of 0.22 acres, which contains a one-story, frame vernacular house built circa 1946, which is a contributing building in the Biltmore-Cumberland Historic District. The one-story wood frame house features a side-gabled roof with a minimal front stoop, formerly covered by an awning that was destroyed by Hurricane Ian, and an attached carport. The house is clad in aluminum siding and has several replacement windows.

The request proposes to remove the existing roof overhang and steps at the entrance on the home's front elevation and add a covered front stoop measuring 3'-4" deep by 10'-8" wide (35.6 SF). The new stoop will feature a gable-front appearance, with a 4/12 roof pitch, supported by tapered columns on brick plinths. The stoop will have a raised foundation covered in cementitious finish and concrete steps. The Applicant's reason for this request is threefold: to replace the damaged awning and provide additional cover; to provide for a safer landing for ingress/egress; and to resolve front door leaks in the future. Materials to be used in the porch addition are as follows:

Scope	Material
Foundation	CMU clad in cementitious finish and brick at base of columns.
Exterior Cladding	Gable end will be covered in vinyl siding to match house
Columns	4" X 4" Pressure treated wood posts clad in fiberglass or PVC wrap
Steps	Formed and poured concrete
Fascia/Soffit	Match existing fascia and soffit of house
Roof	Roofing shingles to match house

The site plan submitted by the Applicant shows building setbacks for the proposed new stoop that comply with the City's Land Development Code, Urban Form Standards.

APPLICABLE GUIDELINES:

The *Secretary of Interior's Standards for Rehabilitation* ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.5: Additions

- Ensure that Historic Buildings Remain the Central Focus. An addition should not damage or obscure architecturally important details and materials of the primary structure or other resources on the site. Additions should be distinguishable from the original structure without distracting from it.
- False Historicism/Conjectural History is Discouraged. Design additions should reflect their era of construction while respecting the historic context and architectural style of the original structure. Avoid using architectural details for additions that are more ornate than those found on the original structure or that are not characteristic of the original structure's architectural character.
- Additions that protect and maintain original architectural features during construction.
- Additions that minimize the loss of any architectural details or features.
- Additions that are subordinate to and compatible with the style and scale of the host structure.
- Side additions that are located behind the principal street-facing façade, or rear additions that are unnoticeable from the street.
- Additions that are designed with some distinction between the historic house and non-historic features.
- Additions that are differentiated from the host structure, e.g. by a recess in wall plane, lower roof height, or vertical trim piece.

Chapter 6 Exterior Architectural Features: Alteration and Maintenance.

Sub-Chapter 6.5 Siding and Exterior Wall Cladding

- Cement board siding similar in scale, proportion, texture and finish to wood as an alternative replacement exterior cladding.
- Vinyl and aluminum siding is not acceptable.

ANALYSIS:

The Biltmore-Cumberland Historic District exhibits a variety of architectural styles, including Colonial Revival, Tudor Revival, Minimal Traditional, Craftsman Bungalow, Mediterranean Revival, and Frame and Masonry Vernacular. Entrance features for houses in this area are guided typically by the style and size of a house, and both minimal stoops and modest porches exist.

While additions to the front of a contributing house are typically not recommended by the Design Guidelines, given the minimal traditional design of the subject house, the small footprint and simple design of the proposed stoop, as well as reversibility of this alteration without damaging historic building material, staff finds the proposed front stoop addition to be consistent with the Standards. The proposed stoop is compatible with the surrounding neighborhood and will not adversely affect the integrity of the Biltmore-Cumberland Historic District.

For consistency with the Design Guidelines, staff recommends that fiber-cement lapped siding is used in the gable of the stoop, as vinyl and aluminum siding is prohibited. Additionally, staff recommends the use of tapered columns in the style and proportion of the columns supporting the porte cochere, in order to complement an existing architectural feature.

STAFF RECOMMENDATION:

Staff recommends approval of the request with the following conditions, to be reviewed and approved by staff prior to permitting:

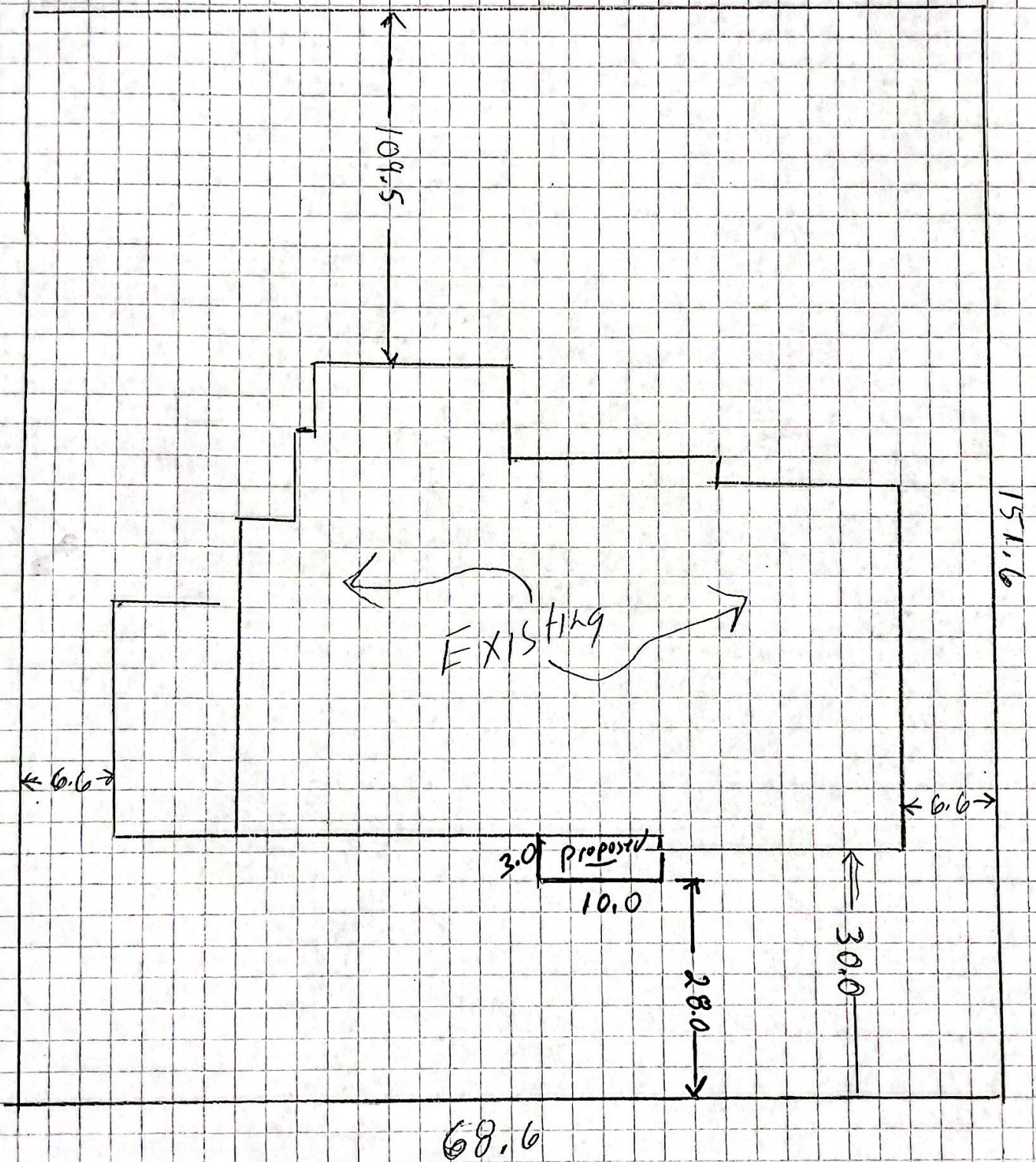
1. Use fiber-cement lapped siding with an exposure width similar to the lapped siding on the house in the stoop gable.
2. Use tapered columns in the style and proportion of the columns supporting the porte cochere for the stoop columns.
3. Straight eave returns should be used on the gable of the stoop.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board

