



**AGENDA**  
**HISTORIC PRESERVATION BOARD**  
City Commission Chambers  
February 23, 2023 8:30 A.M.

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In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Jenny Sykes, no later than 48 hours prior to the proceeding, at **(863) 834-8444**, Email: **Jennifer.Sykes@lakelandgov.net**. If hearing impaired, please contact the TDD numbers: Local - **(863) 834-8333** or **1-800-955-8771** (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number **1-800-955-8770 (VOICE)**, for assistance.

Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the January 26, 2023 Historic Preservation Board meeting minutes.
- III. Old Business:
  - A. Status update on the resurvey of the East and South Lake Morton Historic Districts.
- IV. New Business: None
- V. Adjourn for Design Review Committee.

## MINUTES

### HISTORIC PRESERVATION BOARD

City Commission Chambers

Thursday, January 26, 2023

8:30 a.m.

*(Please note: These meeting minutes comply with FS 286.011 and are not intended to be a verbatim transcript.)*

The City of Lakeland Historic Preservation Board met in Regular Session; Lynn Dennis, Landis Fleming, Jeremy Moses, Cesar Perez, Michael Porter, Natalie Oldenkamp, Chris Olson and MeLynda Rinker were present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation and Christelle Burrola, Planning Assistant, and Jerrod Simpson, Assistant City Attorney, were also present.

#### **I. Call to Order and Determination of a Quorum**

Chair Chris Olson called the January 26, 2023 meeting of the Historic Preservation Board ("Board") to order at 8:30 a.m. A quorum was reached, as eight Board members were present.

#### **II. Review and Approval of Previous Meeting Minutes**

Ms. Lynn Dennis motioned to approve the December 15, 2022 meeting minutes as presented. Mr. Landis Fleming seconded the motion. The motion passed 7—0.

#### **III. Old Business:**

- A. Status update on the resurvey of the East and South Lake Morton Historic Districts. Ms. Foster stated all of the Florida Master Site File (FMSF) forms for all contributing buildings have been completed. Staff is currently reviewing the draft report and will provide any feedback to the consultant.

#### **IV. New Business: NONE**

- A. New Board Members. Staff and the Board welcomed two new members, Natalie Oldenkamp and Bruce Anderson. Bruce Anderson will be joining the Board at the February meeting.
- B. Vacancy on Design Review Committee. Staff recommends the appointment of Michael Porter to the Design Review Committee, to fill John White's seat. Ms. MeLynda Rinker motioned to nominate Michael Porter. Mr. Cesar Perez seconded the motion and it passed 8—0.

#### **V. Adjourn for Design Review Committee.**

The meeting adjourned at 8:38 a.m.

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Chair, Historic Preservation Board

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Senior Planner, Historic Preservation



**AGENDA**  
**DESIGN REVIEW COMMITTEE**  
February 23, 2023

immediately following the Historic Preservation Board Meeting

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- I. Call to order, determination of a quorum, and roll call.
- II. Review and approval of the January 26, 2023 Design Review Committee meeting minutes.
- III. Review Certificates of Review administratively approved since the previous meeting.
- IV. Consideration of Certificate of Review Applications:
  - A. Oath Administration for Public Testimony by Assistant City Attorney Jerrod Simpson.
  - B. [HPB23-016 – 1017 South Boulevard](#) – Final Approval requested for the construction of a new detached garage and accessory dwelling unit on the subject property. Owner: Mr. Marten Walters. Applicant: Prebor 3 Architecture.
  - C. [HPB23-019 – 522 E. Park Street](#) – Final Approval requested for the new construction of an addition onto the rear elevation of the house on the subject property. Owner: Mr. Michael McArthur and Ms. Jennifer Smurr. Applicant: Prebor 3 Architecture.
  - D. [HPB23-020 – 201 E. Main Street](#) – Final Approval requested for recessing the glass storefront windows and entry door on the north elevation of the building on the subject property. Owner: Dr. Saqib Khan. Applicant: Mr. Soloman Wassef, Lakeland Loft.
  - E. [HPB23-022 – 809 Osceola Street](#) – Final Approval requested for the construction of a second-story Accessory Dwelling Unit (ADU) above the existing detached garage on the subject property. Owner: Mr. Greg Neely. Applicant: Mr. Dan Sharrett, Sharrett Construction.
- V. Other Business: NONE
- VI. Adjournment.

## MINUTES

### DESIGN REVIEW COMMITTEE City Commission Chambers

Thursday, January 26, 2023

*(Note: These meeting minutes comply with F.S. 286.011 and are not intended to be a verbatim transcript.)*

The City of Lakeland Historic Preservation Board's Design Review Committee, met in Regular Session; Lynn Dennis, Landis Fleming, Jeremy Moses, Chris Olson, Cesar Perez, Michael Porter and MeLynda Rinker were present. Historic Preservation Board member Natalie Oldenkamp was also present. Community & Economic Development Department staff Emily Foster, Senior Planner, Historic Preservation, Christelle Burrola, Planning Assistant, and Jerrod Simpson, Assistant City Attorney, were also present.

#### **I. Call to Order and Determination of a Quorum**

The meeting was called to order by Chair MeLynda Rinker at 8:37 a.m. The Committee roll call was performed and a quorum was present.

#### **II. Review and Approval of the Previous Meeting Minutes**

Mr. Chris Olson motioned to approve the December 15, 2022 meeting minutes. Ms. Lynn Dennis seconded the motion. The motion passed 7—0.

#### **III. Review of Certificates of Review administratively approved.**

A list of twenty-five (25) administratively approved Certificate of Review projects covering the period 12/9/22-1/19/23 was included with the agenda packet. There were no additional questions or comments about these projects.

#### **IV. Consideration of Certificate of Review Applications:**

**A.** Oath Administration for Public Testimony by Assistant City Attorney Jerrod Simpson.

**B. HPB22-251 – 814 South Boulevard** – Final Approval requested for the new construction of a detached garage at the rear of the subject property, as well as minor exterior alterations to the house on the subject property. Owner/Applicant: Ms. Lea Del Tosto.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. Mr. Landis Fleming recused himself from the vote for this item as he had a conflict of interest and stated that the applicant was his niece.

Ms. Emily Foster presented the staff report, stating the subject property consists of an interior lot of record with a total area of 0.23 acres. On the property is a one-story Bungalow house built circa 1921, which is a contributing building in the South Lake Morton Historic District. The Applicant requests to build a new accessory structure for use as a detached garage. The garage is proposed to be 14 feet by 26 feet (364 square feet) with a mean height of 11.2 feet, and will be located in the rear yard, southeast corner, of the subject property. The structure will consist of typical wood frame construction on a concrete foundation and have Hardie Board lap siding, a gable roof with a 6:12 pitch and a two-foot wide overhang, and dimensional shingles. The garage will also feature two vinyl horizontal sliding windows, a metal garage door with glass top panel, and metal 9-lite entry door. The site plan submitted with the Application shows accessory building setback dimensions that meet the Land Development Code's Urban Form Standards. In addition, the Applicant requests to make several minor alterations to the property and existing house, including:

- Construction of a gabled overhang at the entry door on the rear elevation of the house; the overhang will be wood and use dimensional shingles.

- Installation of a concrete parking pad and drive at the rear of the property with access from the alley.
- Installation of a 6 feet tall, pressure-treated wood horizontal slat semi-private fence and 3½ feet tall gothic style pressure-treated wood picket fence. Fences are to be located in the side and rear yards as depicted on the site plan.
- Construction of 8 feet extension in depth to the existing deck at the rear of the house.
- Selective replacement of termite-damaged siding on house with wood siding to match the existing siding.

While the requested overhang, paving, fences, and selective replacement of siding is eligible for staff-level review, these items were included in the Major Review request by the Applicant to be approved concurrent with the detached garage.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapters 4 and 6 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds that the proposed detached garage and minor alterations to the house do not disturb the spatial relationships of the principal house, and its setting and integrity is maintained. New but similar materials will be used on the accessory structure, which will be complementary in nature to the design of the house. In evaluating the request with the Design Guidelines, staff finds the materials of the proposed detached garage, overhang, fences, deck expansion, and new paving are consistent with the Design Guidelines. Staff finds the style of the garage to be simple and compatible in design and subordinate to the subject house, as well as placed appropriately at the rear of the subject property. The location, heights, and design of the proposed fences are also consistent with the Design Guidelines, as is the location and size of the proposed drive and parking area. Finally, the setbacks of both the detached garage and fences meet the requirements of the Land Development Code for these structures. Ms. Foster stated Staff recommends final approval of the request as submitted.

Chair Rinker asked if the Applicant had any additional comments or questions. Ms. Lea Del Tosto was present in support of the request.

There were no public comments.