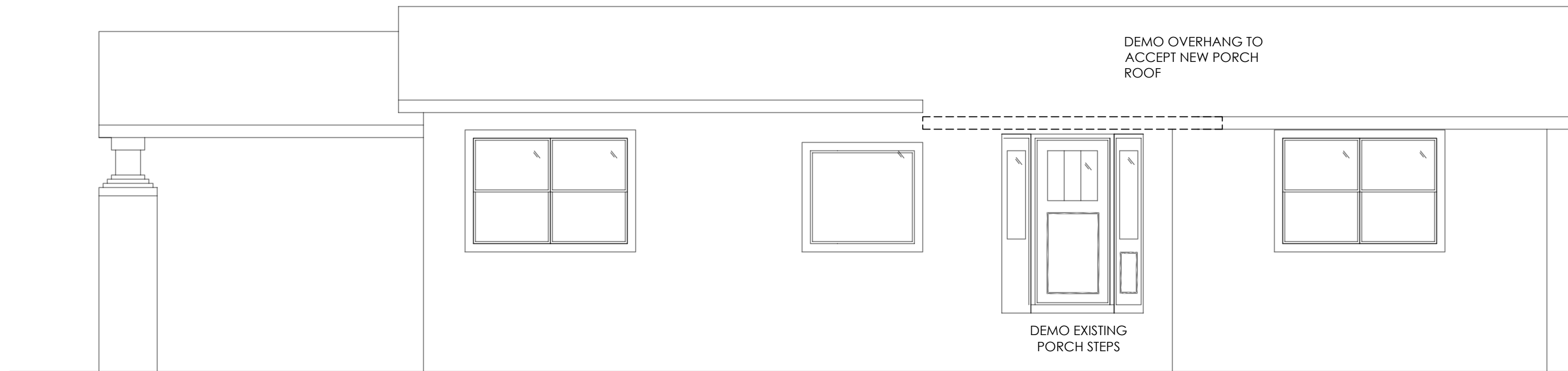




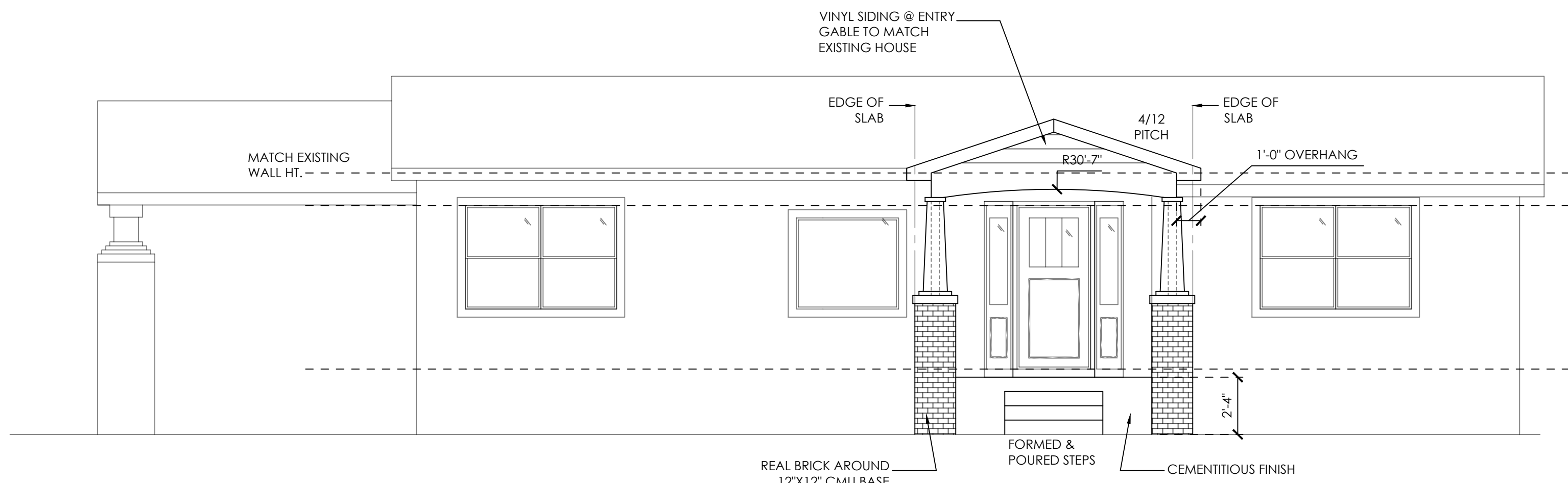




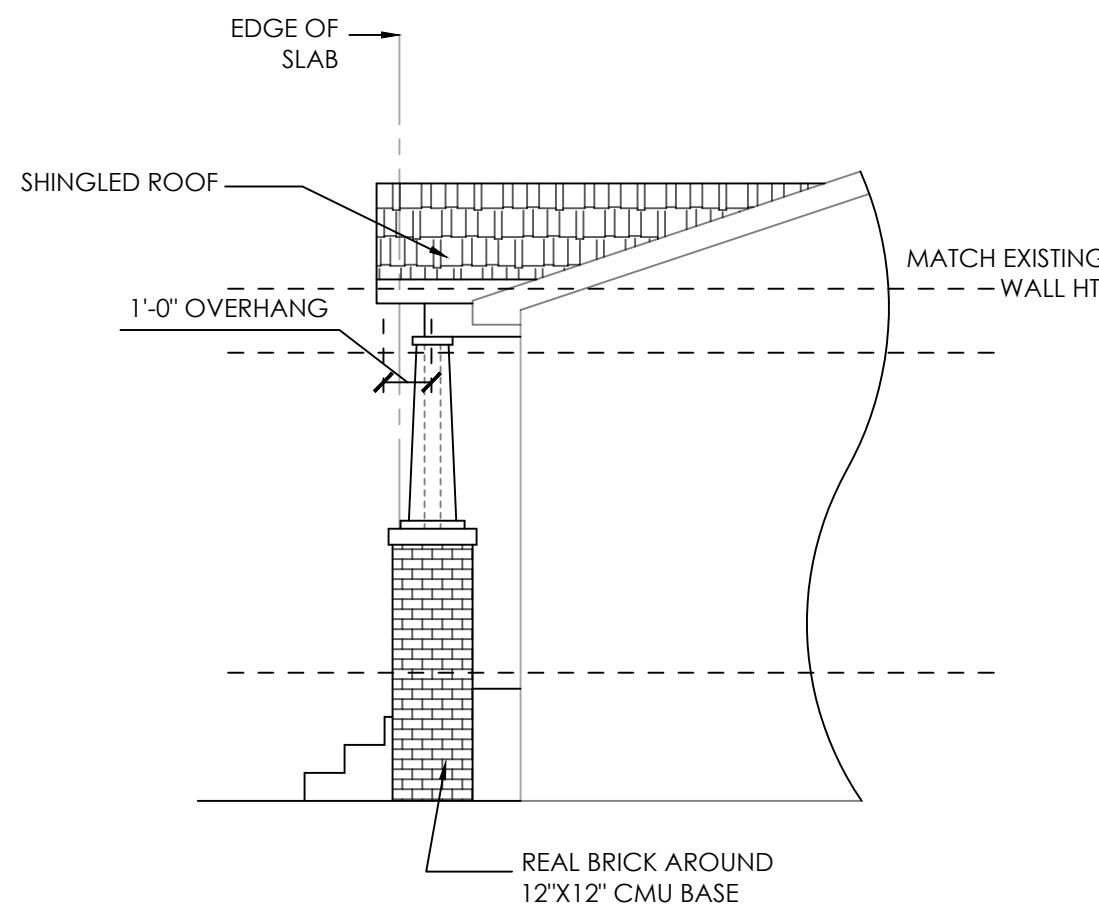
NTS



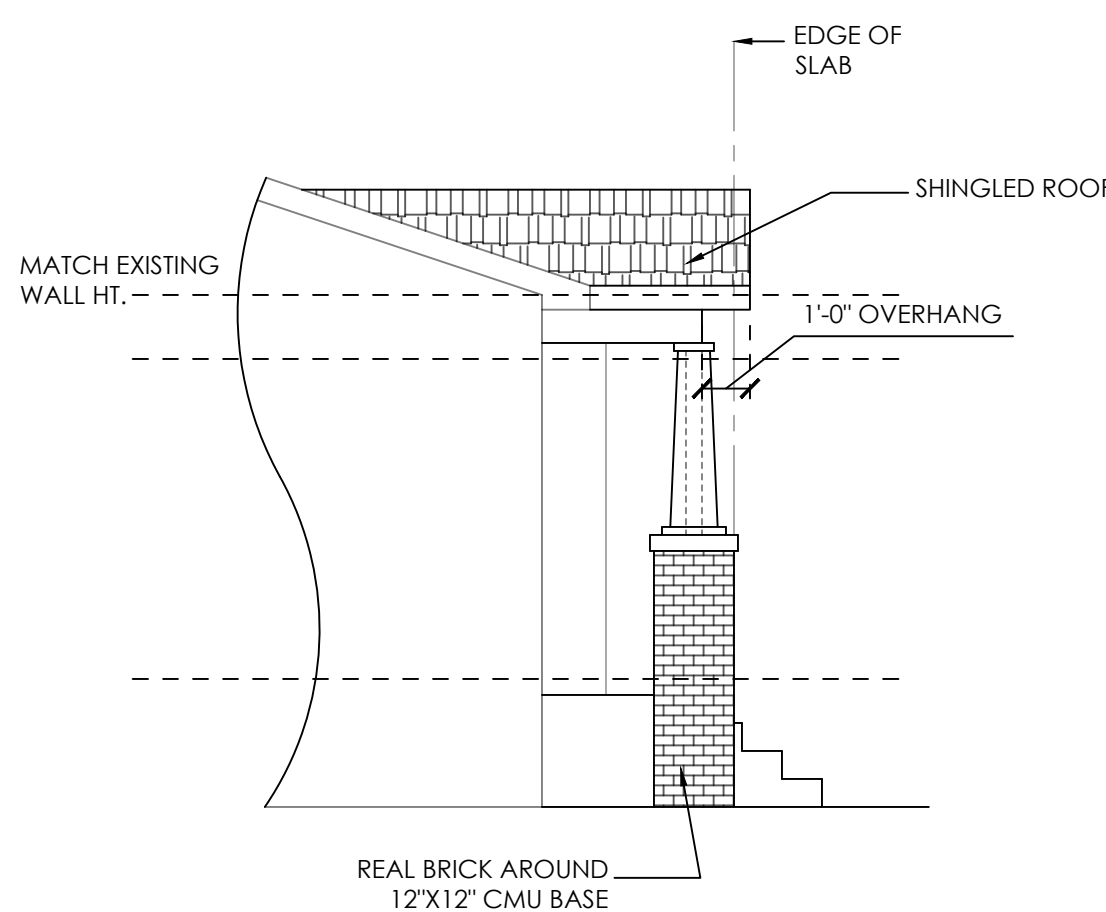
EXISTING/DEMO FRONT ELEVATION



PROPOSED FRONT ELEVATION

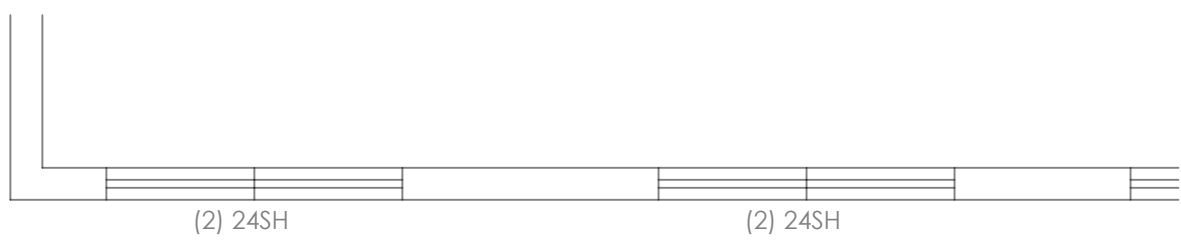


PROPOSED RIGHT SIDE ELEVATION

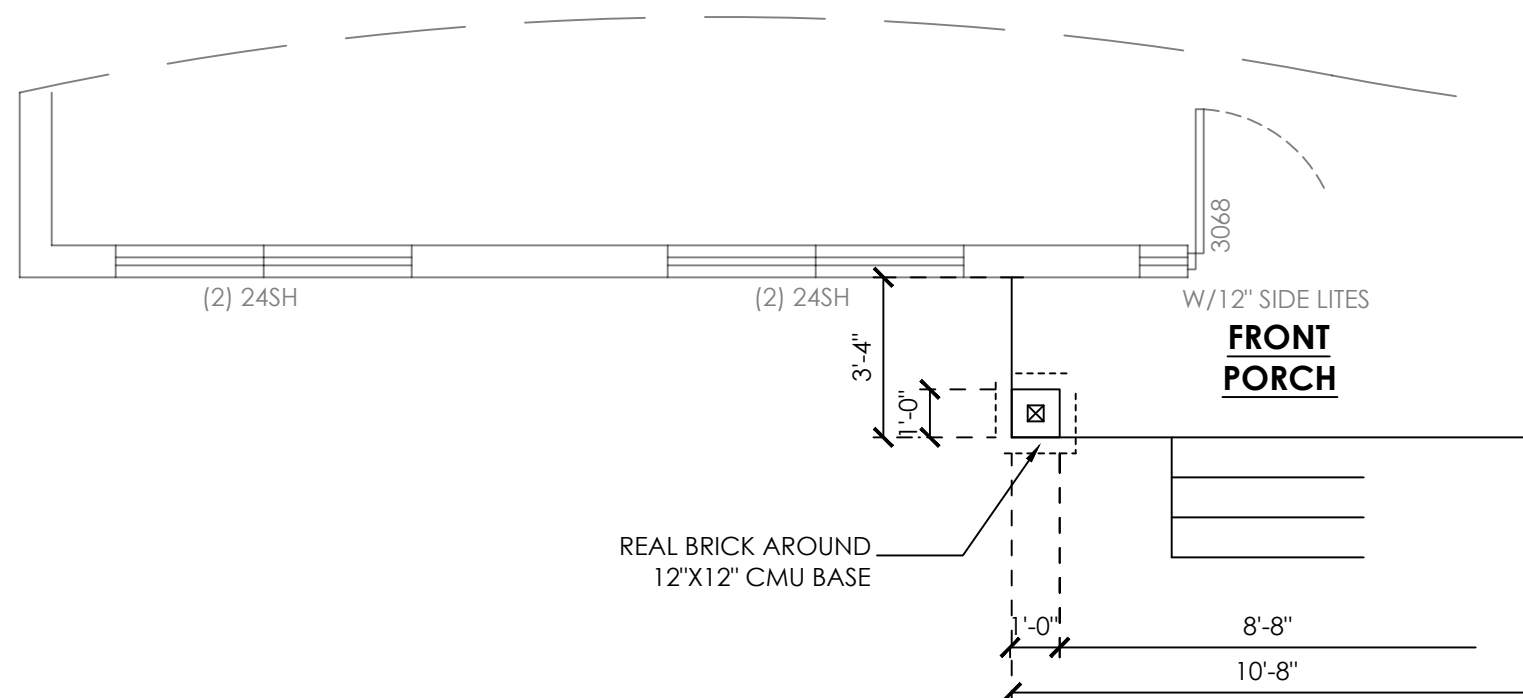


PROPOSED LEFT SIDE ELEVATION

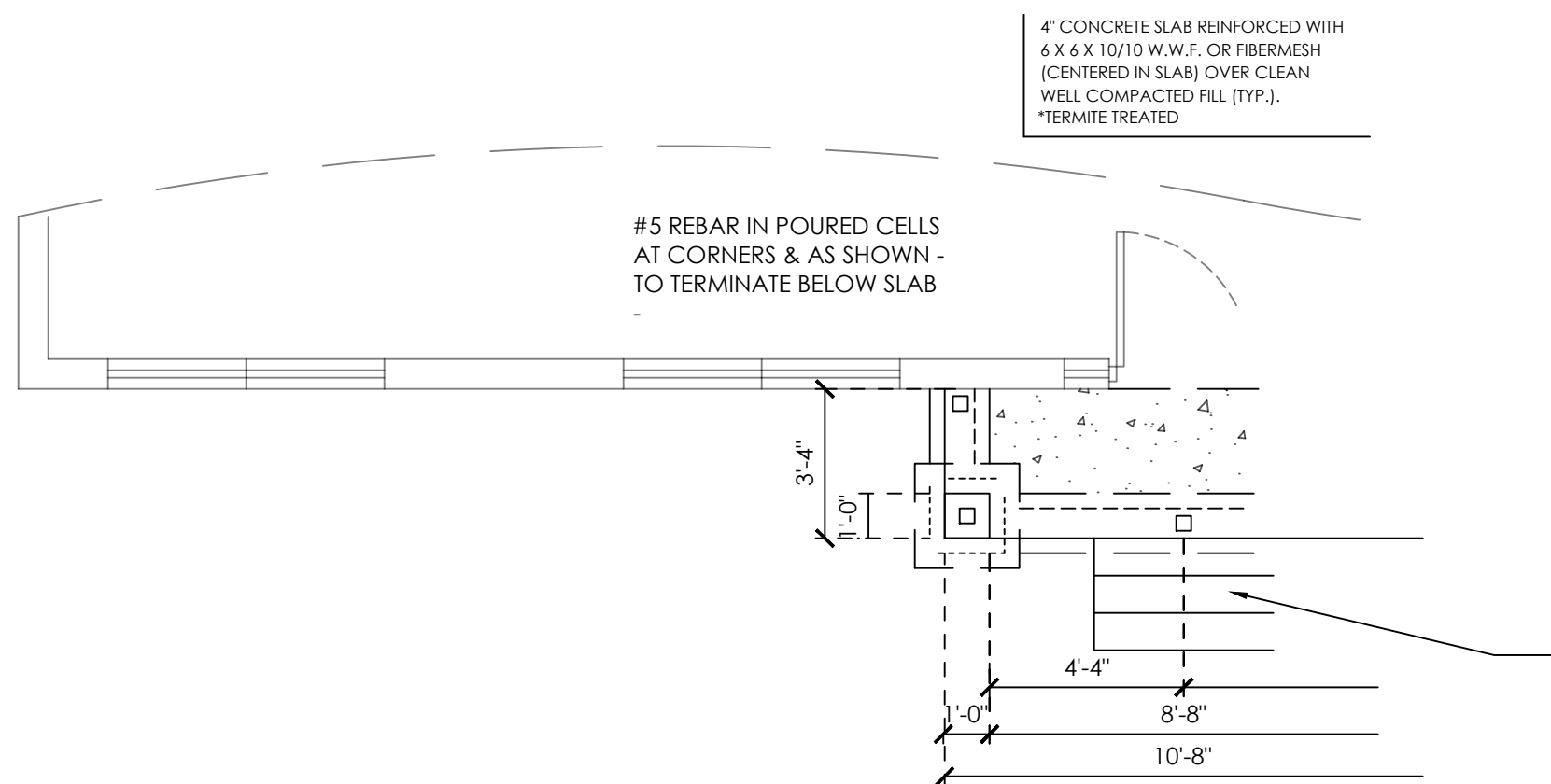
ROOF PLAN KEY:	
	= NEW RIDGE / OVERHANG
	= NEW VALLEY
	= EXISTING TRUSS SYSTEM
	= STRUCTURAL BEAM - TOP OF BEAM @ 8'-0"
	= OVERFRAMING
	= 2"X6" #2 Y.P. RAFTERS @ 24" O.C.
NOTES:	
- MATCH EXISTING OVERHANG	
- MATCH EXISTING WALL HT.	
- MATCH EXISTING SOFFIT & FASCIA	
- 4/12 ROOF PITCH	



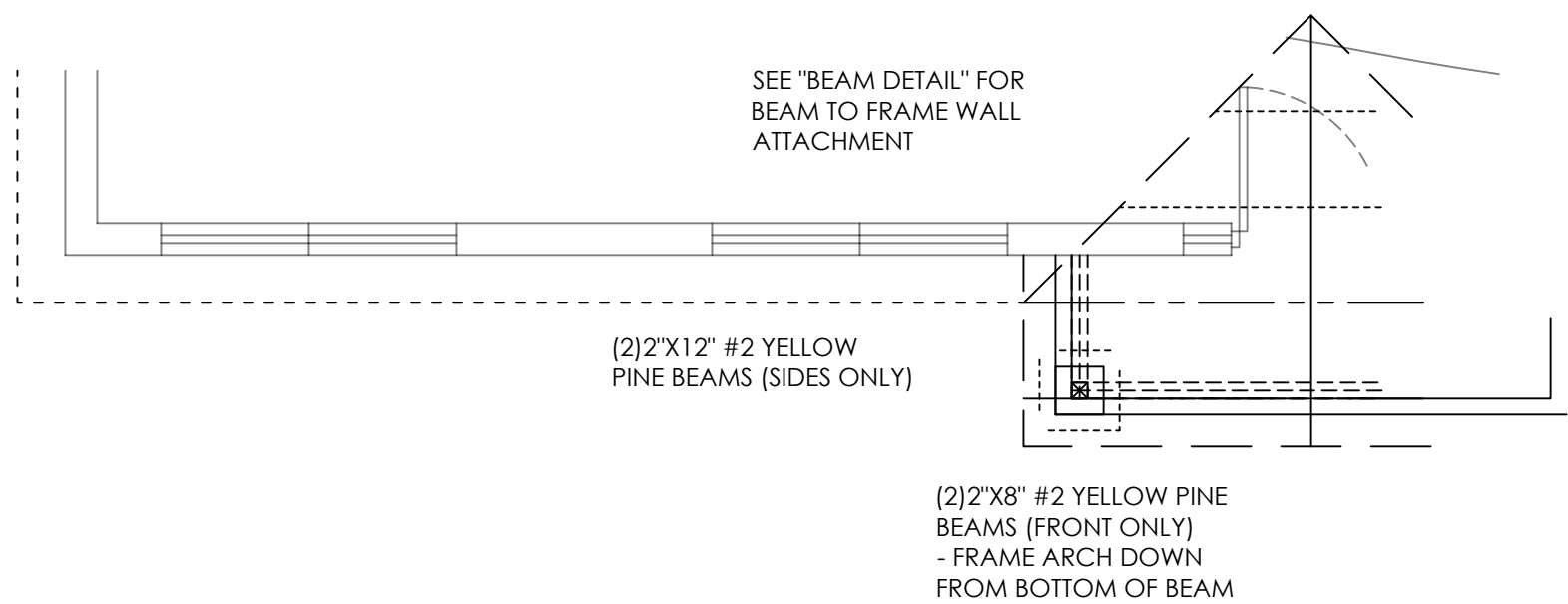
EXISTING/DEMO FLOOR PLAN



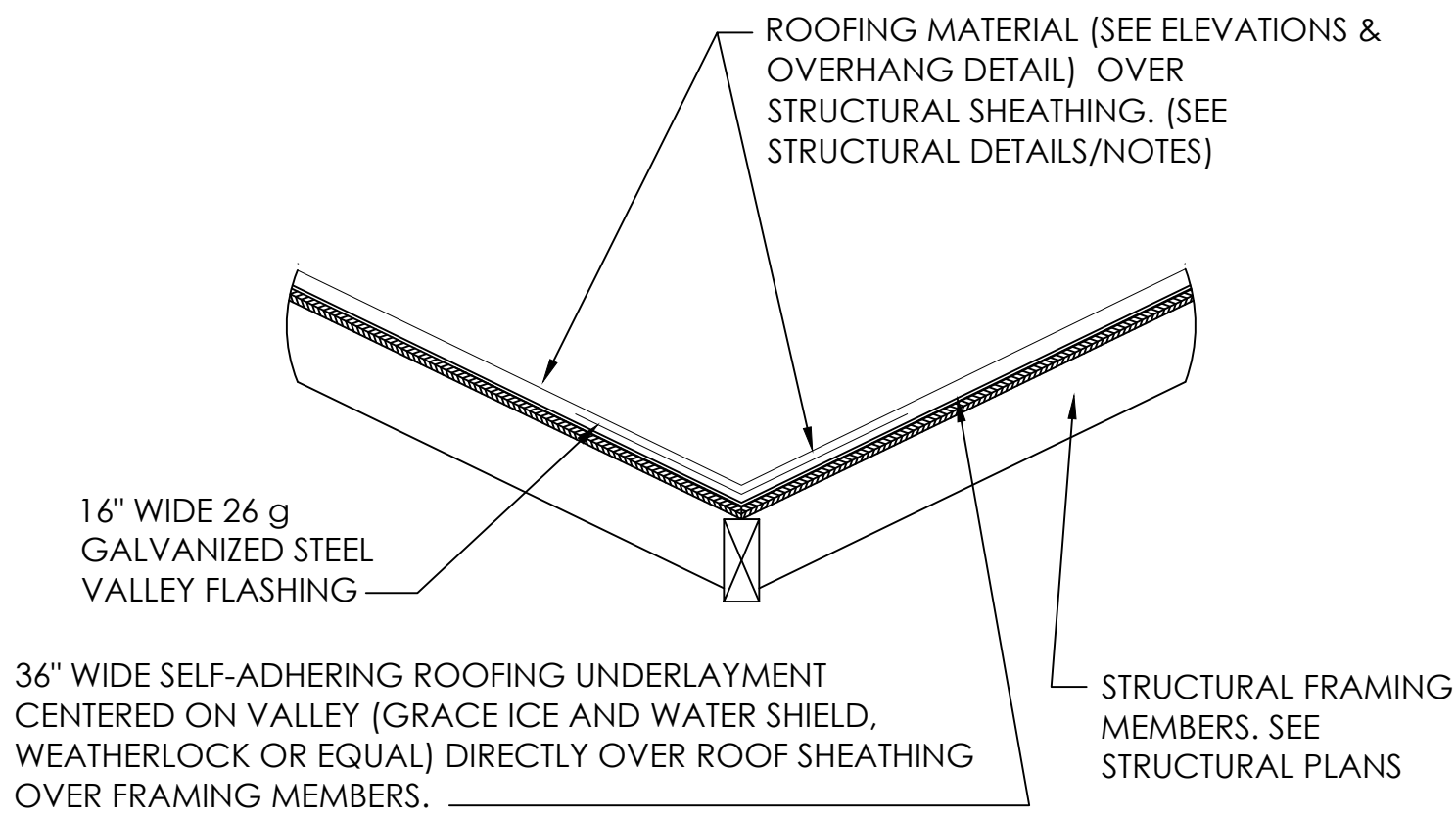
PROPOSED FLOOR PLAN



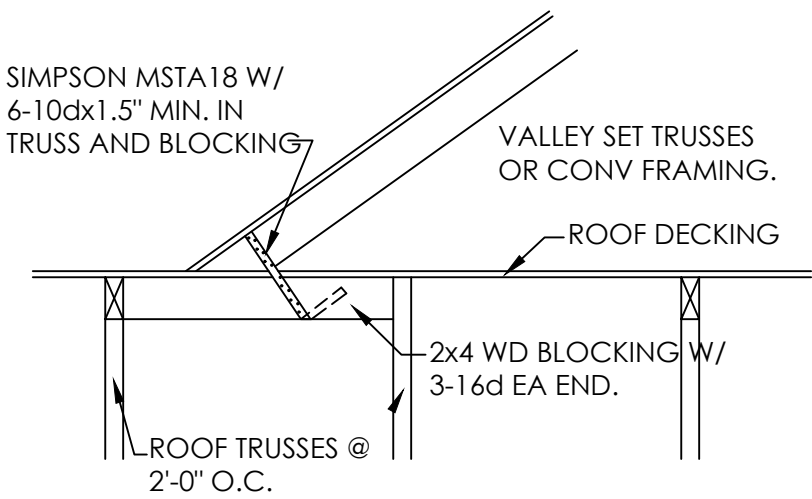
PROPOSED FOUNDATION PLAN



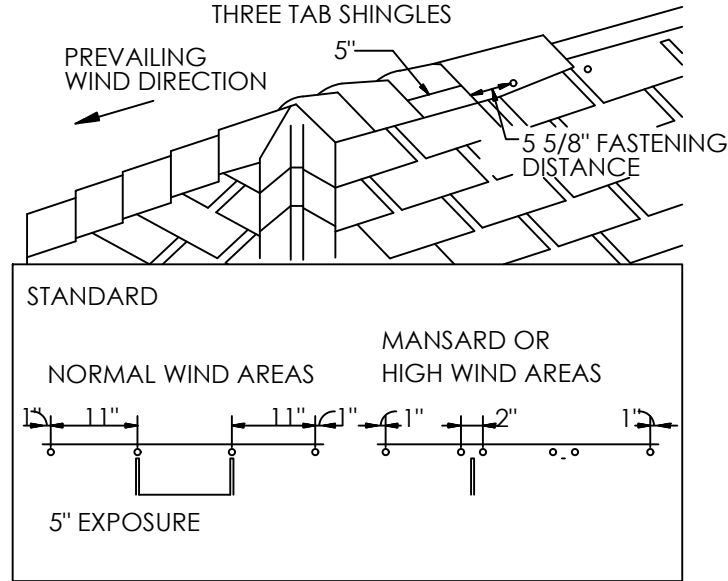
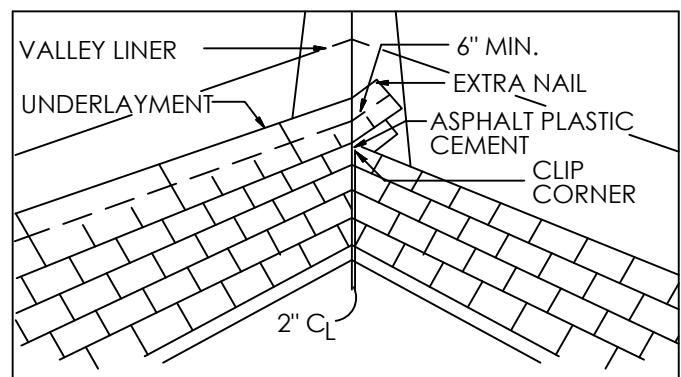
PROPOSED ROOF PLAN



VALLEY FLASHING DETAIL - N.T.S.



TYPICAL TIE-DOWN @ VALLEY DETAIL - N.T.S.



SHINGLE NAILING NOTES:

ALL NAILS MUST PENETRATE AT LEAST 3/4" INTO THE WOOD ROOF DECK.

NAIL SHINGLES WITH 11 OR 12 GAUGE GALVANIZED NAILS WITH 3/8" DIAMETER HEADS - 6 REQUIRED (AS SHOWN IN "HIGH WIND AREAS")

ROOF-TO-WALL FLASHING NOTES:

4" X 5" ANGLE FLASHING - 26 GAUGE GALVANIZED METAL, RUBBER VALLEY FLASHING OR 12" WIDE - 26 GAUGE GALVANIZED METAL WITH SHINGLES OVER THE TOP.

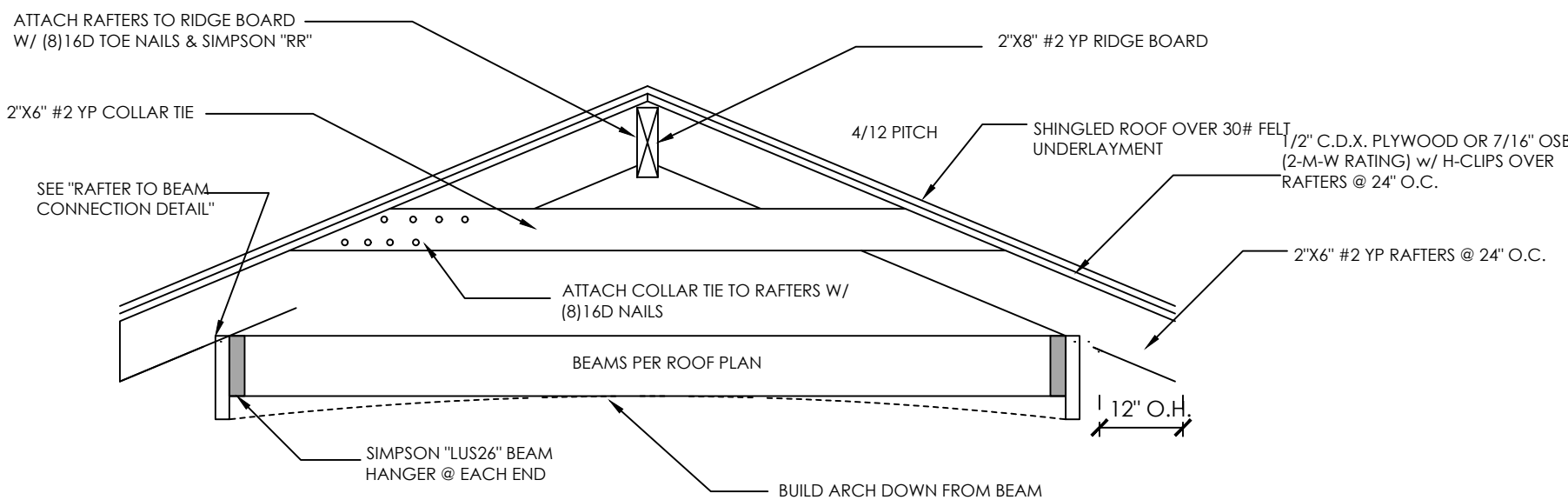
MATERIAL SPECIFICATIONS:

UNDERLAYMENT SHALL CONFORM TO ASTM D226, TYPE II OR ASTM 4869, TYPE III AND SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER. UNDERLAYMENT SHALL BE APPLIED SHINGLED FASHION, PARALLEL TO & STARTING FROM THE EAVE & LAPPED 2" (51MM), FASTENED W/ 1" (25MM) ROUND PLASTIC CAP, METAL CAP NAILS OR TIN-TABS ATTACHED TO A NAILABLE DECK W/ TWO STAGGERED ROWS IN THE FIELD OF THE SHEET W/ A MAXIMUM FASTENER SPACING OF 12" (305MM) O.C., AND ONE ROW AT THE OVERLAPS FASTENED 6" (152MM) O.C.