**MOTION: Final approval of the request as submitted. (C. Perez/L. Dennis, 7—0)**

- C. HPB22-253 – 745 Johnson Avenue** – Final Approval requested for the new construction of an accessory building on the subject property. Owner: Mr. Matthew Bernal. Applicant: Mr. Michael Carter.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property consists of an interior lot of record with a total area of 0.48 acres. The property contains a one-story Frame Vernacular house built circa 1922, which is a contributing building in the South Lake Morton Historic District. This house is 1,515 square feet in living area. The subject property also contains a one-story, 352 square feet single family dwelling built circa 1945 and a two-story, 1,480 square feet multi-family building built circa 1940, both of which are located at the rear of the subject property. An existing metal utility building consisting of approximately 200 square feet is located on the north side of the subject property. The Applicant requests to build a new accessory structure for use as a workshop. The structure is proposed to be 20 feet by 30 feet (600 square feet) with a mean height of 12.135 feet and will be located in the south side yard of the subject property. The structure will consist of typical wood frame construction on a concrete slab foundation and have Hardie Board lap siding with a 6-inch exposure and a gable roof with a 4:12 pitch and architectural shingles. The structure will also feature vinyl single-hung sash windows and two fiberglass paneled entry doors. The site plan submitted with the Application shows placement of the accessory structure

on the lot with building setback dimensions that meet the Land Development Code's Urban Form Standards, including a front (street) setback of 50 feet.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds that the proposed accessory structure does not disturb the spatial relationships of the principal house, and its setting and integrity is maintained. New but similar materials will be used on the accessory structure, which will be complementary in nature to the design of the house. In evaluating the request with the Design Guidelines, staff finds the materials of the accessory structure consistent with the Design Guidelines. Staff finds the style of the structure to be simple and compatible in design and subordinate to the subject house, as well as placed appropriately behind the front façade of the house within the interior side yard of the subject property. For further compatibility with the house, staff recommends the use of a full- or half-lite door instead of a solid paneled door for the entry facing Johnson Avenue. Finally, the setbacks of the accessory structure meet the requirements of the Land Development Code. The subject property consists of three lots of record and can comfortably accommodate several buildings within the urban neighborhood context of the South Lake Morton Historic District.

Ms. Foster stated Staff recommends Final Approval of the request, with the following conditions to be reviewed by staff prior to permitting:

1. Install a full- or half-lite door instead of a solid paneled door for the entry facing Johnson Avenue.
2. If simulated divided-lite windows are to be used, windows with a six-over-six or six-over-one lite configuration must be used, and muntins are required to be dimensional and mounted to the exterior glass.
3. Ensure accessory building has corner boards, frieze boards, and door and window trim similar in dimension to the house.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Matthew Bernal was present in support of the request.

There were no public comments.

In response to Mr. Chris Olson, Mr. Bernal stated that he has no issues with staff's recommended conditions.

**MOTION: Final approval of the request with the conditions recommended by staff with the addition that the exterior cladding material will be Hardie Board lap siding. (M. Porter/C. Olson, 7—0)**

- D. HPB23-003 – 800 E. Palmetto Street** – Final Approval requested to construct a new addition onto the Polk Museum of Art building. Owner: Polk Museum of Art, Inc. Applicant: Mr. Tim Hoeft, Straughn Trout Architects.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. Mr. Cesar Perez and Ms. Lynn Dennis recused themselves from the vote for this item due to conflicts of interest. Mr. Perez is employed with Straughn Trout Architects and Ms. Dennis' husband is the applicant's representative.

Ms. Emily Foster presented the staff report, stating the subject property consists of approximately 12 lots along Michigan Avenue between E. Palmetto Street and E. Chiles Street and is 2.23 acres in size. On this property is the Polk Museum of Art, which is a two-story masonry building that was built in 1988 and is a non-contributing building within the East Lake Morton Historic District. The existing structure comprises 47,888 square feet in total. The origins of the Polk Museum of Art (the "Museum") began in 1966 when it was established by the Junior Welfare League, now the Junior League of Greater Lakeland. The museum was first housed in a former Publix grocery

store building on the subject property. In 2017, the Museum affiliated with Florida Southern College, and is currently a not-for-profit, teaching museum. The Museum is also the largest and only nationally accredited visual arts organization in Polk County and the only Smithsonian Affiliate art museum in Central Florida. A. Ernest Straughn, the late founding principal of Straughn Trout Architects, designed the existing museum building that opened to the public in 1988. Considered Postmodern architecture, the building blends traditional architectural materials found in Lakeland, such as brick, stucco, glass, and copper, with contemporary and geometric forms evocative of the Postmodern architectural movement popular in the U.S. during the late twentieth century. The proposal seeks to construct a new two-story, 13,100 square feet gallery addition to the northwest corner of the existing museum building. The purpose of the addition is to advance the Museum's goal of becoming one of the nation's leading academic fine art museums and scholarly centers for the study of the arts and visual culture. The addition will provide classroom and art laboratory space for students, as well as four new gallery spaces to enhance the visitor viewing experience. Interior renovations, including enhancements to existing classroom spaces, the addition of bathrooms, and upgrades to mechanical systems, will also be undertaken, but are not subject to the historical design review process. Limited site work as required to accommodate the addition will include adjustments to the parking lot and driveways with a new access to Chiles Street, upgraded exterior lighting, and mechanical yard adjustments to accommodate new equipment. The new addition is proposed to be setback 11 feet from the E. Chiles Street property line. Approximately 14 or more spaces in the existing parking lot will be removed because of the construction of the addition. The design of the addition reflects the Postmodern architectural aesthetic of the original 1988 building. Connecting the existing building with the addition is a hyphen, consisting of a glass curtainwall with copper elements. The visually dominant rectangular addition sits atop a brick foundation and features smooth finish stucco cladding with diagonal panel indentations leading to an off-center window. Aligning with the window on the front (west) elevation is a bay window that projects from the north side elevation; this wall continues the use of stucco cladding and the glass curtainwall hyphen. Additionally, on the north side of the building, the existing mechanical equipment yard will be reconfigured and enclosed by an 8-foot high black welded wire fence. The materials for the addition reflect the exterior materials of the 1988 building, including:

- Concrete foundation stem wall with brick veneer and synthetic stucco cladding with copper panels to match existing.
- Glazing will consist of a glass curtainwall system with bronze finish mullions, and roofing will consist of single-ply membrane on low slope roof with metal clerestory roof elements to match existing.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. Staff finds the request is consistent with the Standards, as the proposed addition is contained to the interior of the subject property and will not adversely affect the character or spatial relationships of nearby historic buildings within the East Lake Morton Historic District. With regard to the Design Guidelines concerning the location of building additions, an addition is not typically appropriate for placement on the primary or front façade of a building as the Applicant has requested; however, given that the subject building is a non-contributing building in the Historic District, a uniquely designed civic institution reflecting its use, and an architectural style that is not defined or contemplated within the Design Guidelines, staff finds the placement of the addition to be appropriate given this context. Staff finds that scale and massing of the addition is similar to the scale and massing of the north section of the existing building and compatible with the Postmodern style of the Museum. The requested addition is differentiated from the 1988 museum building but compatible in design and materials. Finally, in researching the history of the Museum building, it was found that Mr. Straughn, lead architect, designed the 1988 building with future expansions in mind. This information, combined with the fact that the same architecture firm has designed the requested

addition as the original building, further supports the request. The site plan and limited site work are appropriate from a design review standpoint. The site plan is currently under review by Planning staff and additional City departments for compliance with the Land Development Code and other requirements; therefore, this staff report and recommendation will not supersede any conditions related to the site imposed by the City upon site plan approval. Ms. Foster stated staff recommends Final Approval of the request as submitted.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Tim Hoeft was present in support of the request.

There were no public comments.

In response to Mr. Chris Olson, Mr. Hoeft stated that the homeowners of the residence on Charles Street, across from the museum, are aware and supportive of the expansion.

**MOTION: Final approval of the request as submitted. (L. Fleming/C. Olson, 5—0)**

- E. HPB23-005 – 1002 Success Avenue** – Final Approval requested to construct a new addition onto the house on the subject property. Owner: Mr. Coady Cheek and Mrs. Ashley Cheek. Applicant: Mr. Daniel Sharrett, Sharrett Construction.

Chair Rinker introduced the request and then asked if there were any conflicts of interest pertaining to this agenda item. There were no conflicts.

Ms. Emily Foster presented the staff report, stating the subject property is an interior lot of record (Dixieland Subdivision, Block 12, Lots 9 and 10) consisting of 0.32 acres. On this property is a one-story, single-family residence built circa 1950 in the Ranch architectural style, which is a non-contributing building in the South Lake Morton Historic District. The house has a hipped roof covered in architectural shingles, struck block painted walls, and combination of metal casement and awning windows and single-hung sash vinyl windows. A hipped roof, single width, open-sided carport is attached to the south side of the home. The current living area of this house is 1,264 square feet. The Applicant's request proposes to construct a building addition on the south side elevation of the house with a total area of 1,456 square feet. The addition will consist of living space (1,090 SF), a new carport (312 SF), and storage room (54 SF). As part of this major alteration, the existing carport will be enclosed for use as a living space within the house. The design and materials for the addition are intended to match the existing house, and include:

- A concrete foundation to match existing;
- Exterior cladding to consist of concrete masonry unit walls with struck block joints to match existing;
- Vinyl or aluminum casement windows with a single lite configuration;
- Hipped roof matching existing 3/12 pitch and architectural shingles; and
- Aluminum soffit and fascia to match existing.

The site plan for the proposed addition shows building setbacks that comply with the Urban Form Standards in the Land Development Code. Additionally, the Applicant requests to replace all metal casement and awning windows, as well as two vinyl single-hung sash windows (previous replacements) currently existing on the house with vinyl or aluminum casement windows. This window replacement request was previously approved by the Design Review Committee in June 2019 (HPB19-109), but the Certificate of Review issued for that approval expired June 27, 2020.

Ms. Foster stated that the request was evaluated using Secretary's Standards for Rehabilitation #9, #10 and Chapter 4 of the Design Guidelines for Historic Properties. In evaluating the request with the Standards, staff finds the requested addition does not disturb the spatial relationships that characterize the neighborhood, and the essential form and integrity of the subject house is maintained. In evaluating the request with the Design Guidelines, staff finds that the materials of



the proposed addition reflect the original materials of the house and are compatible with the Guidelines. The design of the proposed addition, including plan, cladding type, enclosed soffit, casement windows, and roof pitch and form, is consistent with the Ranch style of the subject house and Design Guidelines. Furthermore, the addition is appropriately placed on the interior side elevation of the house and is setback from its front façade, and a new carport designed similarly to the existing carport is provided. Finally, the building setbacks for the new addition meet the requirements of the Land Development Code's Urban Form Standards. With regard to the request for replacement windows on the existing house, staff acknowledges that a similar request was approved by the Design Review Committee in 2019. While this house was categorized as noncontributing at that time because the construction date of the house was beyond the historic district's period of significance (1904-1942), this house is now beyond the 50-year baseline criteria for historic designation. In fact, in the resurvey of the South Lake Morton Historic District in November 2022, this house was surveyed and found to be a contributing structure, as it retains architectural integrity as a house of the Ranch architectural style. The metal casement windows are a character-defining feature of this architectural style and contribute to the architectural integrity of this house. Based on the Certificate of Review issued in 2019, replacement windows can be approved, but staff recommends that replacement windows match the divided lite configuration of the original windows with exterior-mounted muntins. Replacement of the awning windows, located on the rear of the house, with PVC fixed picture windows is consistent with the Design Guidelines. Ms. Foster stated Staff recommends Final Approval of the request with the following conditions, to be reviewed and approved by staff prior to permitting:

1. Existing casement windows may be replaced with vinyl or aluminum casement windows with exterior-mounted, dimensional muntins matching the pane configuration of the original windows.
2. Existing vinyl single-hung sash window may be replaced with vinyl or aluminum casement windows without a divided lite appearance.
3. Existing metal awning windows may be replaced with vinyl or aluminum fixed picture windows without a divided lite appearance.

Chair Rinker asked if the Applicant had any additional comments or questions. Mr. Daniel Sharrett was present in support of the request.

There were no public comments.

In response to Mr. Jerrod Simpson, Mr. Sharrett stated that he agrees to staff's recommended conditions.

**MOTION: Final approval of the request with the conditions recommended by staff. (L. Dennis/L. Fleming, 7—0)**

**V. Other Business: NONE**

**VI. Adjournment:** There being no further business, the meeting was adjourned at 9:22 a.m.

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Chair, Design Review Committee

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Senior Planner, Historic Preservation

**Certificates of Review Administratively Approved  
Between 1/20/2023 and 2/17/2023**

1. 1113 DOROTHY ST (Non-Contributing Building) - Installation of a 6 ft. tall wood fence enclosing the rear yard of the subject property.  
Subject to the following conditions: (HPB23-015)
2. 301 HILLCREST ST (Contributing Building) - Replace existing wooden deck on east elevation of the house with a new PT wood deck, approximately 14 feet by 28 feet, elevated 22 inches from grade.  
Subject to the following conditions: (HPB23-017)
3. 905 S MISSOURI AV (Non-Contributing Building) - Installation of a 6 ft. tall golden oak PVC fence along the southern property line of the subject property.  
Subject to the following conditions: (HPB23-018)
4. 1927 CHEROKEE TR (Non-Contributing Building) - Install 172 linear feet of 6 ft. tall beige PVC privacy fence enclosing rear yard of subject property.  
Subject to the following conditions: (HPB23-021)
5. 127 LAKE MORTON DR (Non-Contributing Building) - Removal of existing swimming pool on the interior of the site to convert into an additional garage space. Garage door to match existing (FL#5587). Above this space will be converted to a concrete deck.  
Subject to the following conditions: (HPB23-023)
6. 1 LK HOLLINGSWORTH DR (Non-Contributing Building) - Remove rotted wooden "fins" on all buildings and replace with water proofing and Hardie board attachment.  
Subject to the following conditions: (HPB23-024)
7. 208 W PARK ST (Contributing Building) - Replacement of the wood fence along the rear property line due to hurricane damage. New 6 ft. tall wood privacy fence installed along rear property line complying with required 3 ft. setback from alley.  
Subject to the following conditions: (HPB23-026)
8. 506 W BELMAR ST (Contributing Building) - Install 287 linear feet of 6ft high STOCKADE wood fence enclosing rear yard of subject property along with two (2) gates 6'x12' and 6'x5'.  
Subject to the following conditions: (HPB23-027)
9. 315 HUNTER ST (Contributing Building) - Installation of a new 6 ft. tall wood privacy fence at rear and sides of subject property, maintaining a 3 feet setback from alley pavement.  
Subject to the following conditions: (HPB23-028)

**Certificates of Review Administratively Approved  
Between 1/20/2023 and 2/17/2023**

10. 126 E PARK ST (Contributing Building) - Installation of 62 linear feet of 3 ft. tall white PVC picket fence in the front yard of the subject property.  
Subject to the following conditions: (HPB23-030)



**HISTORIC PRESERVATION BOARD  
DESIGN REVIEW COMMITTEE  
STAFF REPORT  
February 23, 2023**

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| <b>Project #</b>  | <b>HPB23-016</b>   |
| <b>Project Type</b>                                       | <b>Garage Apartment</b>  |
| <b>Property Address</b>                                   | <b>1017 South Boulevard</b>  |
| <b>Historic District;<br/>FMSF#</b>                       | <b>South Lake Morton Historic District;<br/>SLM #4-29; "Mrs. Lucy M. Killebrew House" (CD 1924)</b>              |
| <b>Owner/Applicant</b>                                    | <b>Mr. Marten Walters / Prebor 3 Architecture</b>  |
| <b>Zoning; Context District;<br/>Future Land Use; SPI</b> | <b>RA-4; Residential Medium;<br/>Urban Neighborhood; South Lake Morton SPI</b>                                   |
| <b>Existing Use</b>                                       | <b>Residential</b>   |
| <b>Adjacent Properties</b>                                | <b>Residential</b>   |
| <b>Previous Approvals</b>                                 | <b>Rebuild rear stoop, railing and add handicap ramp, 11/2/2007 (2007-201);<br/>Fence, 9/25/2012 (2012-093).</b> |

#### **REQUEST**

The Applicant requests Final Approval to construct a garage apartment in the rear yard of the subject property.

#### **SUMMARY OF BACKGROUND INFORMATION**

The subject property consists of one interior lot of record (Cox & Johnson's Subdivision of Scotts Lakeland Heights, Block 1, Lot 18) consisting of 0.16 acres. This property has alley access. On the property is a one-story single-family house, constructed circa 1925 in the Bungalow architectural style, which is a contributing building in the South Lake Morton Historic District. Features expressing the Bungalow style include the cross-gable roof, front-gabled front porch, and tapered porch columns on brick plinths. According to the Polk County Property Appraiser's office, the total living area of this house is 1,291 square feet.

The Applicant requests to construct a two-story garage apartment in the rear yard, which is proposed to be 23 feet 4 inches by 23 feet 4 inches in size (544.3 square feet). The new building is proposed to consist of a 544 square feet garage on the ground floor, and a 544 square feet studio apartment on the second floor, accessed by an external stair. The second-story apartment will feature a full-width balcony on the east elevation of the building. Materials proposed to be used for the garage apartment include:

| <b>Scope</b>      | <b>Material</b>   |
|-------------------|---|
| Foundation        | Concrete slab on grade  |
| Exterior Cladding | Stucco over masonry on ground floor; fiber cement lap siding on second floor    |
| Trim/Casing       | Fiber cement trim, casing, and corner boards                                    |
| Windows           | Vinyl single-hung sash windows with three-over-one lite configuration           |
| Doors             | Steel overhead garage door; fiberglass entry doors with full or partial glazing |
| Roof              | Fiberglass shingles; 6/12 pitch   |
| Fascia            | Fiber cement or PVC fascia  |
| Stairs/Balcony    | Pressure treated wood stairs and balcony  |

The site plan submitted for this request shows building setbacks of five feet from the interior (south) property line and 15 feet from the rear property line. A new 21 feet four inches wide concrete driveway connecting to the

garage from the alley is proposed, as well as a single concrete parking space placed in the rear yard. The site plan complies with the Land Development Code pertaining to Accessory Dwelling Units.

#### **APPLICABLE GUIDELINES:**

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*The Secretary of Interior's Standards for Rehabilitation* ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.9.1: Accessory Dwelling Units

- Accessory dwelling units that are configured as simple cottages or garage apartments.
- Accessory dwelling units that complement the architectural character of the principal house through the use of similar materials and simplified architectural elements.
- An accessory dwelling unit that is compatible and subordinate in scale and form to the principal house.
- Accessory dwelling units that are compliant with minimum building setbacks to reduce visual impacts from the street and adjacent properties.