SYNTHETIC UNDERLAYMENT SHALL BE FASTENED IN ACCORDANCE W/ THIS SECTION & THE MANUFACTURER'S RECOMMENDATIONS.

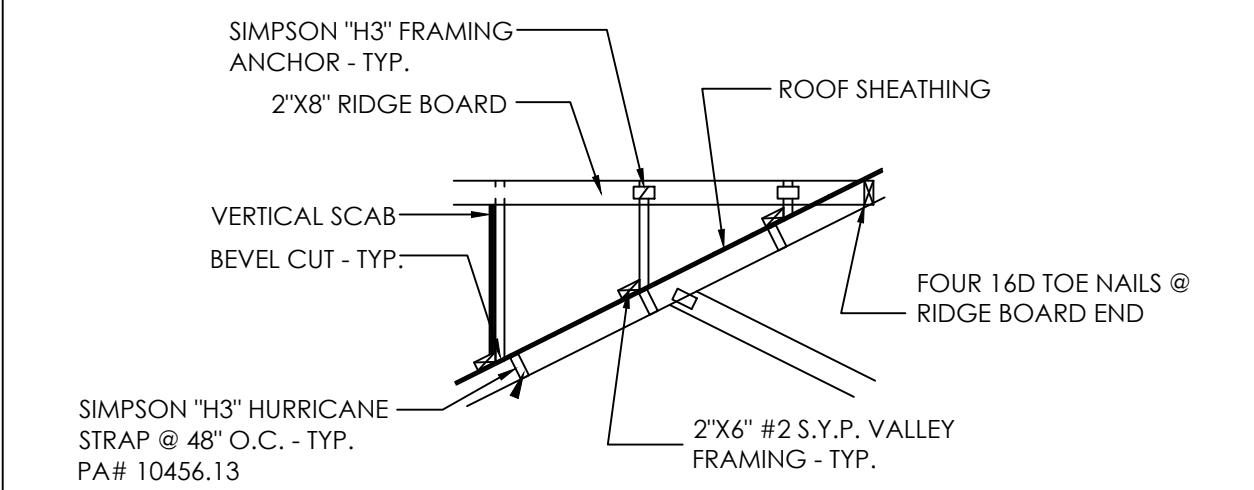
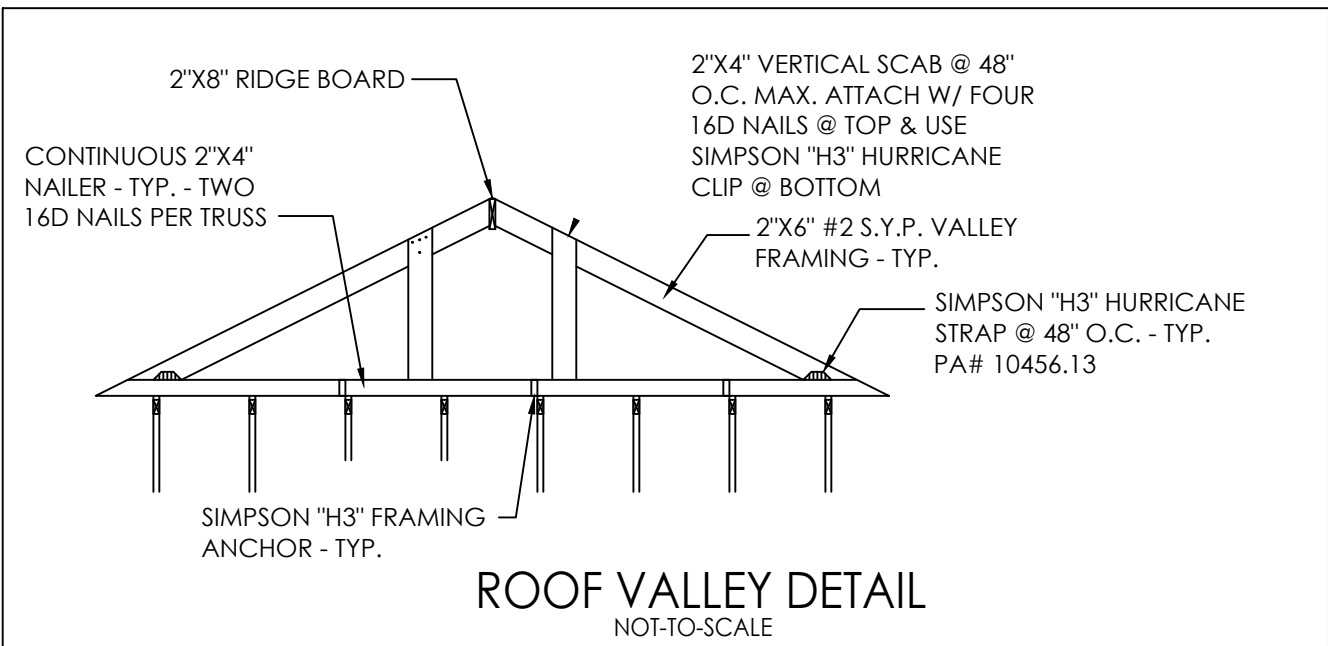
FLASHING FOR ASPHALT SHINGLES SHALL COMPLY WITH FBC R903.2.4 ASPHALT SHINGLES SHALL COMPLY TO ASTM D7158-CLASS G OR H, OR ASTM D3161-CLASS F, TABLE R905.2.6.1.

ROOF SHINGLE & FLASHING INSTALLATION SPEC'S
NOT TO SCALE

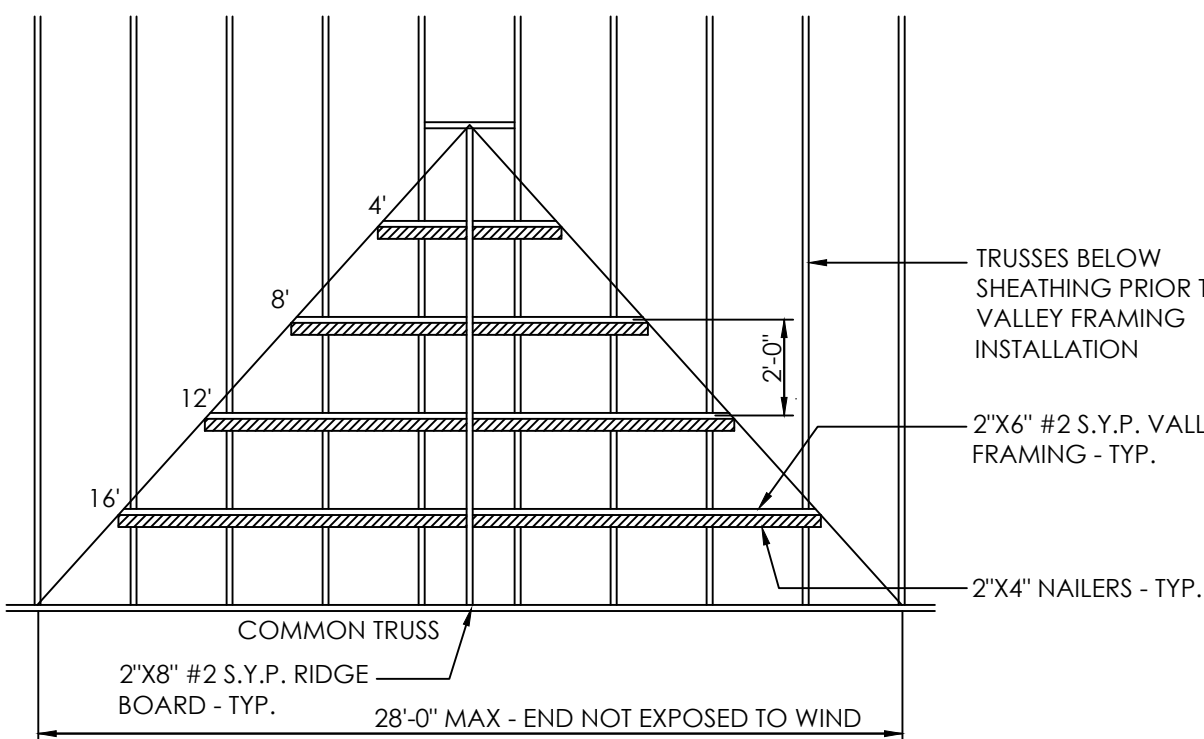


CONVENTIONAL FRAME ENTRY ROOF
SCALE: NTS

OVERFRAME DETAILS



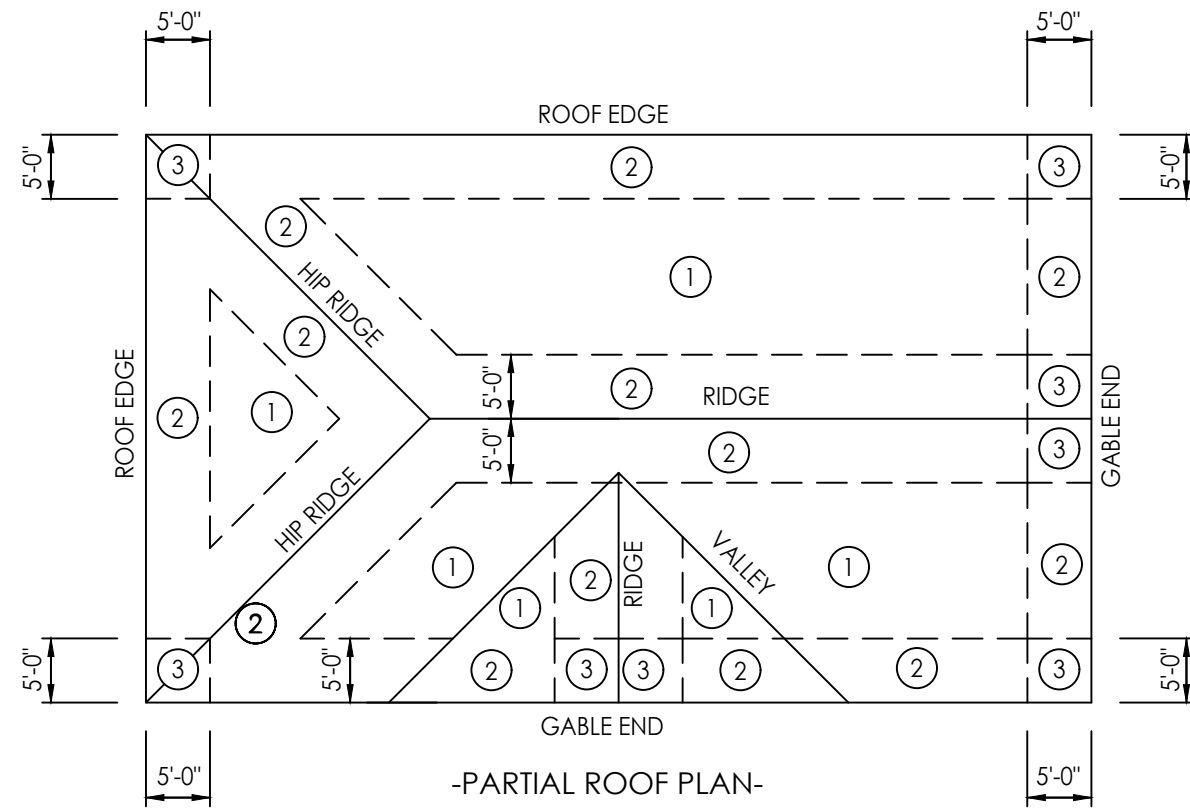
SECTION "A" - "A"



TRUSSES BELOW SHEATHING PRIOR TO VALLEY FRAMING INSTALLATION

2"X6" #2 S.Y.P. VALLEY FRAMING - TYP.

2"X4" NAILERS - TYP.

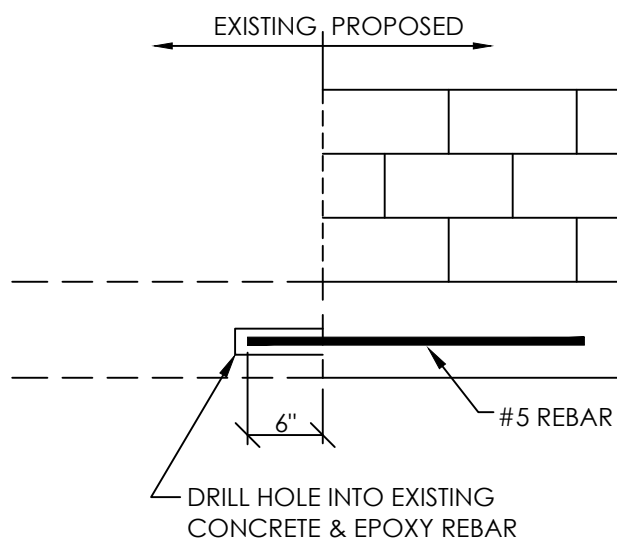


ZONE ① 8D RING SHANK NAILS @ 6" O.C. AT EDGES
8D RING SHANK NAILS @ 6" O.C. INTERMEDIATE

ZONES ② ③ 8D RING SHANK NAILS @ 6" O.C., 4" O.C. @ ROOF EDGES, RIDGE LINE, OR GABLE ENDWALL

ROOF SHEATHING SHALL BE FASTENED TO ROOF FRAMING IN ACCORDANCE WITH TABLE R803.2.3.1. WHERE THE SHEATHING THICKNESS IS 15/32 INCHES OR LESS, SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRS-1 (23/8" X 0.1131) NAILS. WHERE THE SHEATHING THICKNESS IS GREATER THAN 15/32 INCHES, SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRS-03 (21/2" X 0.1317) NAILS OR ASTM F1667 RSRS-04 (3" X 0.1207) NAILS. RSRS-01, RSRS-03 AND RSRS-04 ARE RING SHANK NAILS MEETING THE SPECIFICATIONS IN ASTM F1667.2. MUST COMPLY WITH TABLE R803.2.3.1 ROOF SHEATHING ATTACHMENT A, B AND TABLE R803.2.2 MINIMUM ROOF SHEATHING THICKNESS.

ROOF SHEATHING NAILING
SCALE: 1/4" = 1'-0"



FOUNDATION TIE-IN
SCALE: 3/4" = 1'-0"

OVERFRAME CHART

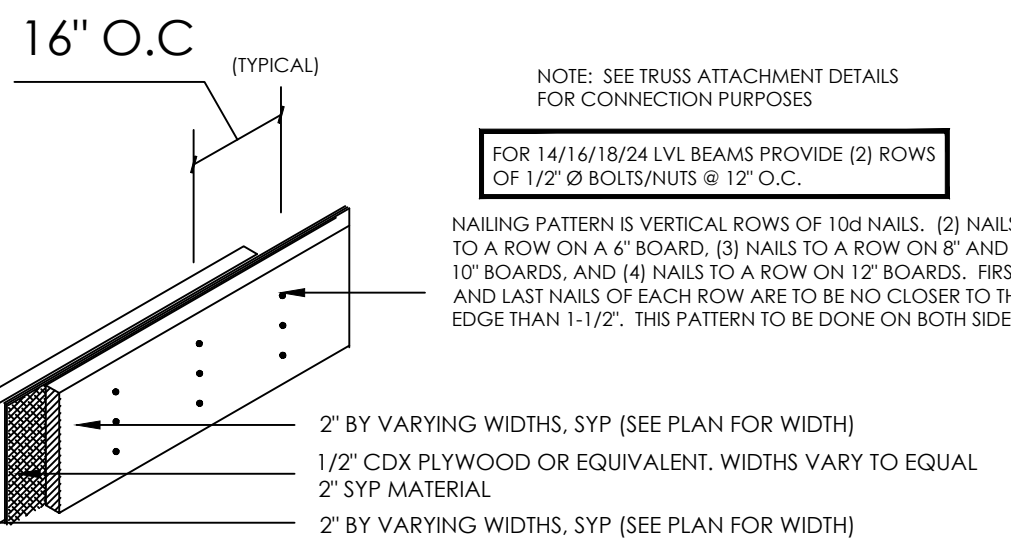
USE 2"X6" #2 S.Y.P. RAFTERS @ 24" O.C.
- FROM 12'-3" TO 15'-10"

USE 2"X8" #2 S.Y.P. RAFTERS @ 24" O.C.
- FROM 15'-11" TO 18'-10"

USE 2"X10" #2 S.Y.P. RAFTERS @ 24" O.C.
- FROM 18'-11" TO 22'-1"

USE 2"X12" #2 S.Y.P. RAFTERS @ 24" O.C.
- FROM 22'-2" TO 25'-0"

CONTRACTOR NOTES:
OVERFRAME W/ 2"X6" S.Y.P. BEAMS MIN.
- SEE CHART ABOVE FOR ADDITIONAL INFO.



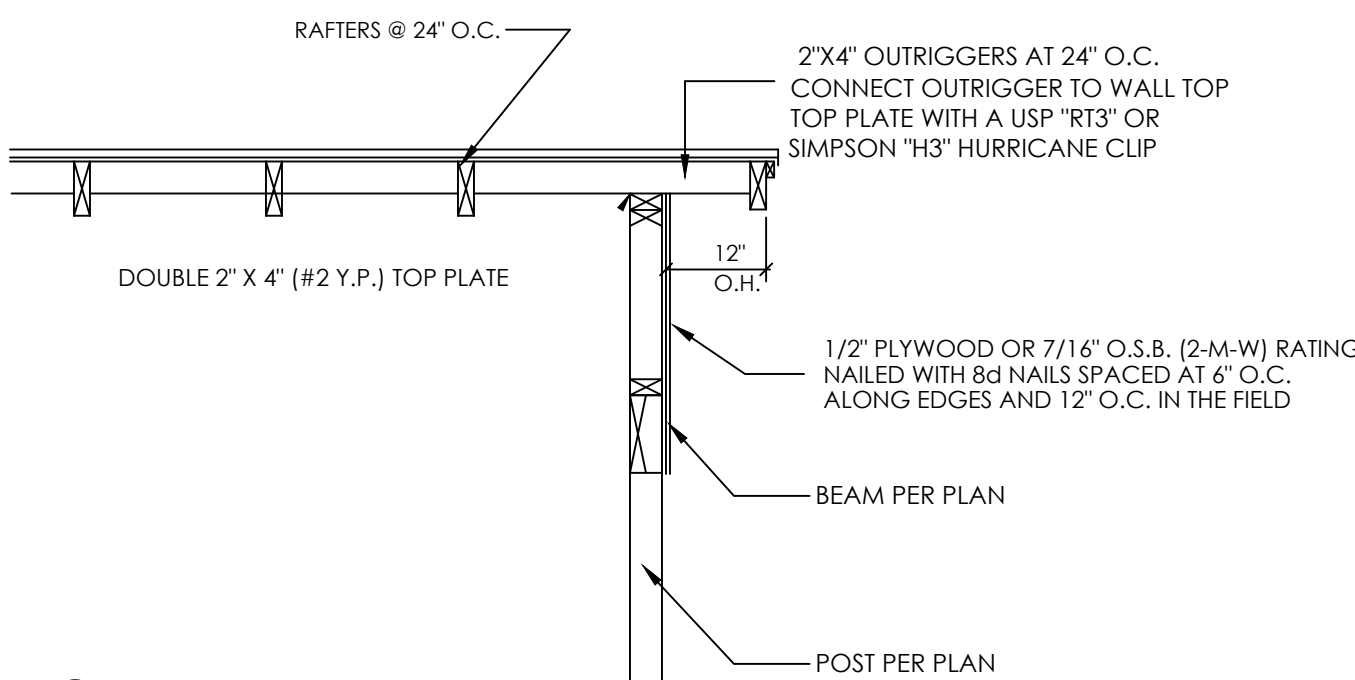
NOTE: SEE TRUSS ATTACHMENT DETAILS FOR CONNECTION PURPOSES

FOR 14/16/18/24 LVL BEAMS PROVIDE (2) ROWS OF 1/2" Ø BOLTS/NUTS @ 12" O.C.