#### **ANALYSIS:**

---

In evaluating the request with the Standards, staff finds that the garage apartment does not disturb the spatial relationships of the principal house, and the essential form and integrity of the existing house is maintained. New but similar materials will be used, which will be complementary in nature to the design of the house.

In evaluating the request with the Design Guidelines, staff finds the subordinate scale of the garage apartment and its simplified design to be consistent with the Design Guidelines. Staff finds the materials and design of the window, doors, balcony, and roof pitch to be consistent with the Design Guidelines, and the structure is appropriately located to the rear of the lot with vehicular access from the alley. This structure is compatible with the development pattern in the Lake Morton neighborhood, in which accessory dwellings are commonly found in both historic and contemporary form.

For compliance with Land Development Code Sub-Section 4.3.2 regarding accessory dwelling units ("ADU"), as well as approval for Compatibility Review by the Planning and Zoning Board, the maximum square footage for the ADU will need to be reduced from 544 square feet to 516 square feet based on the living area square footage of the principal house.

**STAFF RECOMMENDATION:**

---

Final Approval of the request with the following condition:

1. Use fiber cement lap siding with a maximum exposure of 6 inches.
2. Windows must be installed with a recess to provide a shadow line instead of flush to exterior wall; simulated divided lite muntins must be dimensional and mounted to exterior glass.
3. Use a straight eave return instead of a boxed or "pork chop" eave return.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation  
Liaison to the Historic Preservation Board





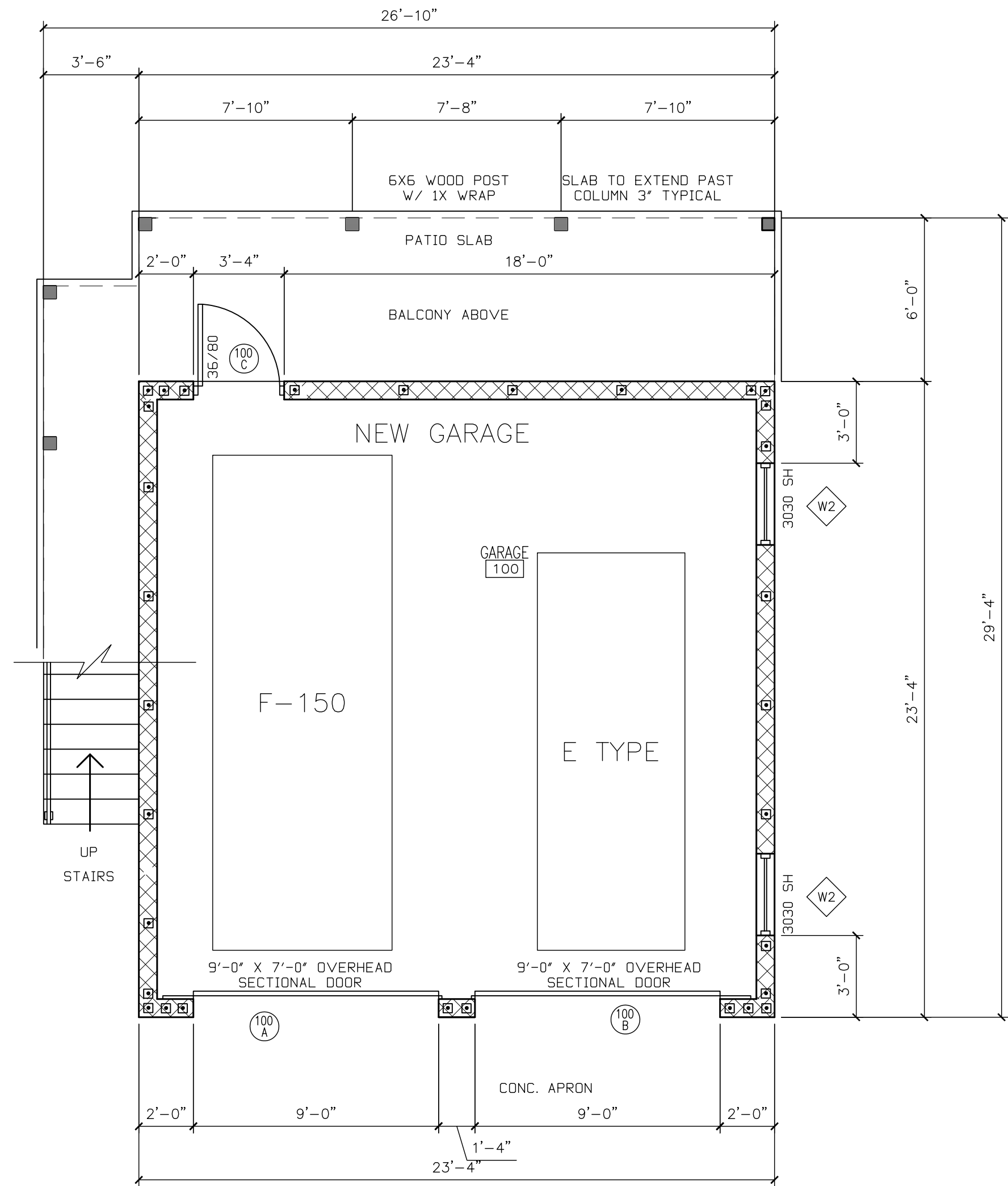




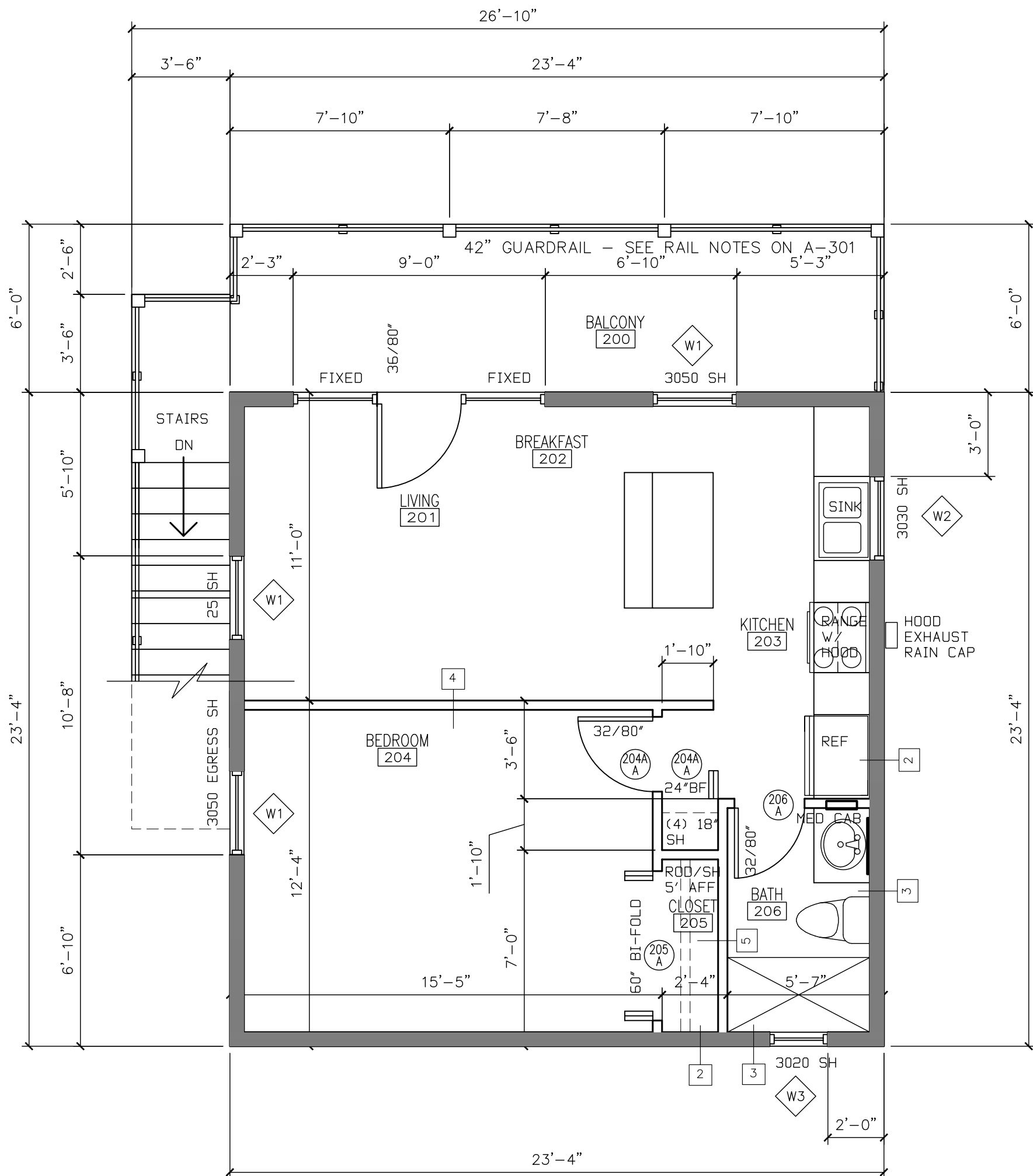








1st FLOOR PLAN  
1/4" = 1'-0"