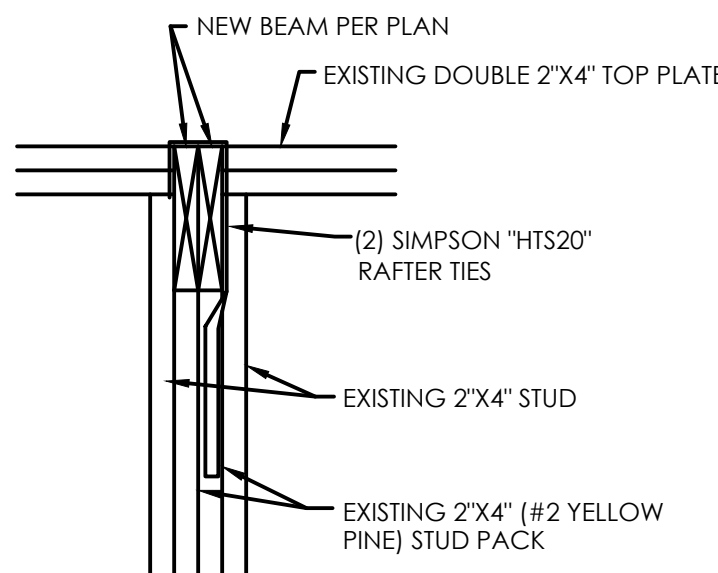
NAILING PATTERN IS VERTICAL ROWS OF 10d NAILS. (2) NAILS TO A ROW ON A 6" BOARD. (3) NAILS TO A ROW ON 8" AND 10" BOARDS. AND (4) NAILS TO A ROW ON 12" BOARDS. FIRST AND LAST NAILS OF EACH ROW ARE TO BE NO CLOSER TO THE EDGE THAN 1-1/2". THIS PATTERN TO BE DONE ON BOTH SIDES.

EACH 2 BY MEMBER MUST BE THE FULL LENGTH OF THE SPAN WITHOUT A SPLICE. THE PLYWOOD MAY BE SPLICED BUT ONLY IF THE SPAN EXCEEDS 8'.

DETAIL STRUCTURAL HEADERS AND BEAMS



GABLE END DETAIL
SCALE: NTS
(CATHEDRAL CLG.)



BEAM DETAIL
NOT TO SCALE



**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
March 23, 2023**

Project #	HPB23-049
Project Type	Major Rehabilitation
Property Address	506 W. Park Street
Historic District; FMSF#	Dixieland Historic District; N/A
Owner/Applicant	Merlin Properties of Central Florida LLC / Ms. Yelithza Paramo, Paramount Building Services of Florida
Zoning; Context District; Future Land Use; SPI	RA-4; Urban Neighborhood Residential Medium; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	Demolition, 8/26/2020 (HPB20-135)

REQUEST

The Applicant requests approval to undertake a major rehabilitation to the two-story house on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property is a platted lot in the Dixieland Historic District (Dixieland Subdivision, Block H, Lots 1 & 2), which consists of 0.33 acres and has access to an improved alley at the rear of the lot. On the property are two buildings: a one-story single-family residence built circa 1960; and a two-story, single-family residence built circa 1925. Both houses are built in the Frame Vernacular architectural style and are non-contributing buildings in the Historic District. This request involves the two-story house, which has a side gabled roof with triangular gable vents, a two-story shed roofed porch, and wood lap siding.

It is believed that the subject building was an accessory structure historically, but from a land use standpoint, this building is legally non-conforming as a single-family residence. As the structure was viewed as an accessory structure, staff was able to review and approve demolition of this building, which approval occurred in August 2020. The Applicant decided to rehabilitate the structure instead of demolishing it, and therefore, the interior of the structure has been gutted in preparation for rehabilitation work, and all windows and doors have been removed.

As the subject building has not been occupied or maintained for quite some time, the Applicant requests to undertake a major rehabilitation and update all mechanical systems. Exterior work subject to design review includes the repair of the foundation and frame structure; installation of new siding, trim, casing, and corner boards; installation of new windows and doors; installation of new porch/balcony columns; and installation of new roofing, fascia, and soffit. Materials proposed for this request include:

Scope	Material
Foundation	Concrete footers
Exterior Cladding	Hardie board lap siding
Trim/Casing	Hardie trim and casing
Windows	Vinyl single-hung sash windows
Doors	Wood-edge steel door with an upper lite

Roof	Asphalt shingles
Fascia/Soffit	Hardie fascia and vented soffit
Porch/Balcony	Pressure treated wood columns

The footprint of the house will remain the same as existing, which is legally nonconforming in respect to building setbacks. A new concrete slab is proposed to be constructed along the east elevation of the house, and a 20 feet wide parking area off of the alley, with a sidewalk connecting this feature to the front elevation of the house, is also proposed.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this request:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 6: Exterior Architectural Features: Alteration and Maintenance.

- Architectural details should be compatible with the architectural style of the building's original design.
- Protect existing architectural details, and retain distinctive features including roofs and porches that give the building its distinguishing character.
- Retain the basic plan of the building.
- Repair or replace deteriorated material with new material that duplicates the old as nearly as possible. If the original detail cannot be maintained or replaced in its original form, it should be modified without disturbing the character of the structure.
- Align common elements, such as windows, doors, canopies, etc.

Sub-Chapter 6.1 Roofs and Eaves

- Retention of original roof slope(s) and roof form.
- Retention of roof features that contribute to the architectural character of the house.
- Replacement roof materials that are compatible with the design of the host structure.
- Retention of original chimneys.

Sub-Chapter 6.2 Porches

- Porch columns, railings and trim details should match the original architectural style of the house.
- Deteriorated features of the porch should be duplicated in shape and character as close to the original as possible.
- Enclosing porches may be permissible if approved by the Historic Preservation Board. The original appearance of the porch should be retained.

Sub-Chapter 6.3: Front Doors and Entrances

- Doors and entrances that are preserved and maintained as original features that contribute to the architectural character of the structure.
- Doors and entrances that are compatible with the style of the house.
- Door openings that keep the same proportions as originally built and not enlarged to accommodate different size doors.
- Door head heights that are consistent with window heights throughout the structure.
- Entryways and doors that retain as many of their trim features as possible.
- Replacement doors, storm doors and screen doors that are appropriate to the style of the host structure

Sub-Chapter 6.4: Windows and Shutters

- Preserve original windows. Original windows should be repaired and restored, rather than replaced.
- Use clear replacement glass to repair broken panes. Do not use tinted, reflective, opaque or other non-traditional glass types.
- Existing window trim, casing, and other decorative details contributing to the building's character should be preserved and retained.
- Any replacement of trim, casing, or other decorative details surrounding the window must use the same or similar material of the same design, profile, and dimension.
- Window openings should be kept in the same proportion as originally provided.

Sub-Chapter 6.5: Siding and Exterior Wall Cladding

- Exterior siding should be similar in style to the original.
- If siding is replaced, all trim board dimensions and joinery details should be maintained and kept visible.
- Use the same species of wood where possible.
- Vinyl or aluminum siding as replacement exterior cladding is not acceptable.
- Fiber Cement board siding similar in scale, proportion, texture and finish to wood as an alternative replacement exterior cladding is acceptable.

ANALYSIS:

In evaluating the request with the Standards and Design Guidelines, the following findings have been made by staff:

1. The repair work proposed for the foundation and structure with in-kind materials is appropriate and consistent with the Standards and Design Guidelines.
2. The replacement siding, trim, casing, roofing, fascia, and soffit with Hardie materials are acceptable according to the Design Guidelines. Staff recommends that the existing triangular gable vents that have 90-degree latticework be replicated in the gables of the east and west elevations.
3. Given that all existing doors and windows have been removed, the proposed replacement windows and doors are consistent in material and type with respect to the Standards and Design Guidelines, as well as the Frame Vernacular architectural style of the subject building.
4. The design and materials of the porch and balcony are consistent with the Design Guidelines and Frame Vernacular architectural style.
5. The location of a paved, 20 feet wide parking area at the rear of the property with access from the existing alley is appropriate and consistent with the Design Guidelines.

STAFF RECOMMENDATION:

Approval of the request with the following conditions, to be reviewed and approved at staff level prior to permitting:

1. Replicate the design of the original triangular gable vents, including 90-degree latticework, in the gables of the east and west elevations.
2. Windows shall be recessed to provide a shadow line and not installed flush to the exterior wall surface; windows also must include historically appropriate trim, including header, sill, and apron.
3. Hardie lap siding shall have an exposure of 6 inches or less.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board











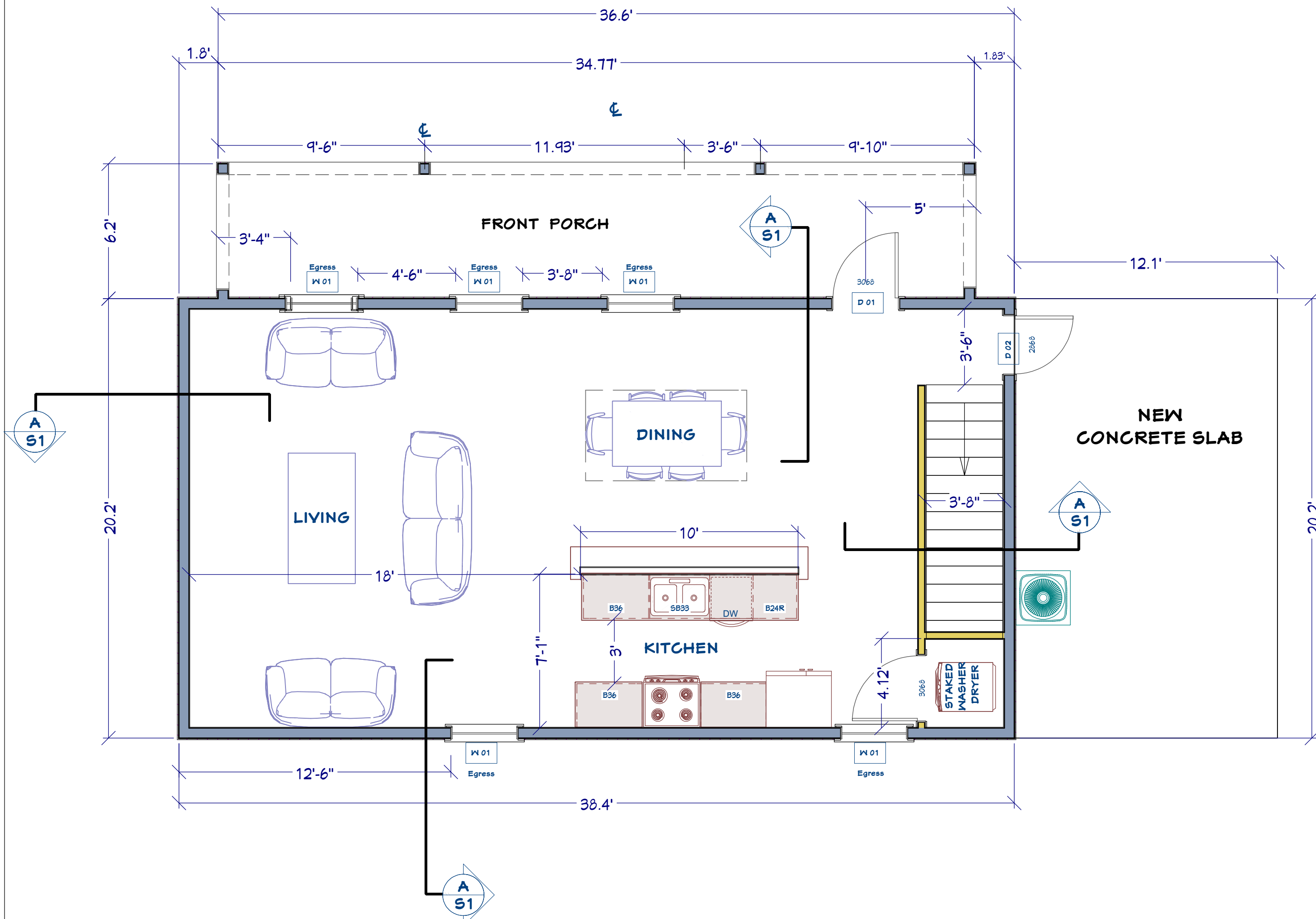




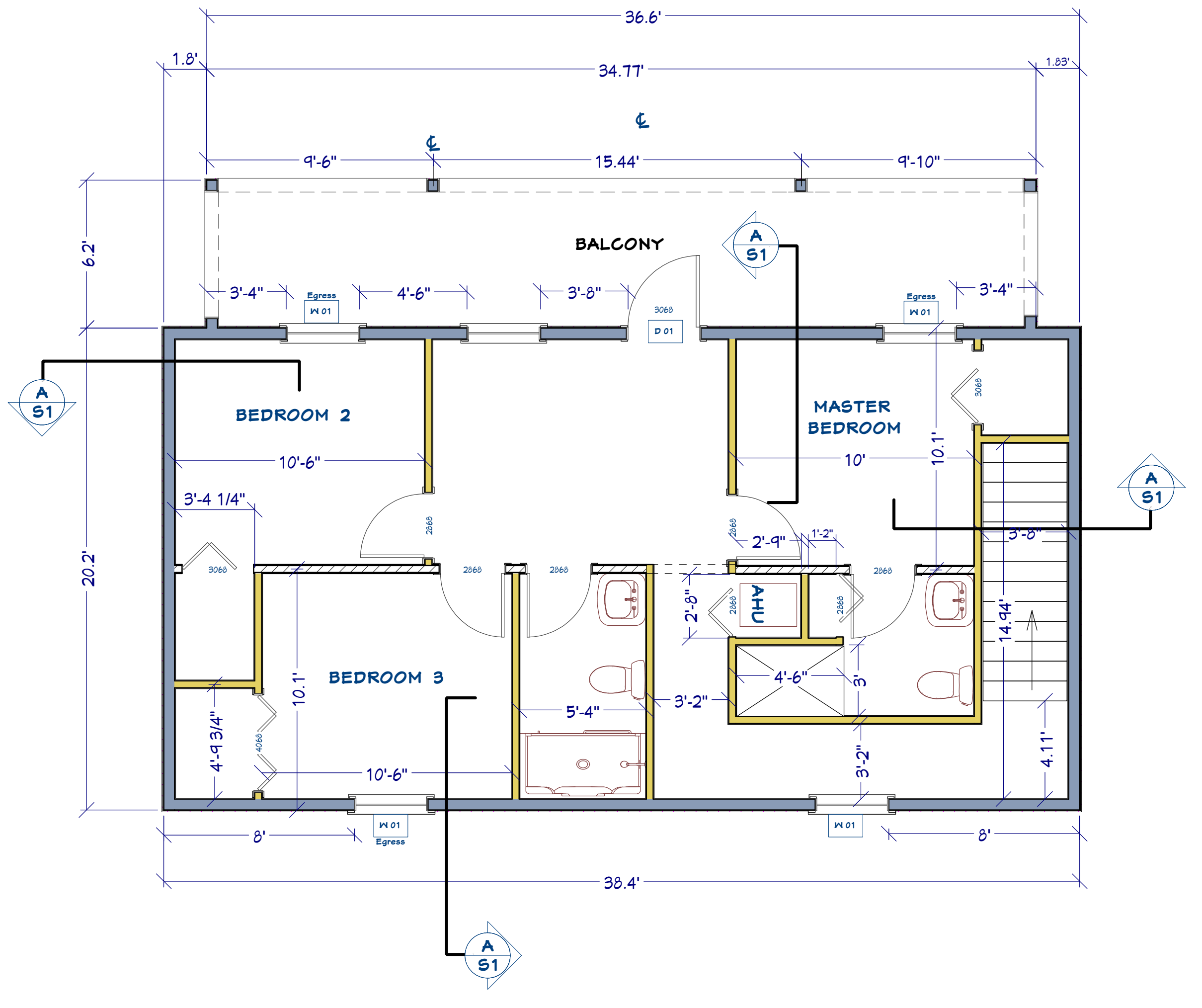
DESIGN PARAMETERS				
APPLICABLE CODES BUILDING CODES :		BUILDING CONSTRUCTION TYPE		
FLORIDA BUILDING CODES 2020 T EDITION (BUILDING)		TYPE I-A	TYPE I-B	TYPE IV
FLORIDA BUILDING CODES 2020 T EDITION (RESIDENTIAL)		TYPE II-B	TYPE III-A	TYPE V-A
MECHANICAL CODE: FLORIDA BUILDING CODE MECHANICAL 2020 (T EDITION)		TYPE II-A	TYPE II-B	TYPE V-B ■
PLUMBING CODE: FLORIDA BUILDING CODE PLUMBING 2020 (T EDITION)				
ENERGY CONSERVATION CODE: FLORIDA BUILDING CODE 2020 (T EDITION)				
ELECTRICAL CODE: NEC 2017				
METHOD OF DESIGN:				
DESIGNED PURSUANT TO FLORIDA BUILDING CODE CHAPTER 6 AND OCCUPANCY CLASSIFICATION				
BASIC WIND SPEED:				
137 MPH (Vult) 106 MPH (Vead) ■				
Vead = Vult $\times 0.6 = 137 \times 0.6 = 106.1$ ■■■→ 106				
IMPORTANCE FACTOR				
1.00 (BUILDING CATEGORY II) ■				
BUILDING OCCUPANCY CLASSIFICATION.				
GROUP R - RESIDENTIAL ■				
		EXPOSURE CATEGORY.		
		A ■	C ■	
		B ■	D ■	
VIND BORNE DEBRIS REGION.				
		■ NO		
		■ YES		
			IMPACT RESISTANT GLASS	
			IMPACT RESISTANT SHUTTERS	
			IMPACT RESISTANT STORM PANELS	
			IMPACT RESISTANT COMBINATION OF GLASS & SHUTTERS	
		■ N/A		
INTERNAL PRESSURE COEFFICIENTS.				
		0.00 (OPEN)		
		+0.15, -0.18 (ENCLOSED)		
		■ +0.15, -0.55 (PARTIALLY ENCLOSED)		

LEGAL DESCRIPTION:
DIXIELAND PB 1 PG 67 BLK H LOTS 1 & 2

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FIRST FLOOR PLAN



SECOND FLOOR PLAN

WINDOWS SCHEDULE			
W 01	37" X 63"	SINGLE HUNG *E	
NOMINAL PRESSURE		+50 -50	
W 02	37" X 50 5/8"	SINGLE HUNG	
NOMINAL PRESSURE		+50 -50	
W 03	52" X 63"	SINGLE HUNG	
NOMINAL PRESSURE		+50 -50	
W 04	53 1/8" X 38 3/8"	SINGLE HUNG	
NOMINAL PRESSURE		+50 -50	
W 05	37" X 65"	PASS THROUGH OPENING	
W 06	37" X 38 3/8"	SINGLE HUNG	
NOMINAL PRESSURE		+50 -50	
W 07	27" X 39"	SINGLE HUNG(OPAQUE)	
NOMINAL PRESSURE		+50 -50	
W 08	43" X 39"	SINGLE HUNG(OPAQUE)	
NOMINAL PRESSURE		+50 -50	

DOOR SCHEDULE			
D 01	3' 0" X 6' 8" EXT. HINGED DOOR *E		
NOMINAL PRESSURE		+40 -40	
D 02	2' 8" X 6' 8" EXT. HINGED DOOR *E		
D 03	2' 6" X 6' 8" INT. HINGED DOOR		
D 04	3' 0" X 6' 8" INT. HINGED DOOR		
D 05	2' 6" X 6' 8" INT. PKD DOOR		
D 06	2' 6" X 6' 8" BI FOLD DOOR		
D 07	3' 0" X 8' 0" EXT. HINGED DOOR *E		
NOMINAL PRESSURE		+40 -40	
D 08	12' 0" X 6' 8" SLIDING DOOR *E		
NOMINAL PRESSURE		+80 -80	
D 09	16' 0" X 8' 0" GARAGE DOOR		
NOMINAL PRESSURE		+30 -30	
D 10	1' 0" X 8' 0" DOOR SIDELIGHT		
NOMINAL PRESSURE		+40 -40	

DRAWINGS PROVIDED BY:

Paramount Structural Services Inc
1421 Commercial Park Dr # 1
Lakeland FL 33801
email:
paramountstructuralservices@gmail.com
Ph : 863 226 2828

WILLIAM H "ROB" ROBERTS P.E. (#42712)
PRESIDENT/DIRECTOR OF ENGINEERING
EGI-ENGINEERING GREAT IDEAS, INC.
FBPE BUSINESS CERTIFICATE OF AUTHORIZATION # 29048
1003 SOUTH ALEXANDER ST, SUITE # 5
PLANT CITY, FLORIDA 33563
OFFICE Ph : (813) 752-7070 ext 222
Email: robroberts.egi@gmail.com

I HEREBY CERTIFY THAT THESE STRUCTURAL CONSTRUCTION PLANS ARE IN COMPLIANCE WITH THE 1 EDITION 2020 FBC, BUILDING CODE CHAPTER 16, SECTION 1601 FOR ON ULTIMATE DESIGN (3 SECOND SUSTAINING WIND SPEED OF 135 MPH AS WELL AS THE 1 EDITION, 2020 FBC, RESIDENTIAL CODE

PLAN FOR:

MERLIN PROPERTIES
502 PARK ST W
LAKELAND FL 33803
BUILDING # 1

Due to the inherent nature of renovating existing building the draftsman/designer cannot determine exact dimensions without removing or demolishing existing structure and/or surfaces. Therefore; it is the sole responsibility of the contractor to verify all conditions and dimensions prior to construction, and fabrication of all components

- NOTES:
- A) PLANS NOT REVIEWED FOR ELECTRICAL
- B) ELECTRICAL RECEPTACLES AND SWITCHES TO BE INSTALLED PER 2017 NEC (EXACT LAYOUT TO BE DETERMINED BY OWNER)
- C) ALL OUTLETS REQUIRE ARC-FAULT CIRCUIT-INTERCEPT PROTECTION (AFCI) PER ELECTRICAL CODE 210.2 & 210.8
- D) ALL 125 VOLT, 15 & 20 AMPERE RECEPTACLES INSTALLED IN AREAS SPECIFIED BY 210.52 SHALL BE LISTED TAMPER-RESISTANT TYPE PER ELECTRICAL CODE 406.11
- E) ALL WOOD IN CONTACT WITH GROUND MUST BE PRESSURE TREATED (OR SEPARATED WITH 40# FELT OR 22ga SHEET METAL)

APPLICABLE CODES
BUILDING CODES:
FLORIDA BUILDING CODES 2020 1 EDITION (BUILDING)
FLORIDA BUILDING CODES 2020 1 EDITION (RESIDENTIAL)
FLORIDA BUILDING CODE MECHANICAL 2020 (1 EDITION)
FLORIDA BUILDING CODE PLUMBING 2020 (1 EDITION)
ENERGY CONSERVATION CODE FBC 2020 (1 EDITION)
ELECTRICAL CODE: NEC 2017

FLOOR PLAN

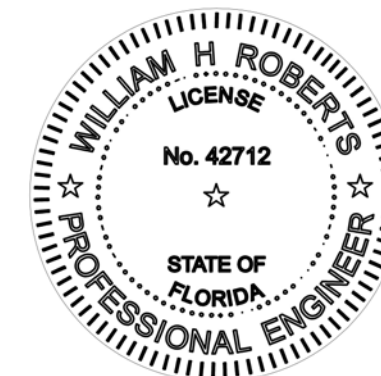
DRAWING No. 22-10033
DATE: JAN 2023

SCALE:
1/4" = 1'

SHEET:
2

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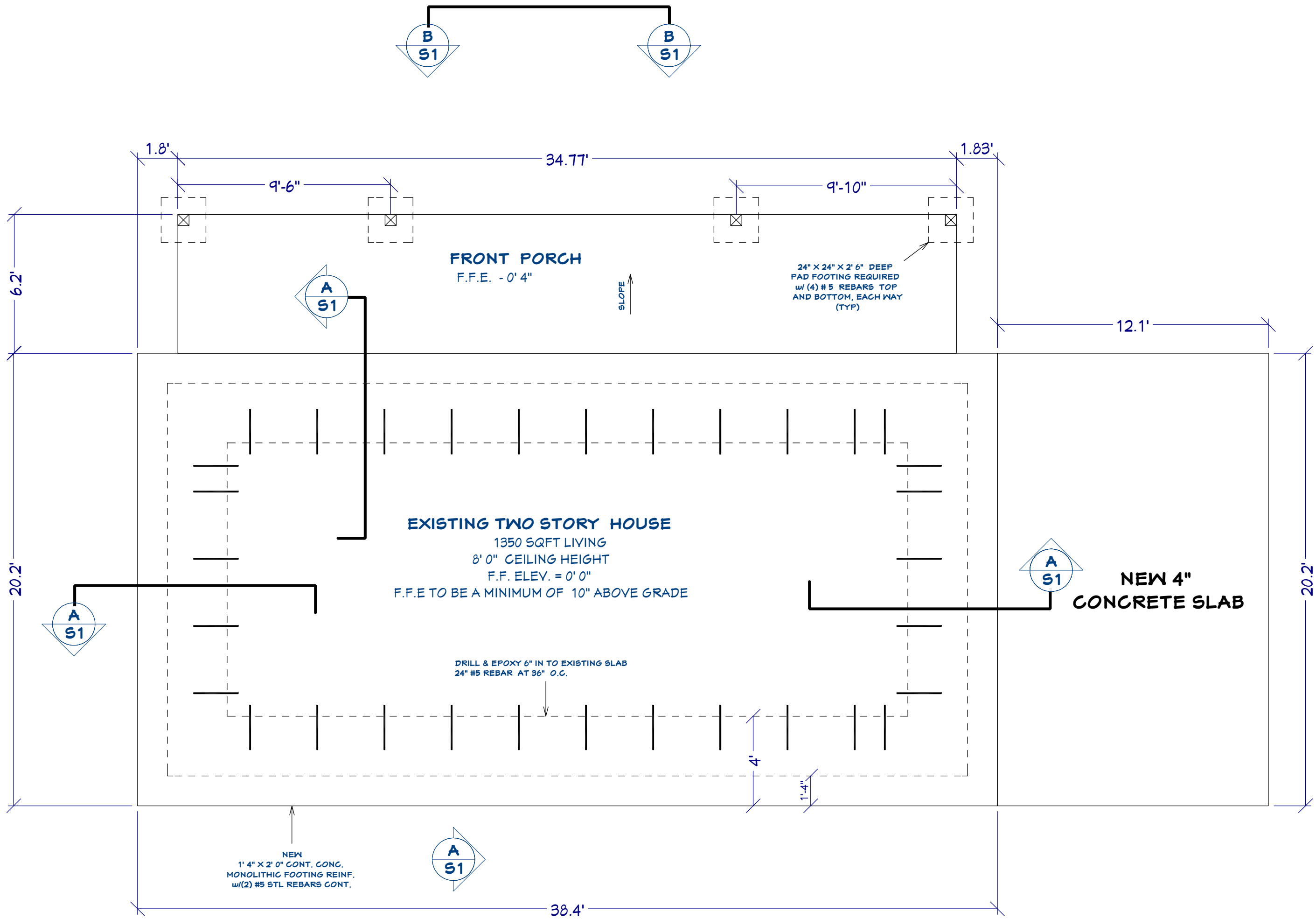
2020 Florida Building Code - Residential, 7 Edition
CHAPTER 4 FOUNDATIONS

CLASS OF MATERIAL	LOAD-BEARING PRESSURE(pounds per square foot)
Crystalline bedrock	12,000
Sedimentary and foliated rock	4,000
Sandy gravel and/or gravel (GW and GP)	3,000
Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC)	2,000
Clay, sandy, silty clay, clayey silt, silt and sandy siltclay (CL, ML, MH and CH)	1,500 ^b

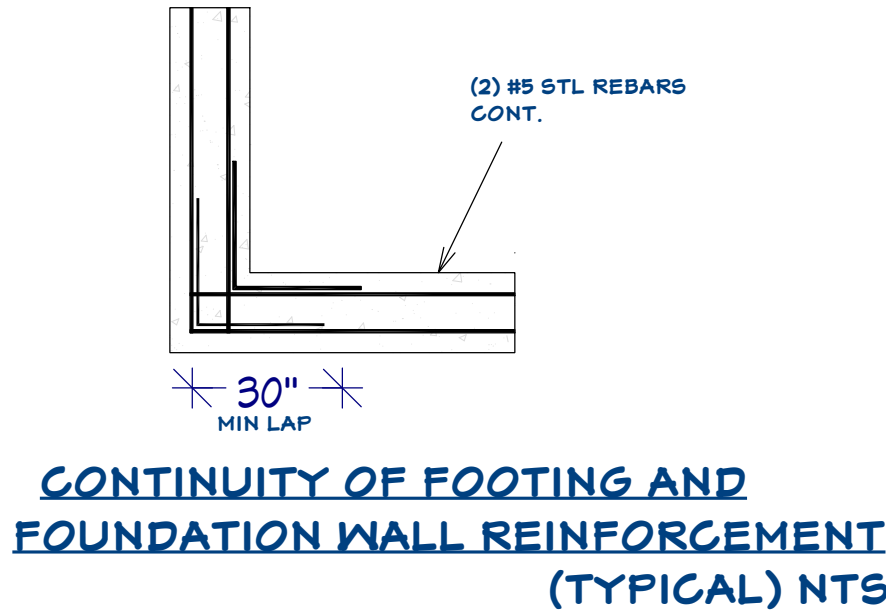
For SI: 1 pound per square foot = 0.0479 kPa.
1 a.Where soil tests are required by Section R401.4, the allowable bearing capacities of the soil shall be part of the recommendations.
2 b.Where the building official determines that in-place soils with an allowable bearing capacity of less than 1,500 psf are likely to be present at the site, the allowable bearing capacity shall be determined by a soils investigation.

(TYP) FOUNDATION NOTES

- A. 4" THICK REINF. CONCRETE SLAB w/ 6"X6"X#10 W.W.W. OR FIBERMESH O / 6 MIL VISQUEEN VAPOR BARRIER OVER CLEAN COMPACTED TREATED EARTH FILL.
- B. CONTRACTOR TO ENSURE THAT THE EXISTING SITE CONDITIONS ARE SUITABLE TO ERECT THIS BUILDING BASED ON 2000 lbs PER SQUARE FOOT SOIL BEARING PRESSURE.
- C. CONCRETE SLAB TO ACHIEVE MINIMUM COMPRESSION STRENGTH OF 3000 P.S.I. WITHIN 28 DAYS AFTER POUR.
- D. SOIL UNDER SLAB TO BE POISONED AND TAMPED TO MEET ALL COMPACTION REQUIREMENTS
- E. FOOTINGS PE-DETERMINED ACCORDING TO SIZE OF STRUCTURE (SEE FOOTING DETAILS)

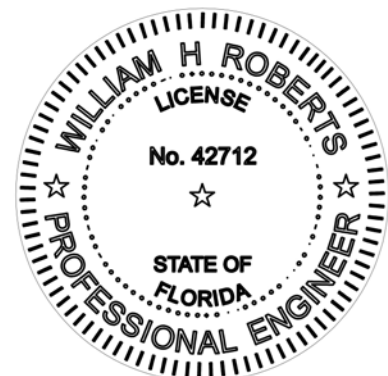


FOUNDATION PLAN



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DRAWINGS PROVIDED BY:

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P.E. (#42712)

PRESIDENT/DIRECTOR OF ENGINEERING
EGI-ENGINEERING GREAT IDEAS, INC.
FBPE BUSINESS CERTIFICATE OF AUTHORIZATION # 29048
1009 SOUTH ALEXANDER ST, SUITE # 5
PLANT CITY, FLORIDA 33563
OFFICE Ph : (813) 752-7070 ext 222
Email: robroberts.egi@gmail.com

I HEREBY CERTIFY THAT THESE STRUCTURAL CONSTRUCTION PLANS ARE IN COMPLIANCE WITH THE 1 EDITION 2020 FBC, BUILDING CODE CHAPTER 16, SECTION 1601 FOR ON ULTIMATE DESIGN (3 SECOND SUSTAINING WIND SPEED OF 135 MPH AS WELL AS THE 1 EDITION, 2020 FBC, RESIDENTIAL CODE

PLAN FOR:

MERLIN PROPERTIES
502 PARK ST W
LAKELAND FL 33803
BUILDING # 1

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APPLICABLE CODES
BUILDING CODES
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FLORIDA BUILDING CODE MECHANICAL 2020 (1 EDITION)
FLORIDA BUILDING CODE PLUMBING 2020 (1 EDITION)
ENERGY CONSERVATION CODE FBC 2020 (1 EDITION)
ELECTRICAL CODE: NEC 2017

FOUNDATION PLAN

DRAWING No.

22-10033

DATE:

JAN 2023

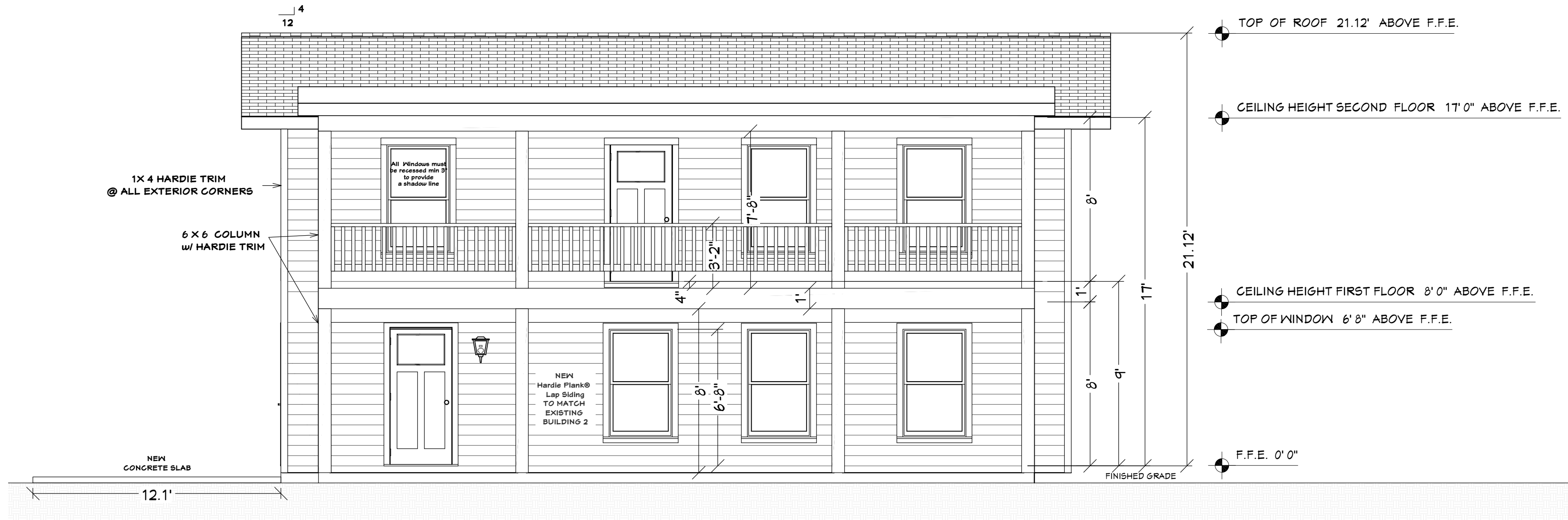
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1/4" = 1'

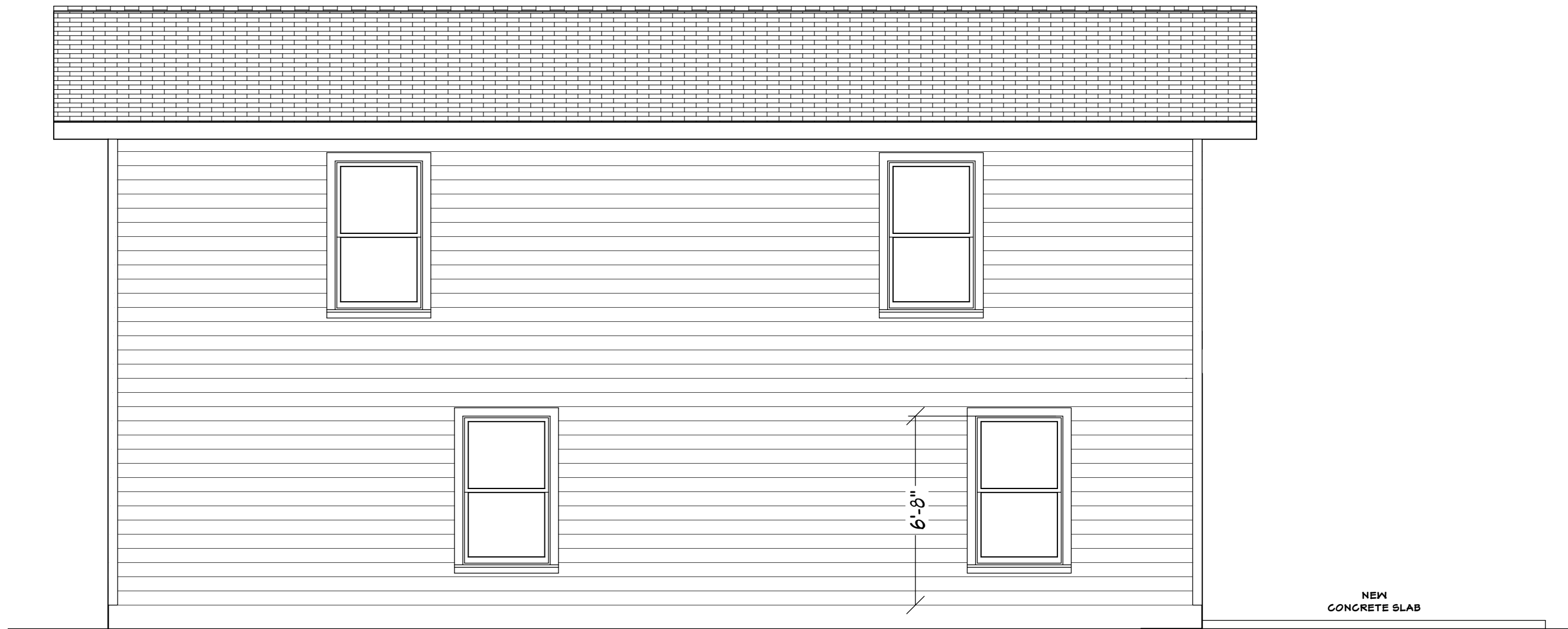
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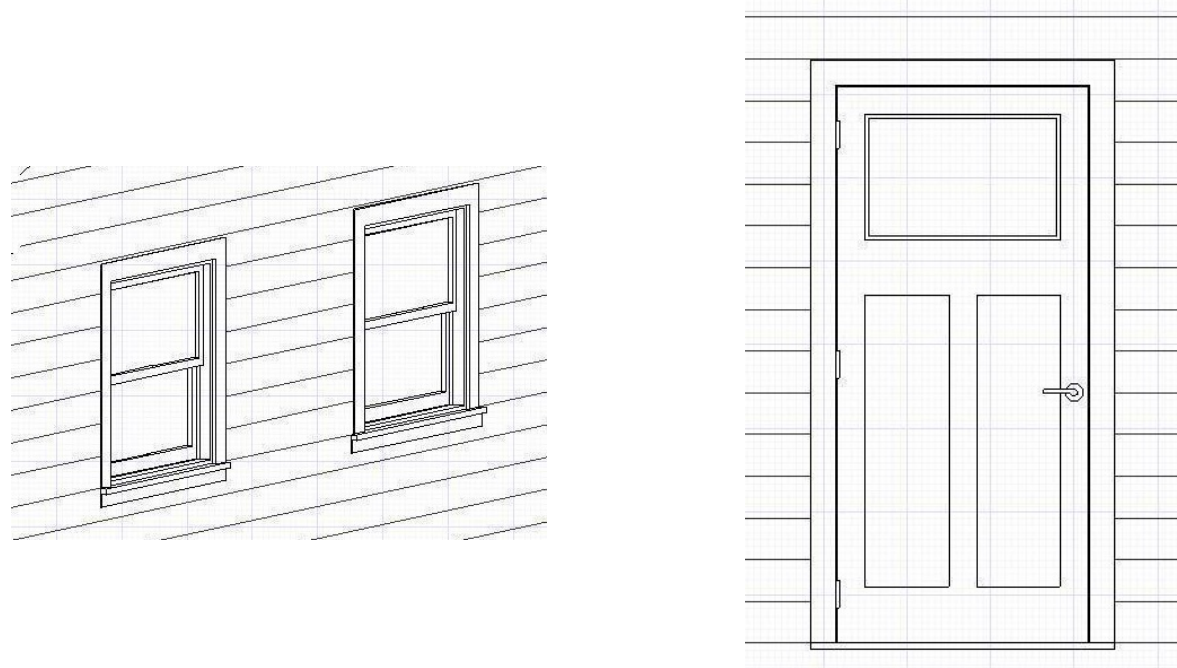
FRONT ELEVATION