2nd FLOOR PLAN  
1/4" = 1'-0"

### DRAWING NOTES

#### 2DIMENSIONS

- DIMENSIONS ARE NOMINAL
- DIMENSIONS ARE SHOWN FROM FACE OF CMU AND FACE OF STUD
- COORDINATE SHOWN DIMENSIONS WITH APPLIANCE DIMENSION REQUIREMENTS
- COORDINATE SHOWN DIMENSIONS WITH FIXTURE DIMENSION REQUIREMENTS
- COORDINATE DOOR AND WINDOW ROUGH OPENING REQUIREMENTS WITH MANUFACTURE
- STRUCTURE TO BE FIELD VERIFY PRIOR TO MANUFACTURING OF ROOF TRUSSES
- WALL DIMENSIONS TO BE FIELD VERIFY PRIOR TO CONSTRUCTION OF CASEWORK

#### DOOR / WINDOW NOTES

- GLAZING TO BE SOLEX GREEN INSULATED UNITS
- SH = ALUMINUM SINGLE HUNG WINDOW
- FG = ALUMINUM FIXED GLASS WINDOW
- WINDOW SIZE CONVENTION -COMMODITY IE" 25 = 3'1"W X 5'1" W
- DOOR SIZE CONVENTION: 3080 = 3'0" WIDE X 8'-0" HIGH
- WINDOWS WITH OPENINGS THAT ARE LESS THAN 24" ABOVE THE FINISH FLOOR SHALL HAVE 4" WINDOW OPENING CONTROL STOPS THAT COMPLY WITH ASTM F 2090.
- DEVICE SHALL ALLOW THE WINDOW TO FULLY OPEN TO COMPLY WITH CLEAR OPEN AREA (5.7 SQ. FT. - 5 SQ. FT. AT GRADE) PER SECTION R310.1.1 FBC RESIDENTIAL, 5TH EDITION (2014)

#### INSULATION NOTES

- ROOF INSULATION: R-38 FIBERGLASS BATTS MOUNTED IN ATTIC
- 6" WOOD FRAME EXTERIOR WALL @ APARTMENT: R-19 FIBERGLASS BATTS
- 8" CMU EXTERIOR WALL AT GARAGE: NONE
- FLOOR TRUSS: R-30 FIBERGLASS BATTS
- 4" INTERIOR WALLS: 3 1/2" SOUND BATTS (OPTIONAL)

#### FINISHES

GARAGE: FLOOR: SEALED EXPOSED CONCRETE  
WALLS: 5/8" TYPE X GYPSUM DRYWALL - PAINT  
CEILING: 5/8" TYPE X FIRE RATED GYPSUM DRYWALL - PAINT

STAIR WELL: OAK TREADS AND RISERS  
WALLS: 5/8" GYPSUM DRYWALL - PAINT  
NOTE: INSTALL 5/8" TYPE X GYPSUM DRYWALL BETWEEN GARAGE AND LIVING AREAS.  
CEILING: 5/8" GYPSUM DRYWALL - PAINT

APARTMENT: FLOOR: WOOD OR PLANK VINYL  
WALLS: 1/2" DRYWALL - PAINT  
CEILING: 1/2" DRYWALL - PAINT

APARTMENT BATH: FLOOR: TILE  
WALLS: 1/2" MR GYPSUM DRYWALL  
CEILING: 1/2" MR GYPSUM DRYWALL

MILLWORK  
BASE: 4" NOMINAL SQUARE STOCK  
DOORS: 4" SQUARE STOCK AT HEAD AND JAMBS, SQUARE CAP TRIM ABOVE HEAD  
WINDOWS: 4" STOCK AT HEAD AND JAMBS, SQUARE CAP TRIM A BOVE HEAD, WOOD SILL  
2" NOMINAL TRIM BELOW SILL

### LEGEND

- TYPE 1 8" CMU (CONCRETE MASONRY WALL) WITH #5 VERTICAL REINFORCING WHERE SHOWN ON PLAN - GROUT REINFORCED CELLS SOLID SEE DETAIL A/301 TYPICAL EXTERIOR WALL - UNLESS NOTED NO INSULATION STUCCO EXTERIOR - EXPOSED CMU INTERIOR
- TYPE 2 6" EXTERIOR LOAD BEARING WOOD STUD WALL 2X6 WD STUDS @ 16" O/C R-19 KRAFT FACED FIBERGLASS BATT INSULATION SEE DETAIL A/A301 - TYPICAL EXTERIOR WALL - UNLESS NOTED
- TYPE 3 6" EXTERIOR LOAD BEARING WOOD STUD WALL 2X6 WD STUDS @ 16" O/C R-19 KRAFT FACED FIBERGLASS BATT INSULATION SEE DETAIL A/A301 PROVIDE 1/2" MOISTURE RESISTANT DRYWALL ON BATHROOM INTERIOR
- TYPE 4 4" INTERIOR NON BEARING WOOD STUD WALL 2X4 STUDS @ 24" O/C INSULATION OPTIONAL 1/2" GYPSUM DRYWALL EACH SIDE SEE DETAIL - TYPICAL INTERIOR WALL UNLESS NOTED
- TYPE 5 4" INTERIOR NON BEARING WOOD STUD WALL 2X4 STUDS @ 24" O/C INSULATION OPTIONAL 1/2" GYPSUM DRYWALL EACH SIDE PROVIDE 1/2" MR GDW ON BATH ROOM SIDE
- 6X6 PT WOOD POST WITH 1X WRAP - SEE EXT ELEVATIONS
- DOOR NUMBER LABEL
- WINDOW TYPE LABEL

### GENERAL NOTES

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- SEE CODE DATA SHEET FOR ADDITIONAL CODE REFERENCES.
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- ALL CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW COMPLETE SETS OF DRAWINGS, SPECIFICATIONS, AND ALL OTHER PORTIONS OF THE COMPLETE CONTRACT DOCUMENTS. WORK PER TRADE IS NOT LIMITED TO SPECIFIC SHEETS.
- SEE SHEET G-100 FOR ADDITIONAL NOTES, ANNOTATIONS, SYMBOLS, AND ABBREVIATIONS
- IF DETAILS OR NOTES REFERENCED ARE NOT LOCATED, CONTACT THE ARCHITECT TO PROVIDE UNLESS SPECIFICALLY REFERENCED TO BE PROVIDED BY OTHERS.
- CONSTRUCTION SITE MUST BE VISITED BY THE CONTRACTOR TO SHOWN EXISTING CONDITIONS. IF CONDITIONS DIFFER FROM WHAT IS SHOWN OR CONFLICTS WITH WHAT IS SHOWN, NOTIFY THE ARCHITECT.

### GENERAL NOTES:

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH SITE CONDITIONS AS THEY MAY AFFECT CARRYING OUT THE WORK AS DESCRIBED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT, AND NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS INDICATED ARE TO FACES OF STRUCTURE (TYPICAL), UNLESS NOTED OTHERWISE.
- REFER TO ELECTRICAL FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS. ALL NOTES ARE TO BE REVIEWED, AND APPLIED TO RELATED BUILDING COMPONENTS. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED OR REASONABLY INFERRED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- WHERE DOORS IN WOOD STUD/GYPSUM BOARD PARTITIONS ARE NOT SPECIFICALLY LOCATED ON THE PLANS WITH DIMENSION STRINGS, PROVIDE A HINGE-SIDE JAMB DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS.
- DRAWINGS ARE PREPARED USING DIMENSIONS AND PRODUCT CONFIGURATIONS OR DETAILS OF SPECIFIC MANUFACTURERS. DIMENSIONS AND DETAILS FOR SPECIFIC PRODUCTS MAY CHANGE BEFORE THEY ARE ACTUALLY INCORPORATED INTO THE WORK, AND PRODUCTS BY OTHER MANUFACTURERS MAY ALSO BE ACCEPTABLE. THEREFORE, ACTUAL INSTALLATION DETAILS AND DIMENSIONS MAY DIFFER FROM THOSE SHOWN. CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS FOR ALL PRODUCTS TO BE INCORPORATED IN THE WORK (INCLUDING PARTITION THICKNESSES FOR RECESSED OR SEMI-RECESSED PRODUCTS), AND IS RESPONSIBLE FOR ACCOMMODATING AND COORDINATING CHANGES TO OTHER MATERIALS OR PRODUCTS THAT ARE NECESSARY BECAUSE OF THESE DIFFERENCES.
- PARTITION TYPES CONTINUE AROUND CORNERS UNLESS INDICATED OTHERWISE.
- THE DRAWINGS ARE SEPARATED INTO DISCIPLINES FOR THE CONVENIENCE OF THE ARCHITECT AND THE CONTRACTOR. THE SEPARATIONS USED HEREIN ARE USED ONLY FOR THE PURPOSES OF CONVENIENCE AND REFERENCE AND IN NO WAY DO THEY DEFINE OR LIMIT THE SCOPE OR INTENT OF ANY PART OF THE DRAWINGS, OR OF THE DRAWINGS AND SPECIFICATIONS AS A WHOLE. THE FACT THAT THE DRAWINGS ARE SEPARATED IN NO WAY SUGGESTS THAT THE WORK IS NOT TO BE CONSTRUCTED AS A COMPLETE, INTEGRATED AND UNIFIED WHOLE.
- THE DRAWINGS AND SPECIFICATIONS, INCLUDING DRAWINGS PREPARED BY SPECIFIC ENGINEERING DISCIPLINES (SUCH AS ELECTRICAL,) ARE COMPLEMENTARY; ITEMS SHOWN IN ANY ONE LOCATION IN THE DRAWINGS SHALL BE CONSIDERED TO BE REQUIREMENTS OF THE CONTRACT FOR CONSTRUCTION. IN THE EVENT OF AN INCONSISTENCY BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT, THE CONTRACTOR SHALL SEEK CLARIFICATION OR INTERPRETATION FROM THE ARCHITECT PRIOR TO BIDDING. WHERE INCONSISTENCIES ARE NOT CLARIFIED PRIOR TO BIDDING, AND WHERE THE ACTUAL SOLUTION OR INTENT CANNOT BE REASONABLY INFERRED, THE CONTRACTOR SHALL INCLUDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK IN THE BID PROPOSAL.
- WALL, CEILING, BASE, AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS THE DRAWINGS SPECIFICALLY INDICATE THAT A ROOM OR PORTION THEREOF IS TO REMAIN "UNFINISHED." IF ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, PROVIDE THE SAME FINISHES AS ARE PROVIDED IN THE ROOM ADJACENT TO THE ROOM IN QUESTIONS, OR OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO BIDDING.
- USE TEMPERED GLASS IN ALL OPENINGS WITHIN 18" OF THE FLOOR OR A DOOR.
- CAULK ALL JOINTS OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER, AND THE INTERSECTION IS EXPOSED TO VIEW, UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- ALL MATERIAL COLORS TO BE SELECTED BY OWNER, UNLESS NOTED OTHERWISE.

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FLORIDA A426003300

This item has been electronically signed and sealed by Victor Prebor AIA using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

NEW GARAGE APARTMENT for:  
WALTERS RESIDENCE  
1017 SOUTH BLVD, LAKE LAND, FL 3380X

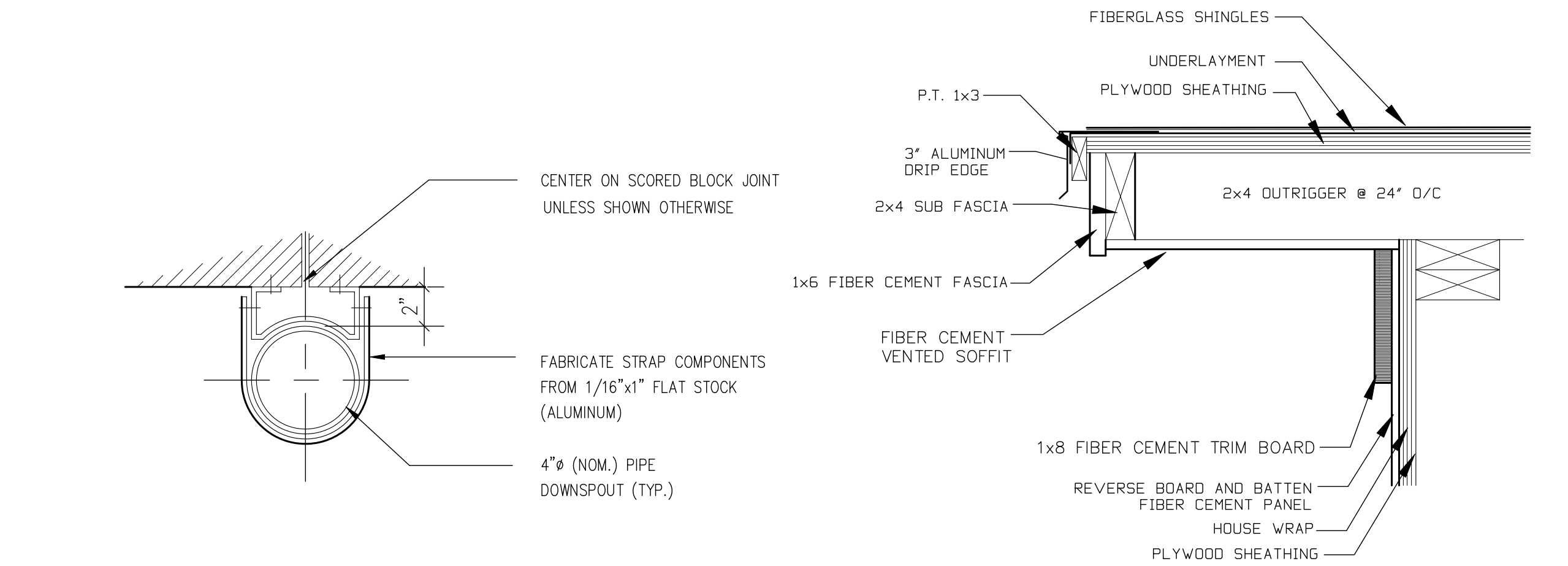
### FLOOR PLANS

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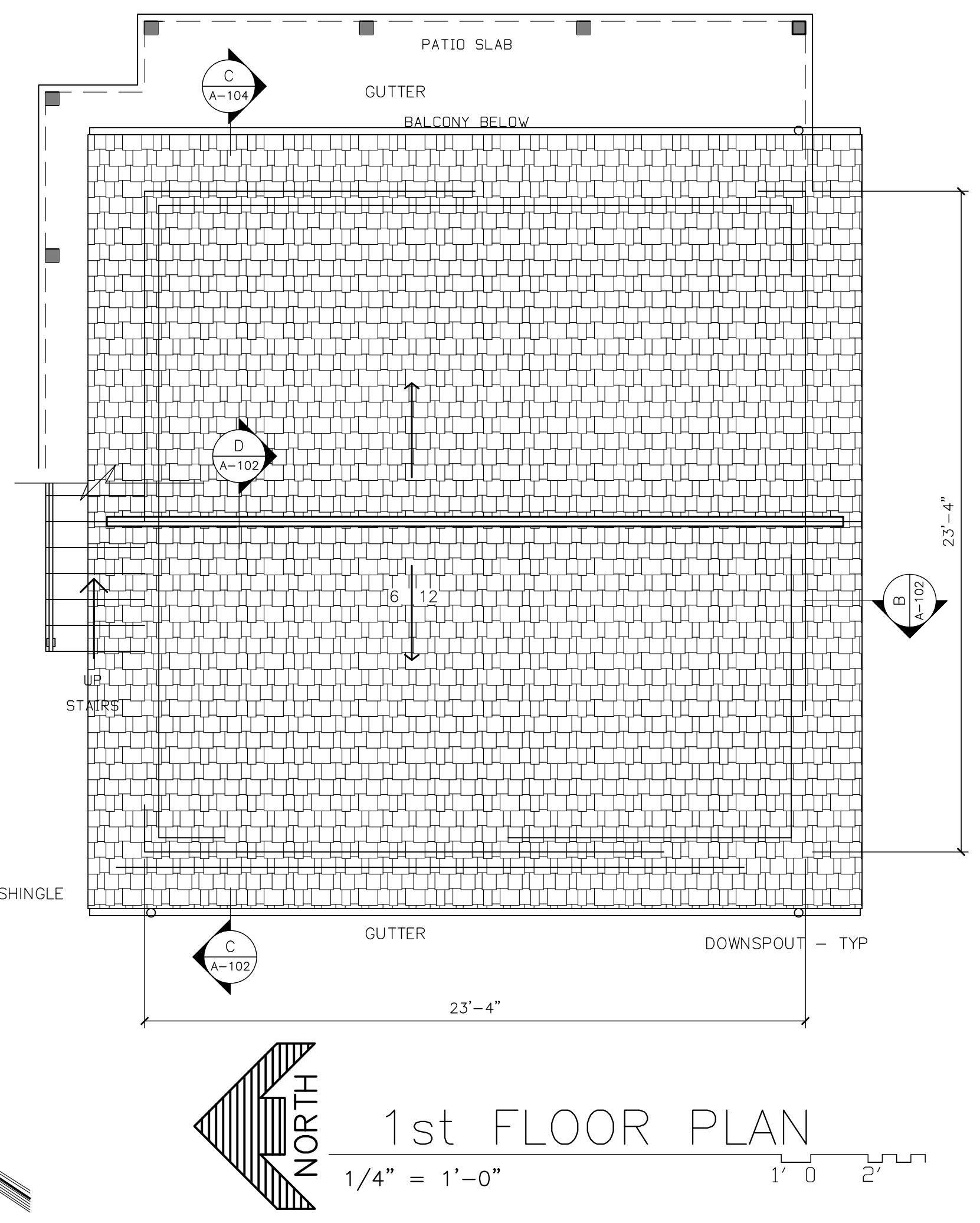
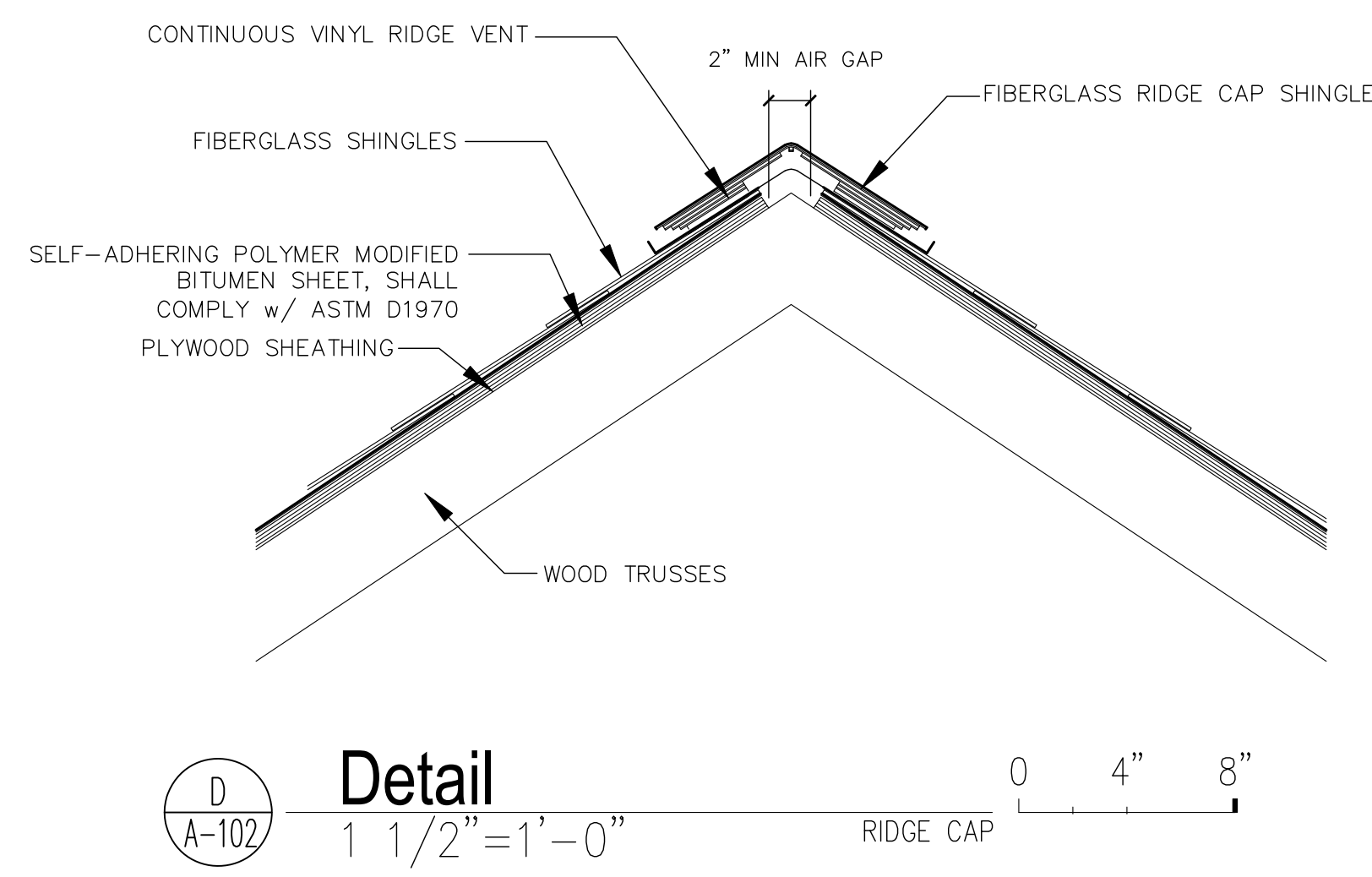
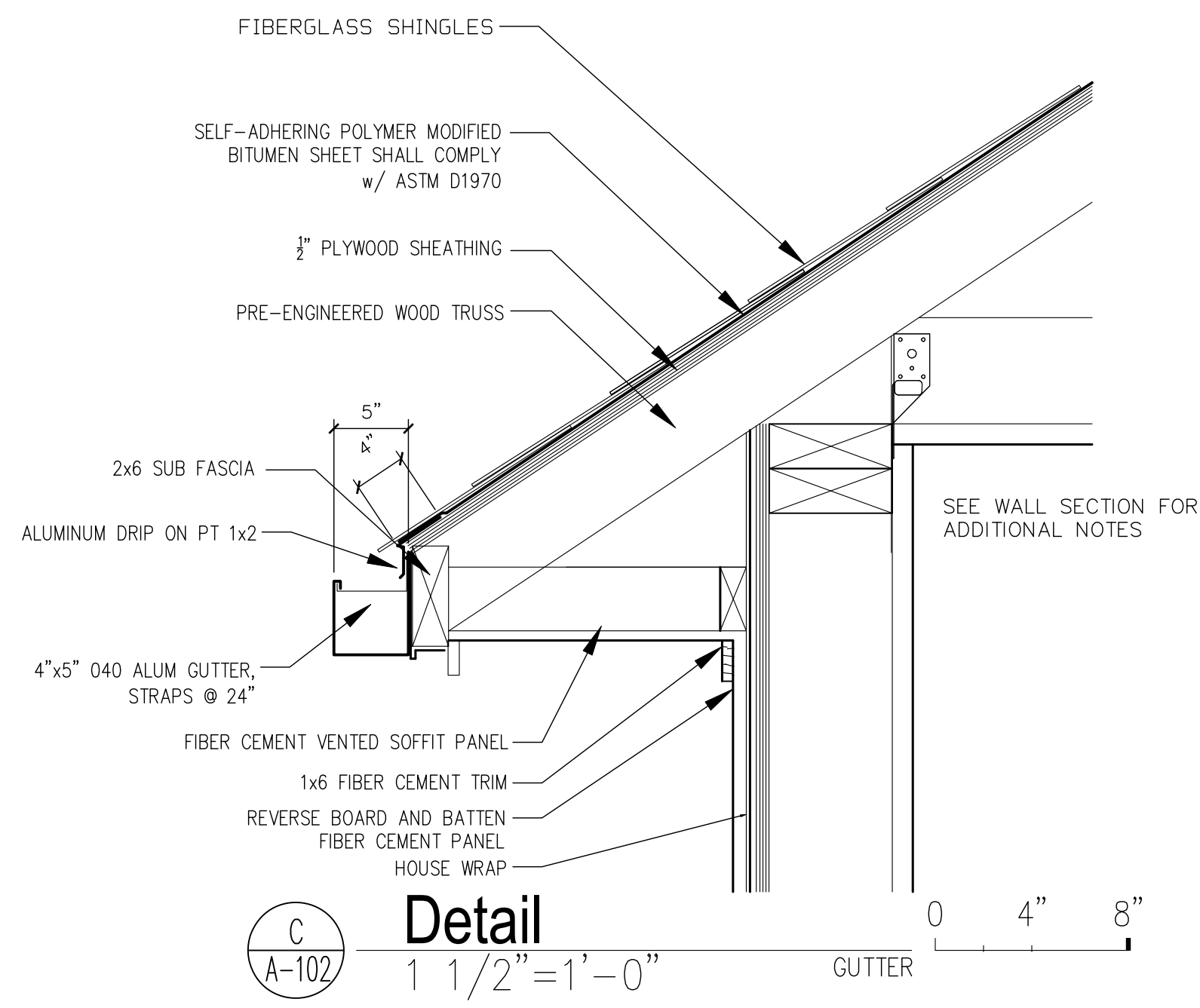
22R045

review 11.30.2022  
bid  
permit  
revision  
revision

A-101



NOTE:  
AT LOW SLOPE ROOF (2 1/2:12) PROVIDE CONTINUOUS SELF ADHERING ICE AND WATER SHIELD UNDERLAYMENT BELOW ENTIRE ROOF PLANE. INSTALL PER MANUFACTURES RECOMMENDATIONS AND TO COMPLY WITH 2020 FBC SEVENTH EDITION. PREPARE SURFACE AS RECOMMENDED BY THE MANUFACTURE. SHINGLES TO BE INSTALL WITH A MAXIMUM EXPOSURE OF 4"



### GENERAL NOTES

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### ROOFING NOTES