REAR ELEVATION

COLORS TO MATCH EXISTING BUILDING 2

EXTERIOR WALL MOTH GRAY
EXTERIOR TRIM WHITE ROCK
EXTERIOR DOOR BLACK SPRUCE



WINDOW & DOOR
HISTORIC
DETAIL



LEFT ELEVATION



RIGHT ELEVATION

DRAWINGS PROVIDED BY:
Paramount Structural Services Inc
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Lakeland FL 33801
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Ph : 863 226 2828

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ENERGY CONSERVATION CODE FBC 2020 (1 EDITION)
ELECTRICAL CODE: NEC 2017

ELEVATIONS
VIEWS

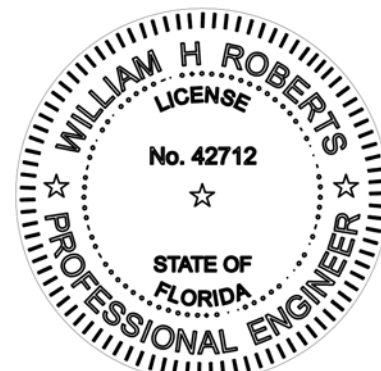
DRAWING No. 22-10033
DATE: JAN 2023

SCALE:
1/4" = 1'

SHEET:
4

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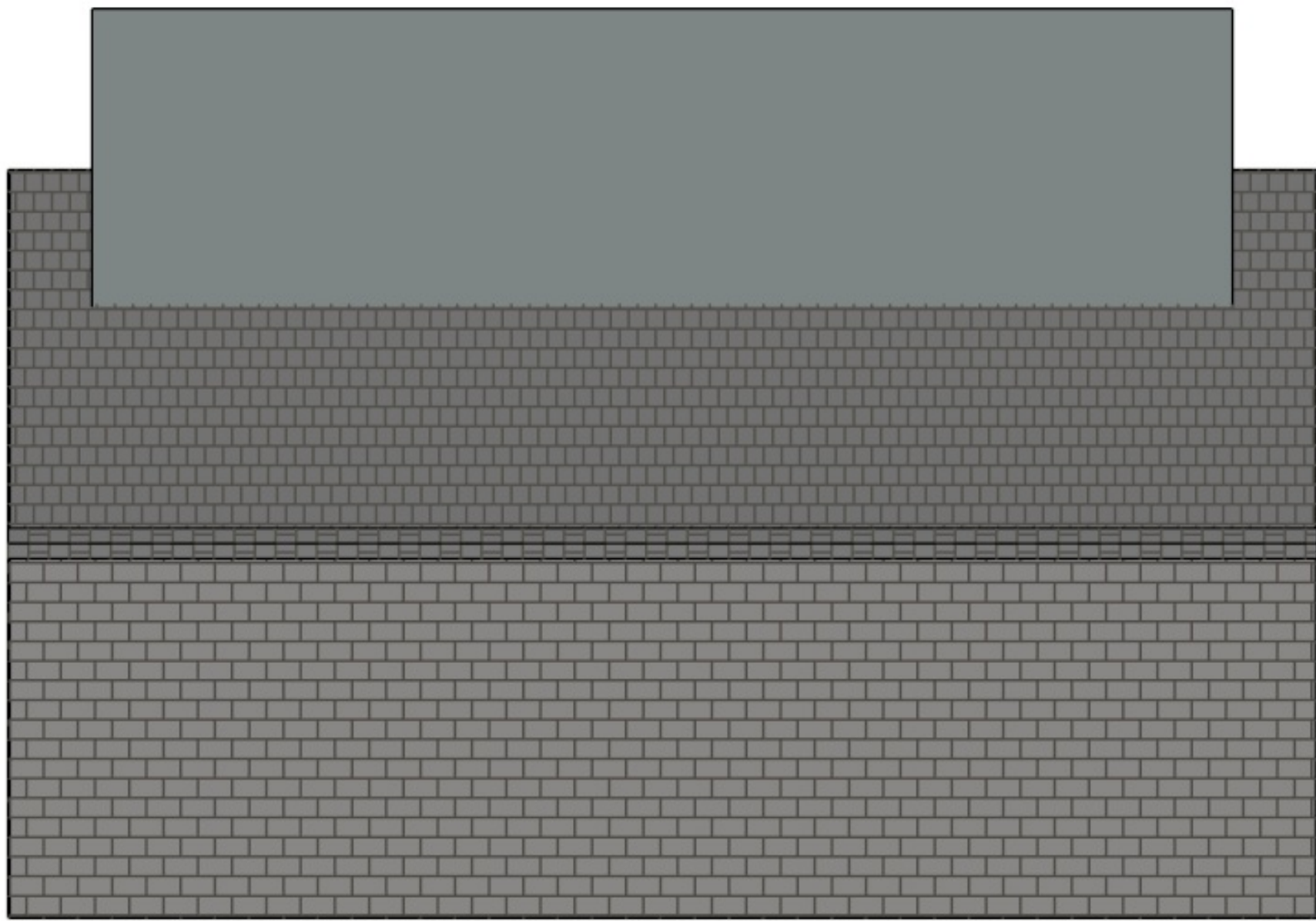
2020 Florida Building Code, Residential, 7th Edition
CHAPTER 3 BUILDING PLANNING

R311.7.5.1Risers.

The riser height shall be not more than 73/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above at an angle not more than 30 degrees (0.51 rad) from the vertical. Open risers are permitted provided that the openings located more than 30 inches (762 mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch-diameter (102 mm) sphere.

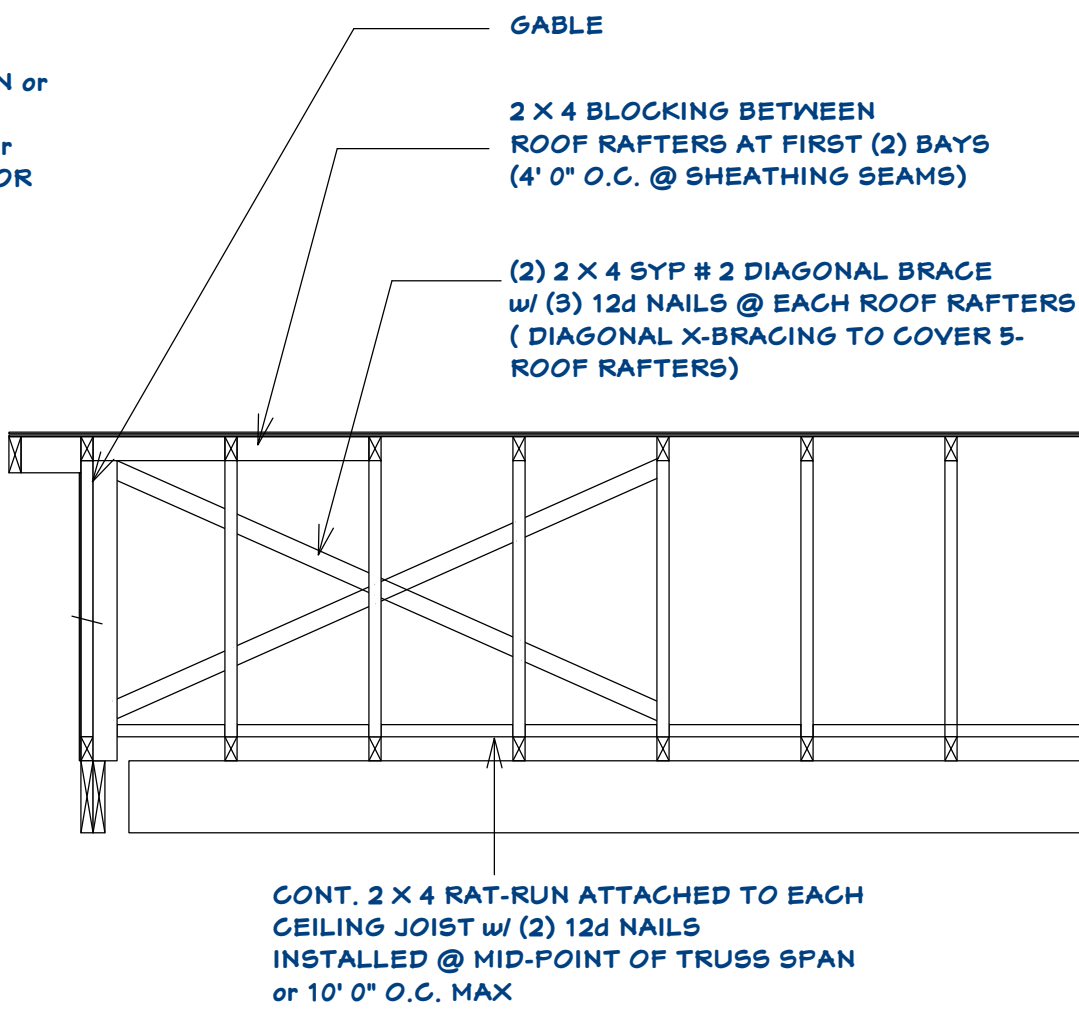
R311.7.5.2Treads.

The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).



ROOF PLAN
SCALE NTS

NOTE:
* DIAGONAL BRACE @ CENTER OF TRUSS SPAN or HIGHEST RIDGE.
* DIAGONAL BRACE TO BE @ ANY SPAN 15' 0" or GREATER (REFER TO TRUSS ENGINEERING FOR ADDITIONAL HORIZONTAL TRUSS REINFORCEMENT)
* 0' 0" - 30' 0" USE (1) X-BRACE
* 30' 1" - 60' 0" USE (3) X-BRACE
** (1) X-BRACE @ CENTER & (2) BRACES DIVIDED EQUALLY FROM CENTER TO END

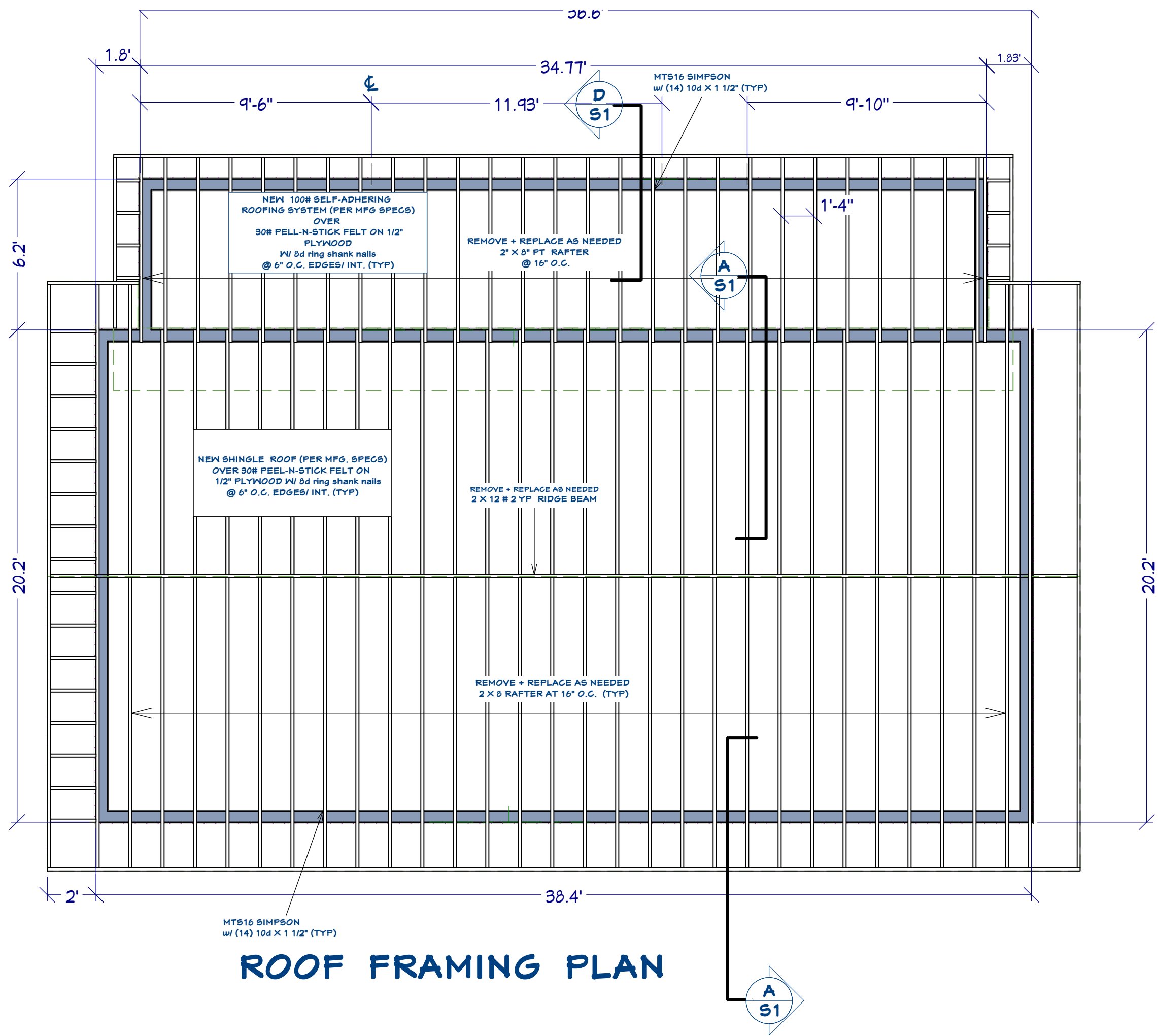


(TYPICAL) GABLE X-BRACING

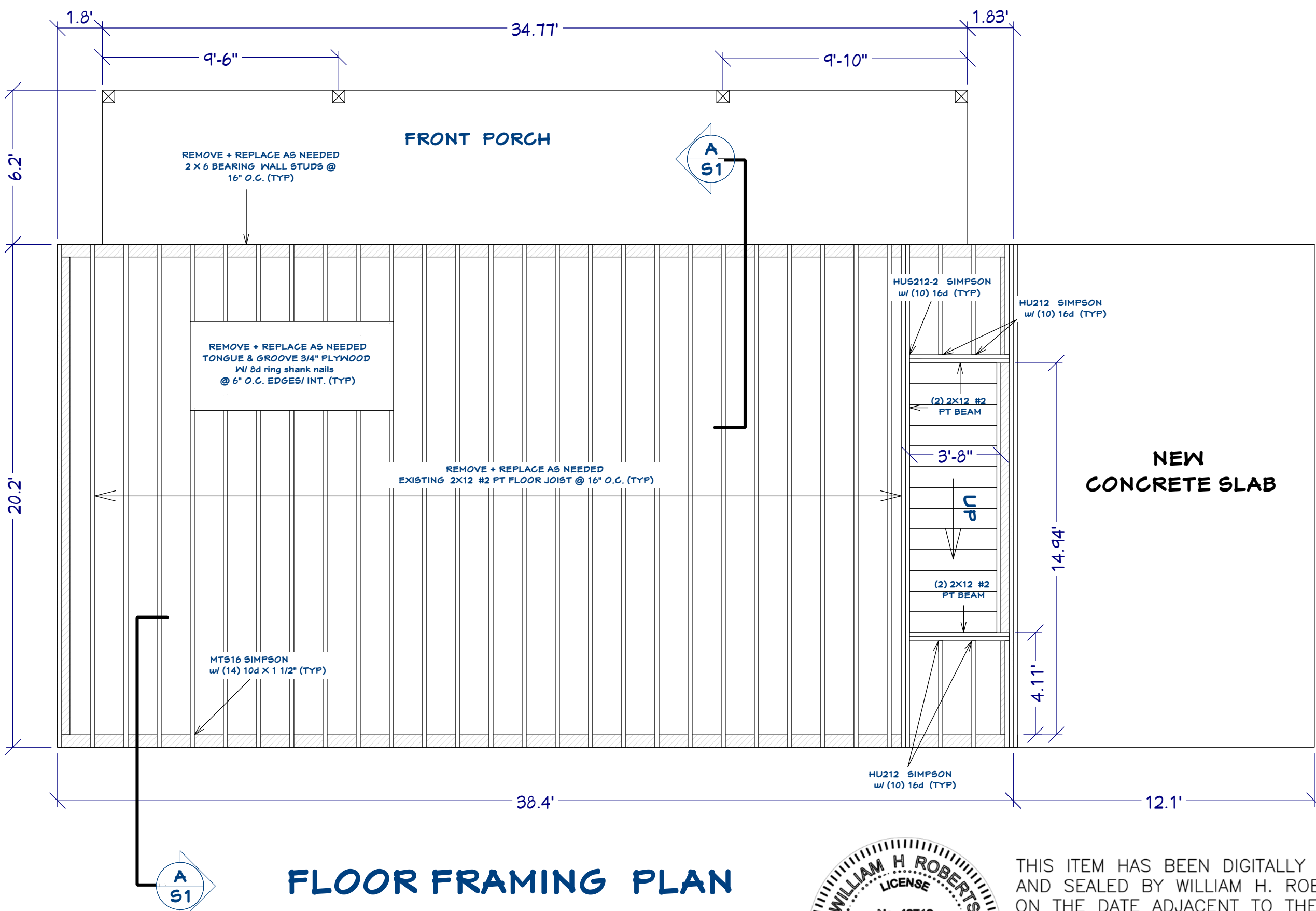
3/8" = 1'

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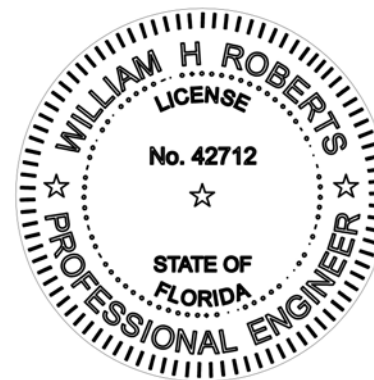
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ROOF FRAMING PLAN



FLOOR FRAMING PLAN



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DRAWINGS PROVIDED BY:

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Lakeland FL 33801
email:
paramountstructuralservices@gmail.com
Ph : 863 226 2828

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PLAN FOR:

MERLIN PROPERTIES
502 PARK ST W
LAKELAND FL 33803
BUILDING # 1

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ENERGY CONSERVATION CODE FBC 2020 (1 EDITION)
ELECTRICAL CODE: NEC 2017

ROOF & FRAME PLAN

DRAWING No.