1. UNDERLAYMENT: (2) LAYERS ASTM-D-226 TYPE I or TYPE II. SECURE WITH 12 ga 1 1/4" CALV ANNULAR RING SHANK ROOFING NAILS FASTENED THROUGH 32GA X 1 5/8" DIAMETER TIN CAPS. FASTENERS TO BE 6" O/C ALONG SEAMS AND 12" O/C IN FIELD.
2. SHINGLES: GAF FIBERGLASS REINFORCED 30 YEAR ARCHITECTURAL GRADE FIBERGLAS SHINGLES FASTENED WITH 12GA RING SHANKED NAILS LENGTH SUFFICIENT TO PROVIDE FULL PENETRATION THROUGH SHEATHING. INSTALL 4 FASTENERS PER SHINGLE
3. INSTALL ROOF PER MANUFACTURES RECOMMENDATIONS AND TO COMPLY WITH 3030 FBC SEVENTH EDITION. CONTRACTOR TO PROVIDE MANUFACTURES SPECIFICATIONS, DETAILS AND WARRANTY INFORMATION.
4. 6" .024 ALUMINUM FASCIA AND 2" .024 DRIP EDGE TO MATCH EXISTING
5. SOFFIT TO BE VENTED FIBER CEMENT
6. GUTTER TO BE 5"x5" .032 ALUMINUM BOX GUTTER. PROVIDE STRAPS/BRACKETS AT 30" O/C
7. DOWNSPOUTS TO BE 4"x4" ALUMINUM, PROVIDE 24" EXTENSION PERPENDICULAR TO WALL AT GRADE. DOWNSPOUT SUPPORTS AT MAXIMUM OF 48" O/C
8. FIBERGLASS SHINGLE ROOF - MATCH EXISTING MANUFACTURER, SIZE, AND COLOR. FASCIA AND SOFFIT TO MATCH EXISTING.
9. SUBMIT ROOF SYSTEM SPECIFICATIONS, DETAILS AND WARRANTY INFORMATION FOR OWNER REVIEW.