22-10033

DATE:

JAN 2023

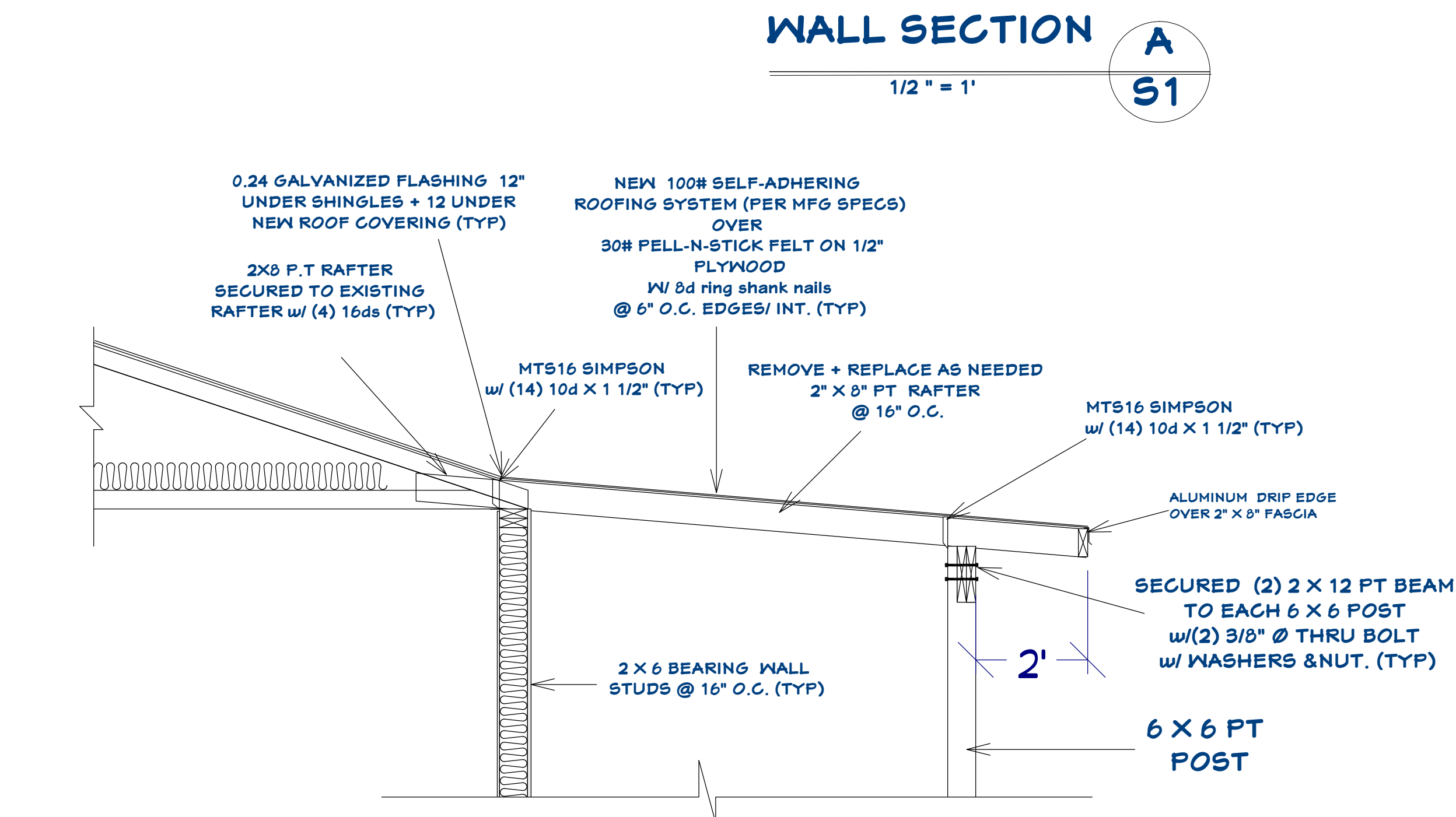
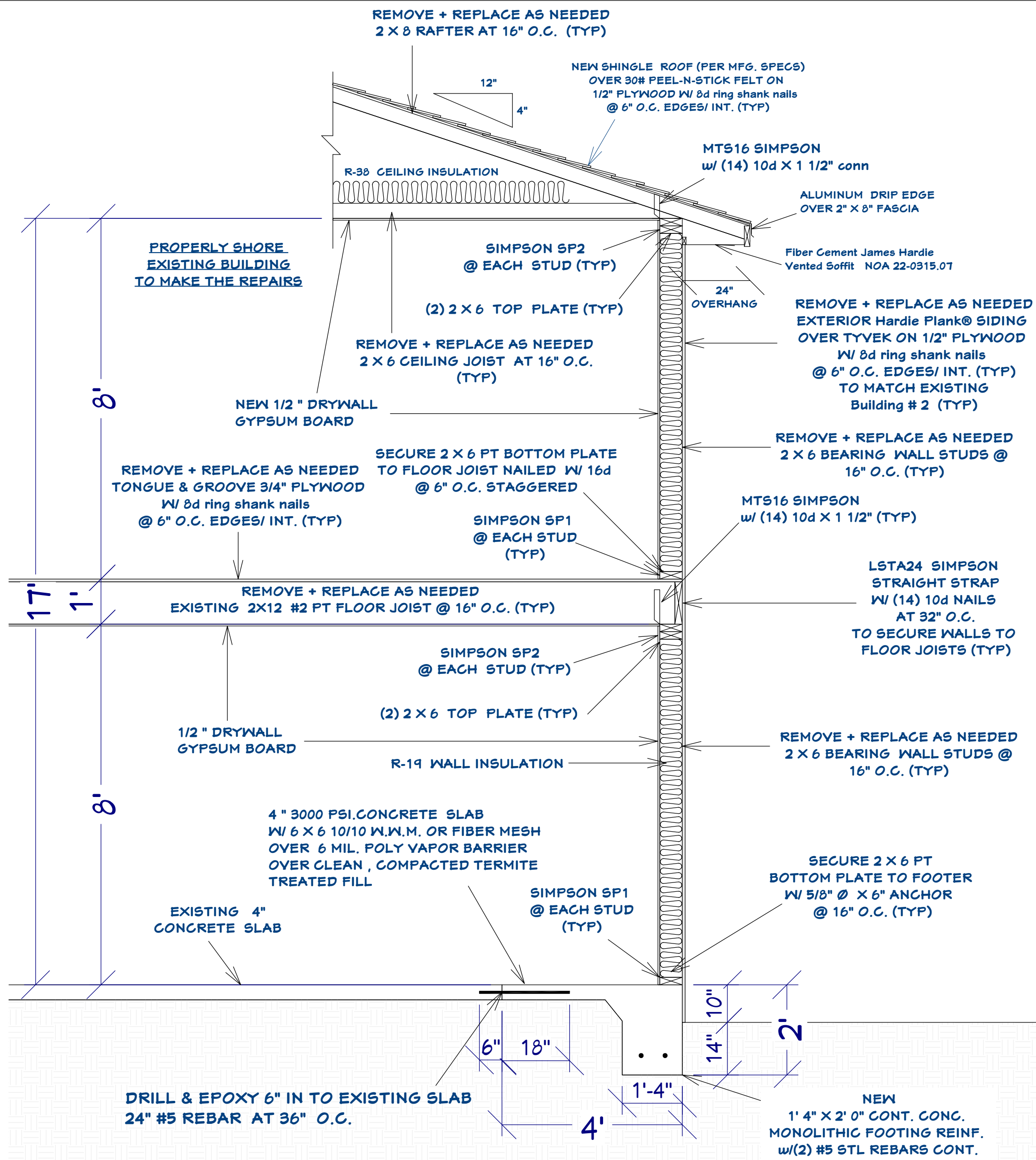
SCALE:

1/4" = 1'

SHEET:

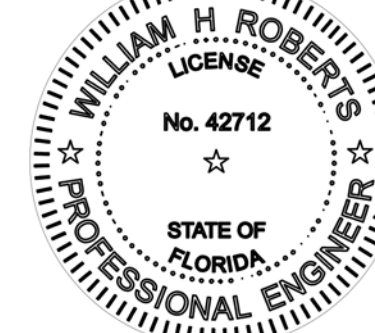
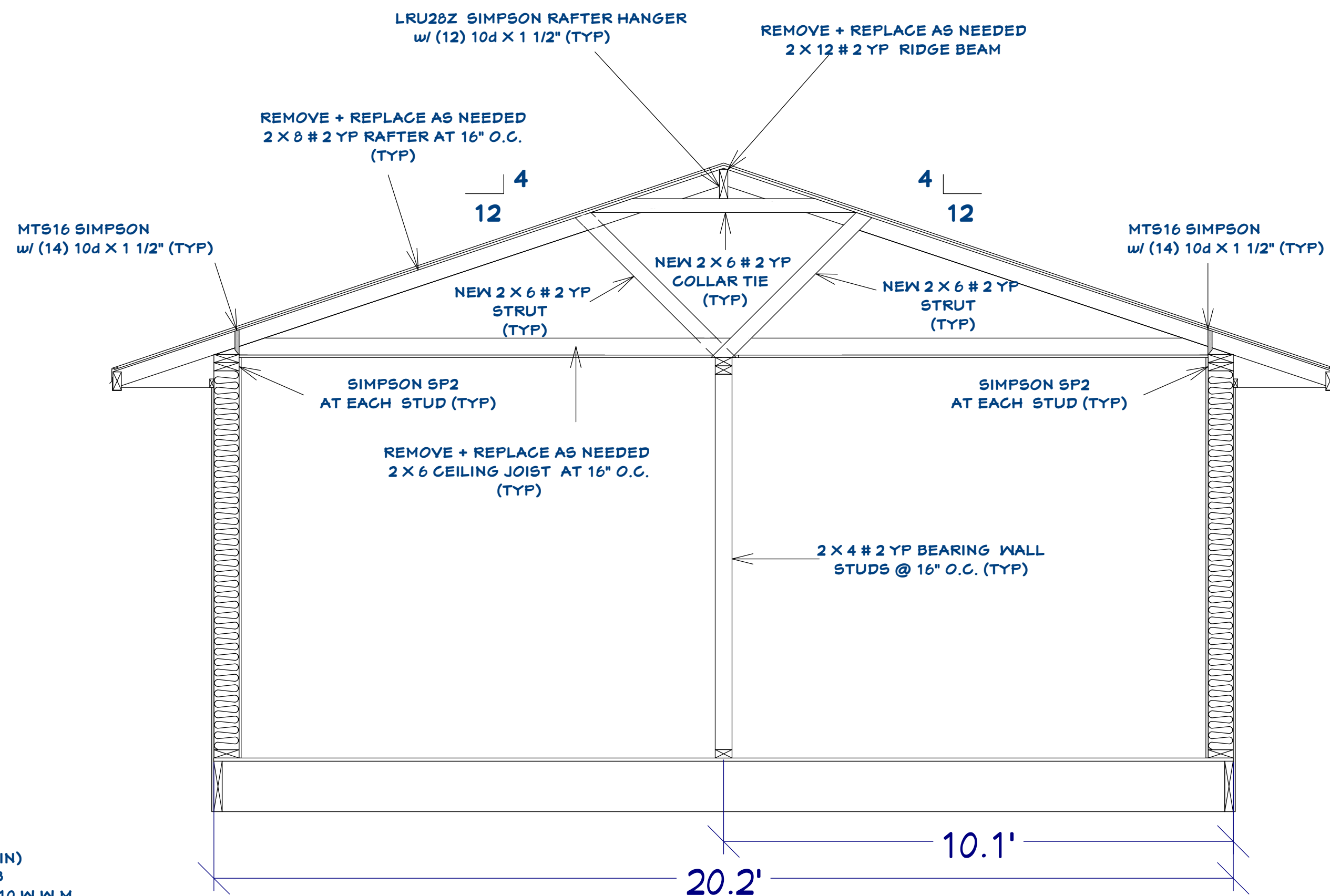
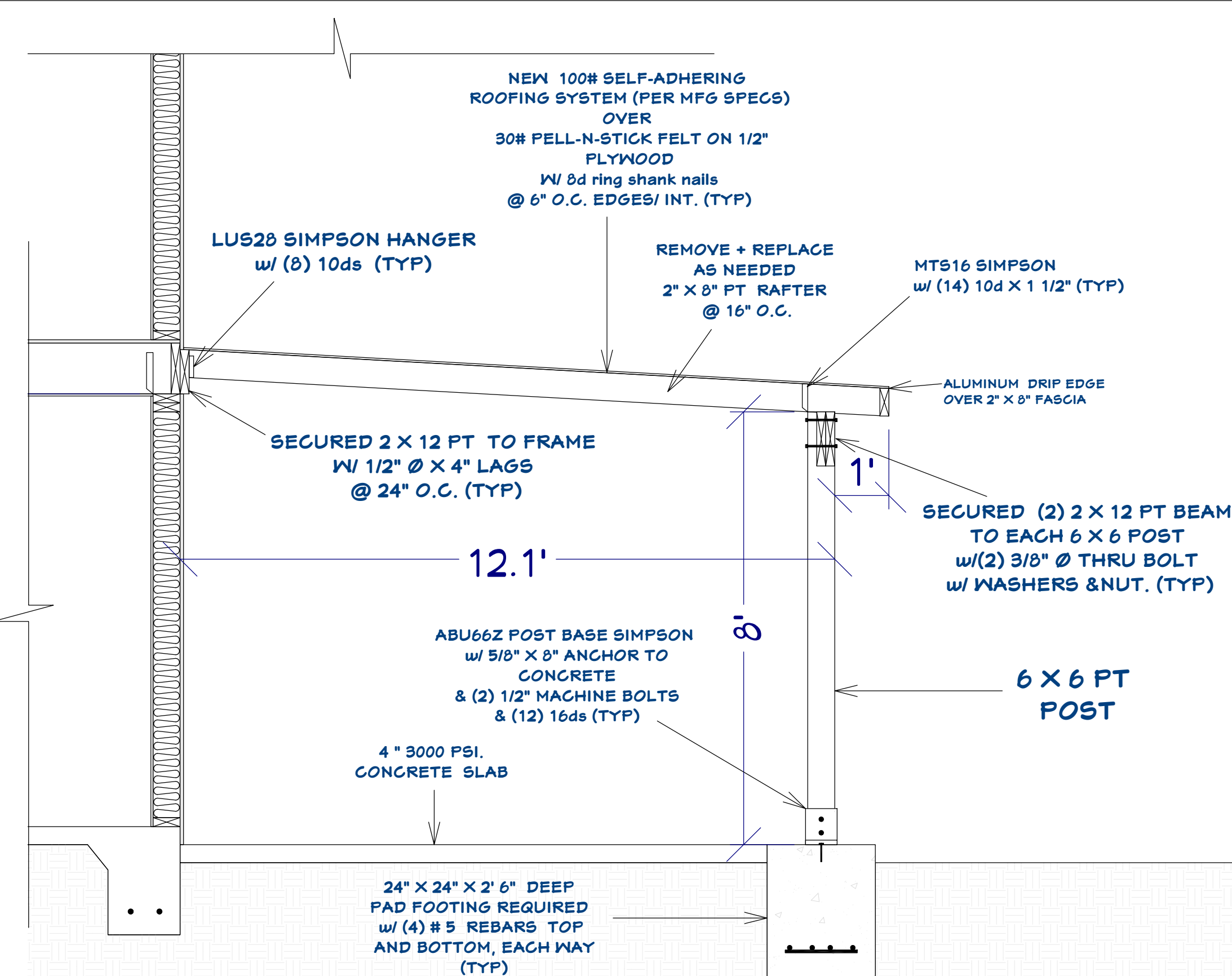
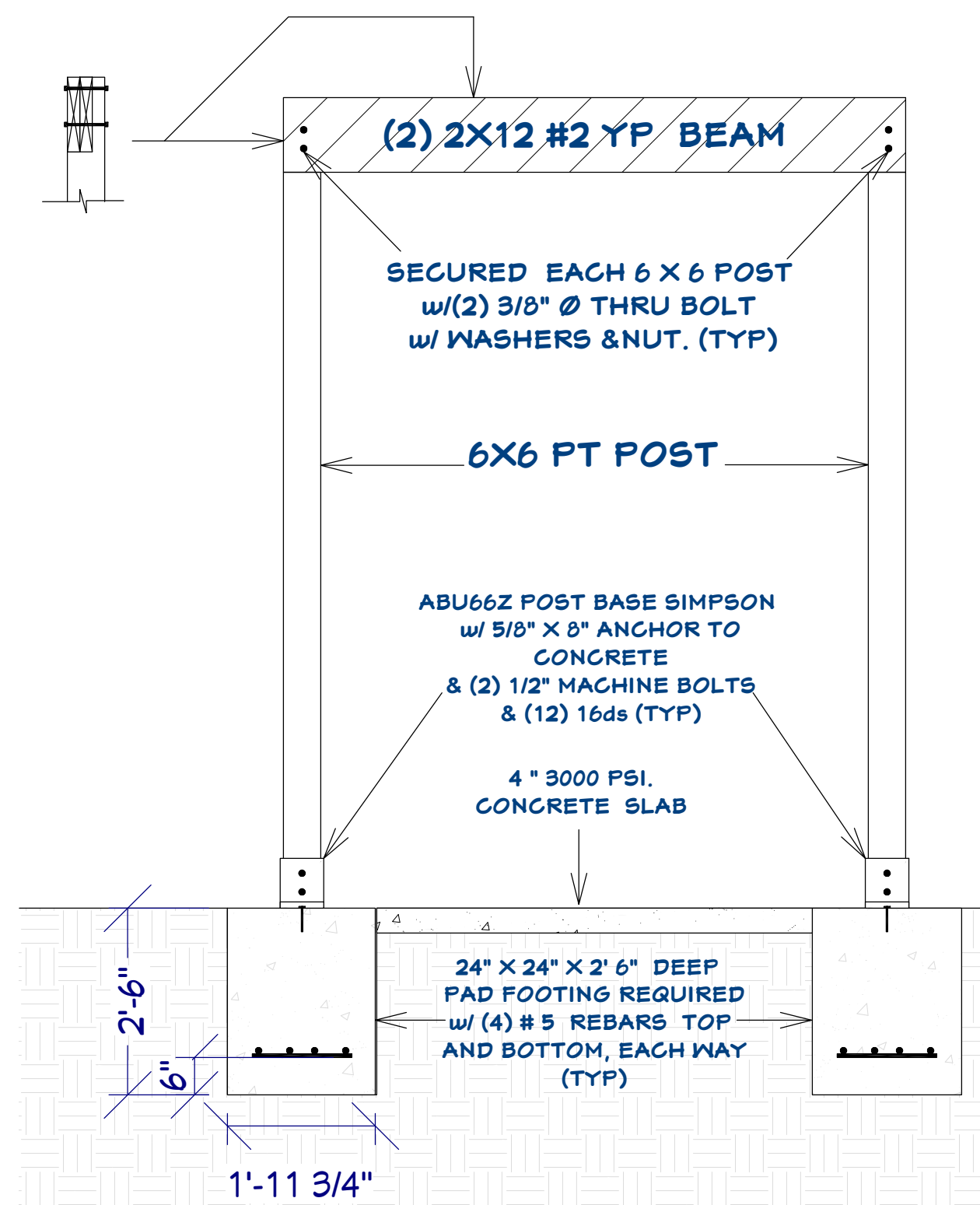
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ENERGY CONSERVATION CODE FBC 2020 (1 EDITION)
ELECTRICAL CODE: NEC 2017

WALL SECTION PLAN

DRAWING No.

22-10033

DATE:

JAN 2023

SCALE:

1/2" = 1'

SHEET:

51

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**HISTORIC PRESERVATION BOARD
DESIGN REVIEW COMMITTEE
STAFF REPORT
March 23, 2023**

Project #	HPB23-050
Project Type	Demolition
Property Address; Historic Name	914 S. Missouri Avenue; the “Matthew and Genevieve Mitchell House and Child’s Garden of Learning School.”
Historic District; FMSF#	Dixieland Historic District; DL#175
Owner/Applicant	Mr. Gary Hyde
Zoning; Future Land Use; Context District; SPI	RA-4; Residential Medium, Residential, Residential Medium; Urban Neighborhood; Dixieland SPI
Existing Use	Residential
Adjacent Properties	Residential
Previous Approvals	N/A

REQUEST

The Applicant requests approval for a major rehabilitation of the house on the subject property.

SUMMARY OF BACKGROUND INFORMATION

The subject property consists of two interior lots (T. L. Waring Subdivision, Block 1, Lots 10 and 11) and is 0.28 acres in area; an improved alley exists at the rear of this property. A two-story, multi-family building in the Tudor Revival architectural style is located on this property, which was built circa 1932 and is considered a contributing building within the Dixieland Historic District. This building consists of wood frame construction with a gable roof with gabled dormers, brick and wood shingle wall cladding, and 6-lite casement windows. The building has undergone several substantial additions and modifications since its original construction. A second two-story house is also located on the subject property and addressed as 912 S. Missouri Avenue; this building is occupied as a residence, and is known as the “cottage.”

From approximately the mid-1930s until 1974, the subject property served as the Child’s Garden of Learning, which was a private elementary school. The cottage served as classrooms for the school, while the subject building served as the primary residence of Matthew and Genevieve Mitchell; Mrs. Mitchell was the primary teacher at the school. Mr. Mitchell was a builder and made several modifications to the subject building in the 1950s.

The former owner purchased the subject property in 1989, at which time the building was converted into three apartment units. On September 3, 2021, the building experienced a substantial fire, which was caused by an electrical malfunction. Due to the extent of the fire damage and threat to public safety in keeping the building secured, the previous owner received approval from the Design Review Committee to demolish this structure, in December 2021. However, building has not been demolished, and the new owner, who purchased the property in November 2022, wishes to repair the structure.

The Applicant’s request involves constructing a new roof in a gabled design that will be different from the existing roof form, which exhibits several additions. The fire burned a hole through the existing roof deck and damaged the original rafters of the second story roof structure. The existing roof structure is composed of a mixture of gables with additions made over time consisting of a shed roof, low pitched roof, and mono-sloping sections. The fire was contained inside of a wall cavity and as a result, most of the floor joists, sub-floor, and

exterior walls appear satisfactory in condition. The proposed project would consist of demolishing the interior of the second story, bracing exterior walls, removing the deficient roof structure, installing pre-engineered roof trusses based on the proposed new roof design, and installing a standing seam metal roof system with red-colored panels. The new roof design will reflect a streamlined gabled profile with an 8/12 pitch incorporating the additions of the existing complex roofline.

APPLICABLE GUIDELINES:

The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this request:

Standard #2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 6: Exterior Architectural Features: Alteration and Maintenance.

- Architectural details should be compatible with the architectural style of the building's original design.
- Protect existing architectural details, and retain distinctive features including roofs and porches that give the building its distinguishing character.
- Retain the basic plan of the building.
- Repair or replace deteriorated material with new material that duplicates the old as nearly as possible. If the original detail cannot be maintained or replaced in its original form, it should be modified without disturbing the character of the structure.

Sub-Chapter 6.1 Roofs and Eaves

- Retention of original roof slope(s) and roof form.
- Retention of roof features that contribute to the architectural character of the house.
- Replacement roof materials that are compatible with the design of the host structure.
- Retention of original chimneys.

ANALYSIS:

Staff finds that the changes to the roofline caused by several building additions since the 1950s have not acquired historic significance on their own, as they represent common construction methods and design. While the entire roofing system is proposed to be replaced, the new gabled profile with a steep 8/12 pitch is compatible with this building and its original cross-gabled roof structure, as well as consistent with the Standards and Design Guidelines, as the building reflects mostly Tudor Revival architectural elements. However,

to be consistent with the Design Guidelines regarding replacement roofing materials, standing seam and 5V crimp metal roofing is not appropriate for the Tudor Revival style, and a shingle style roofing material should be used instead.

STAFF RECOMMENDATION:

Staff recommends approval of the request as submitted, with the following conditions, to be reviewed and approved by staff prior to permitting:

1. Use straight eaves or classic eave returns instead of the “pork chop” style eave returns shown in the architectural plans.
2. Use shingle roofing (can be metal shingles) instead of standing seam metal roofing.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation
Liaison to the Historic Preservation Board

914 South Missouri Avenue

Photos



North View



West View (near)



West View (far)



South View



East View

Roof Replacement Proposal

914 South Missouri Avenue
Lakeland, Florida

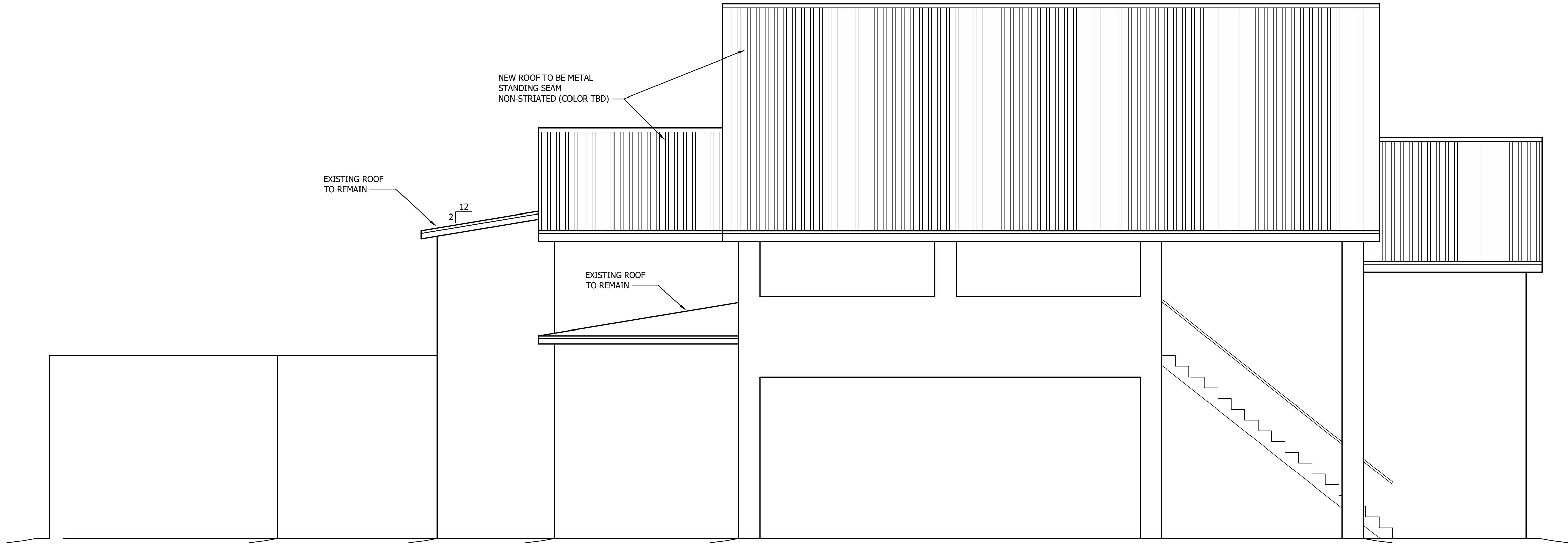
Background

914 South Missouri Avenue is located in the Dixieland Historic District. Over the years, this building has generated considerable neighborhood interest and has been the source of several articles in the Lakeland Ledger. Construction of the building was begun in 1932 and over time several additions were added, creating a piecemeal, complicated roof structure. In September of 2021 there was a devastating fire in the building, destroying much of the interior and a significant portion of the roof structure itself.

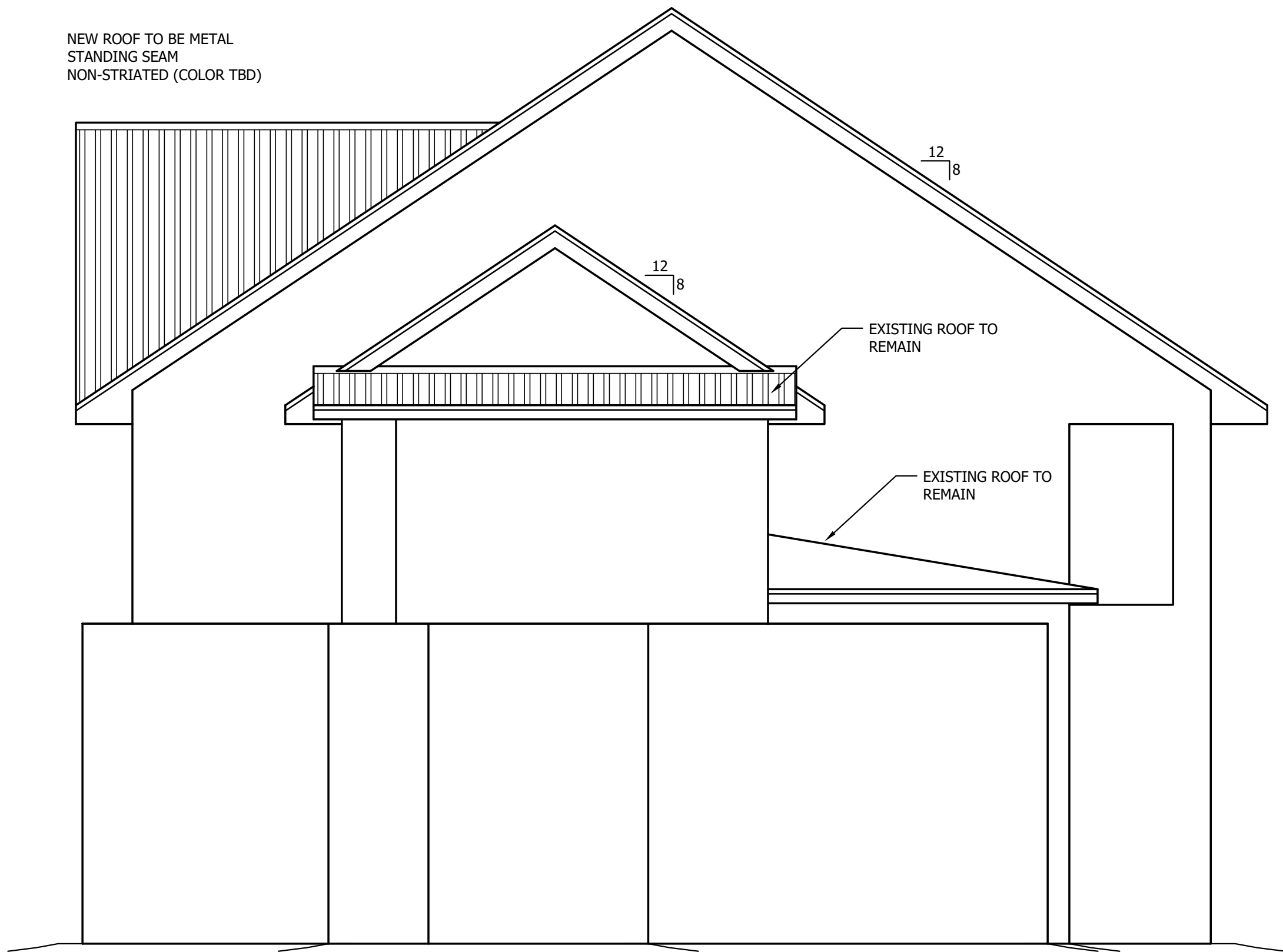
Placement Proposal

Saving this building and restoring it will preserve the architectural and historical interests of the Dixieland Historic District. Rather than replicating the complicated roof structure that is the result of numerous additions, this proposal is to replace the damaged roof with a simpler one composed of tin. In addition, much of the supporting roof structure will also need to be replaced due to the fire devastation.

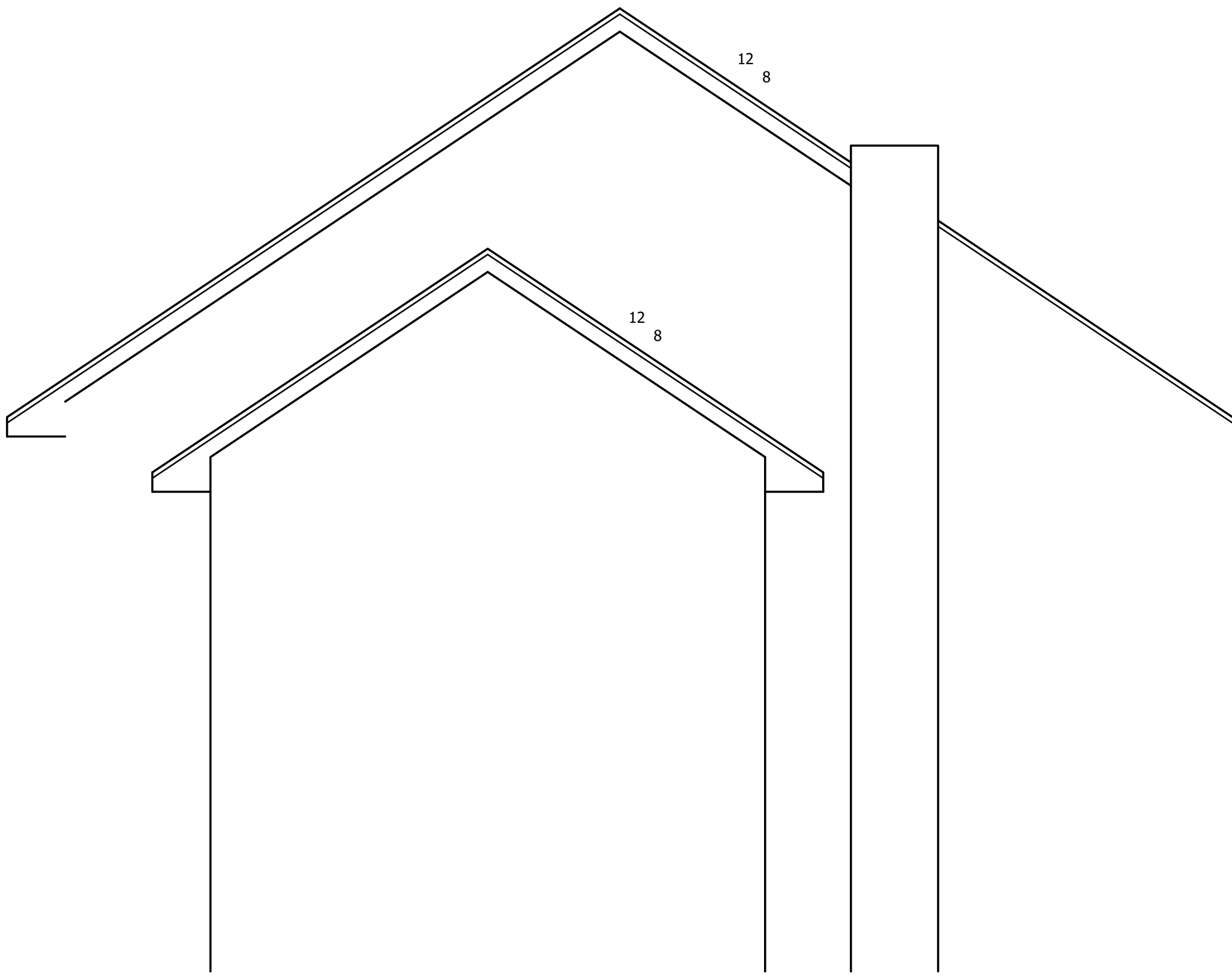
A tin roof is proposed for several reasons. Asphalt shingles, which were used on the roof that burned, has a life span of 12 – 15 years. Since this is a significant residence in the Dixieland Historic District, it is suggested that the new roof covering be red-colored tin. Tin is superior to asphalt shingles because it is more environmentally friendly for recycling when the roof is next replaced, and tin roofing holds up better to hurricane force winds (that have grown more intense in the past decade) than do asphalt shingles. The life expectancy of a tin roof is 50 – 100 years, helping to better protect the roof during extreme weather and decreasing the environmental downsides of replacing asphalt shingles every 12 – 15 years. There is very little visibility of the roof from the ground, especially considering the number of trees on the property and its orientation to the street.



SOUTH ELEVATION
Scale: 1/4"=1'-0"



EAST ELEVATION
Scale: 1/4"=1'-0"



FRONT (WEST) ELEVATION
Scale: 1/4"=1'-0"

THIS IS THE H... T... I...
USN... H... THE...
MATTHEW K. JOHNSON, P.E.
FLA. P.E. No. 60129
DATE

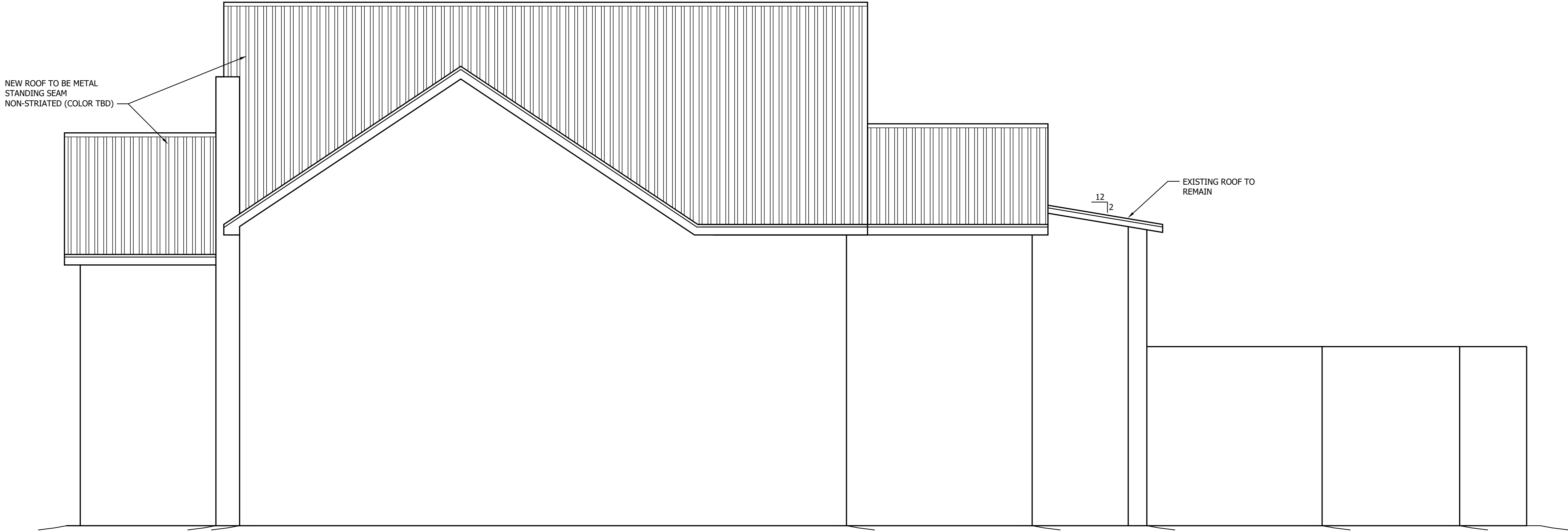
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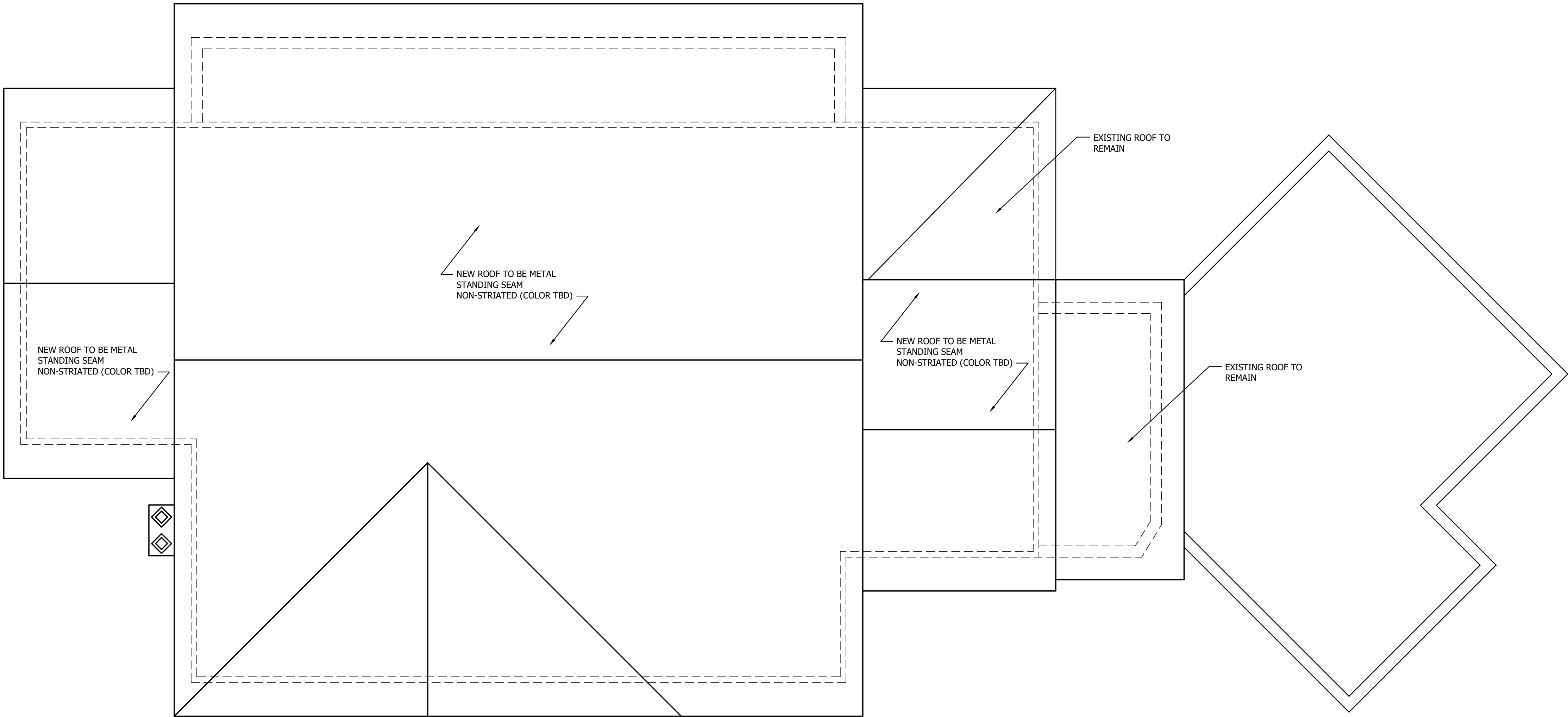
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1/4"=1'-0"
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NORTH ELEVATION
Scale: 1/4"=1'-0"



ROOF PLAN
Scale: 1/4"=1'-0"

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DR-
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