This item has been electronically signed and sealed by Victor Prebor AIA using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

### ROOF PLAN

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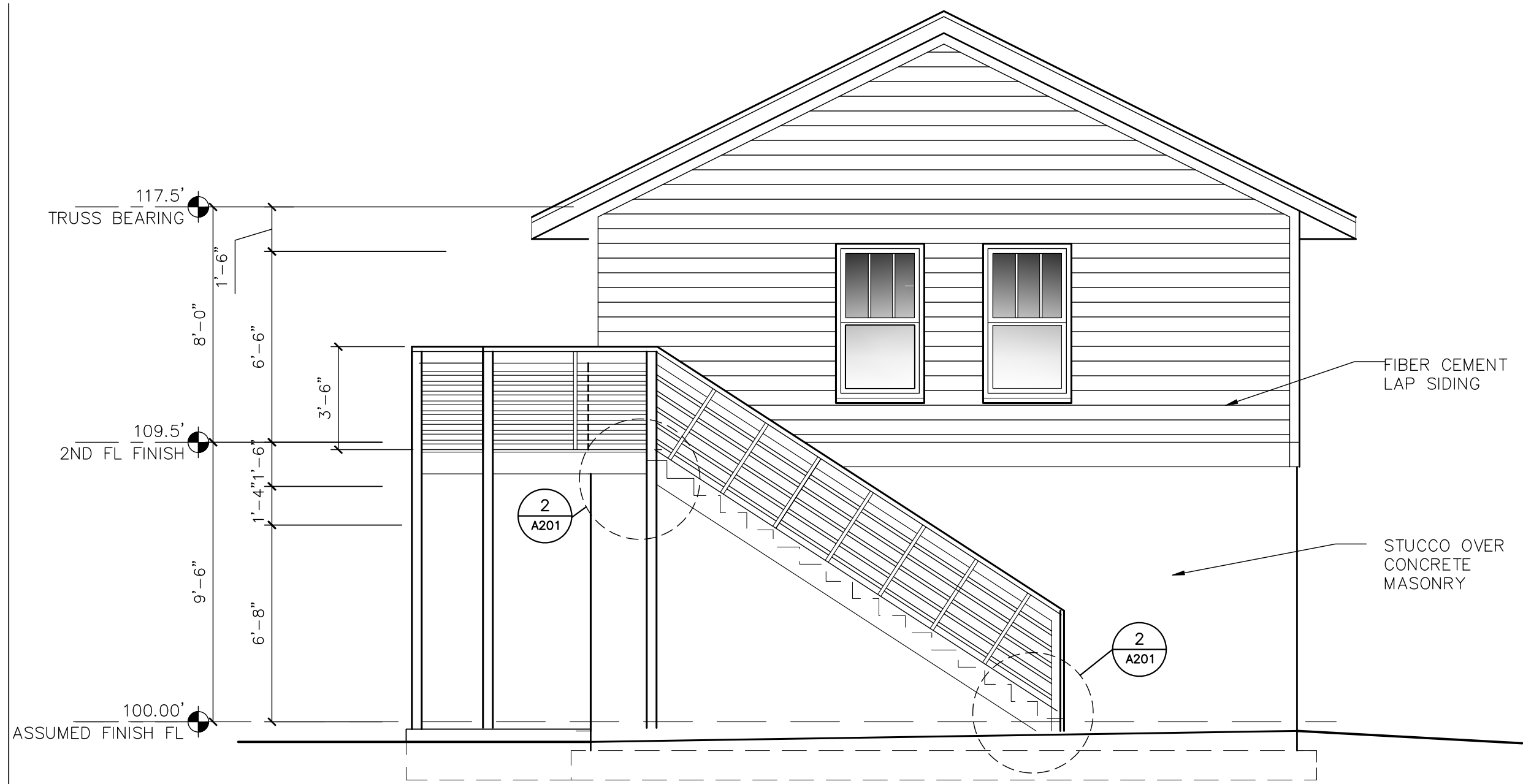
Victor PREBOR ARCHITECTURE  
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FLORIDA A26003300

NEW GARAGE APARTMENT for:  
WALTERS RESIDENCE  
1017 SOUTH BLVD, LAKE LAND, FL 3380X

22R045

|          |            |
|----------|------------|
| review   | 11.30.2022 |
| bid      |            |
| permit   |            |
| revision |            |

A-102



NORTH ELEVATION

1/4" = 1'-0"

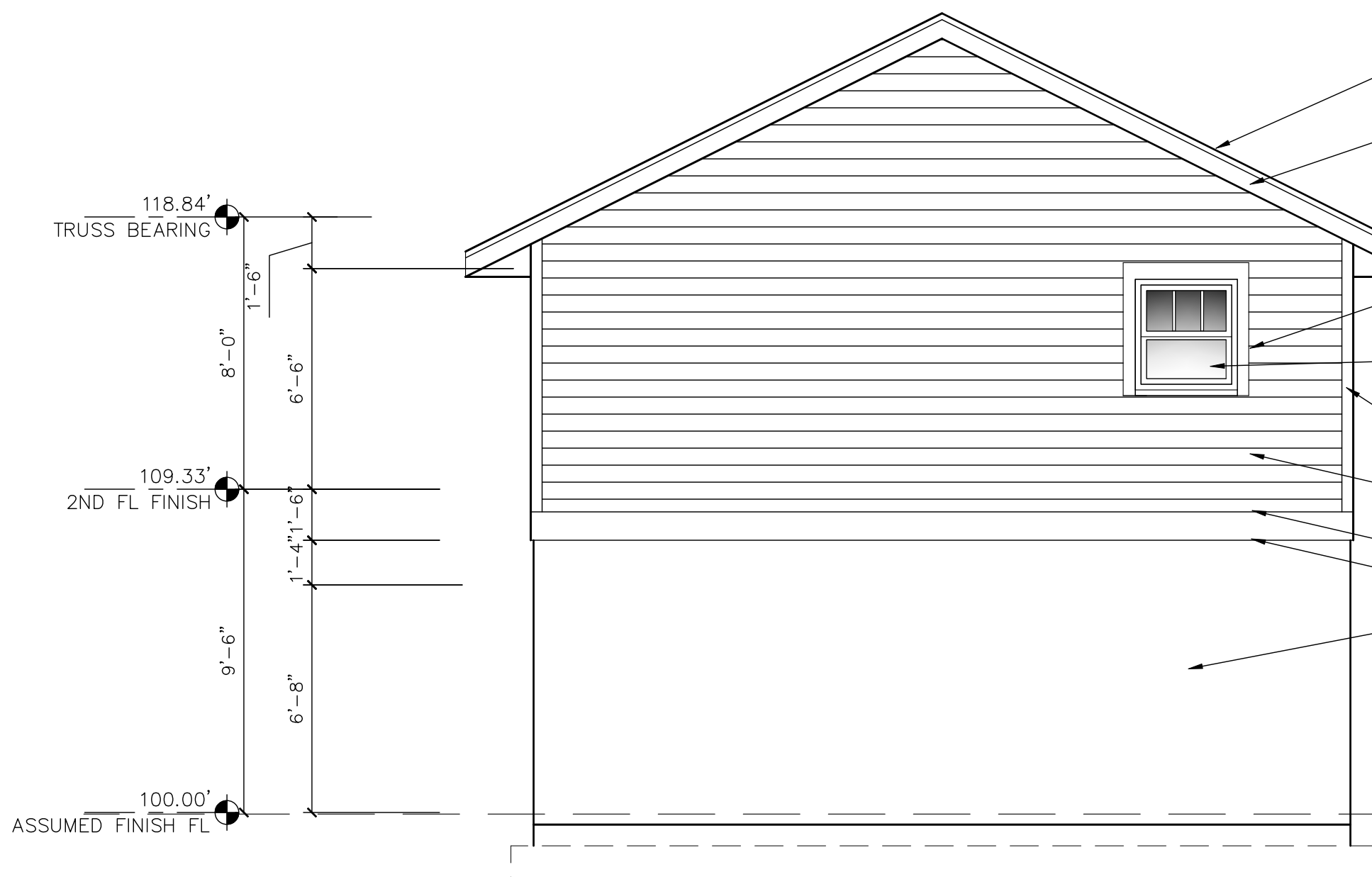
1' 0' 2' 4'



WEST ELEVATION

1/4" = 1'-0"

1' 0' 2' 4'



SOUTH ELEVATION

1/4" = 1'-0"

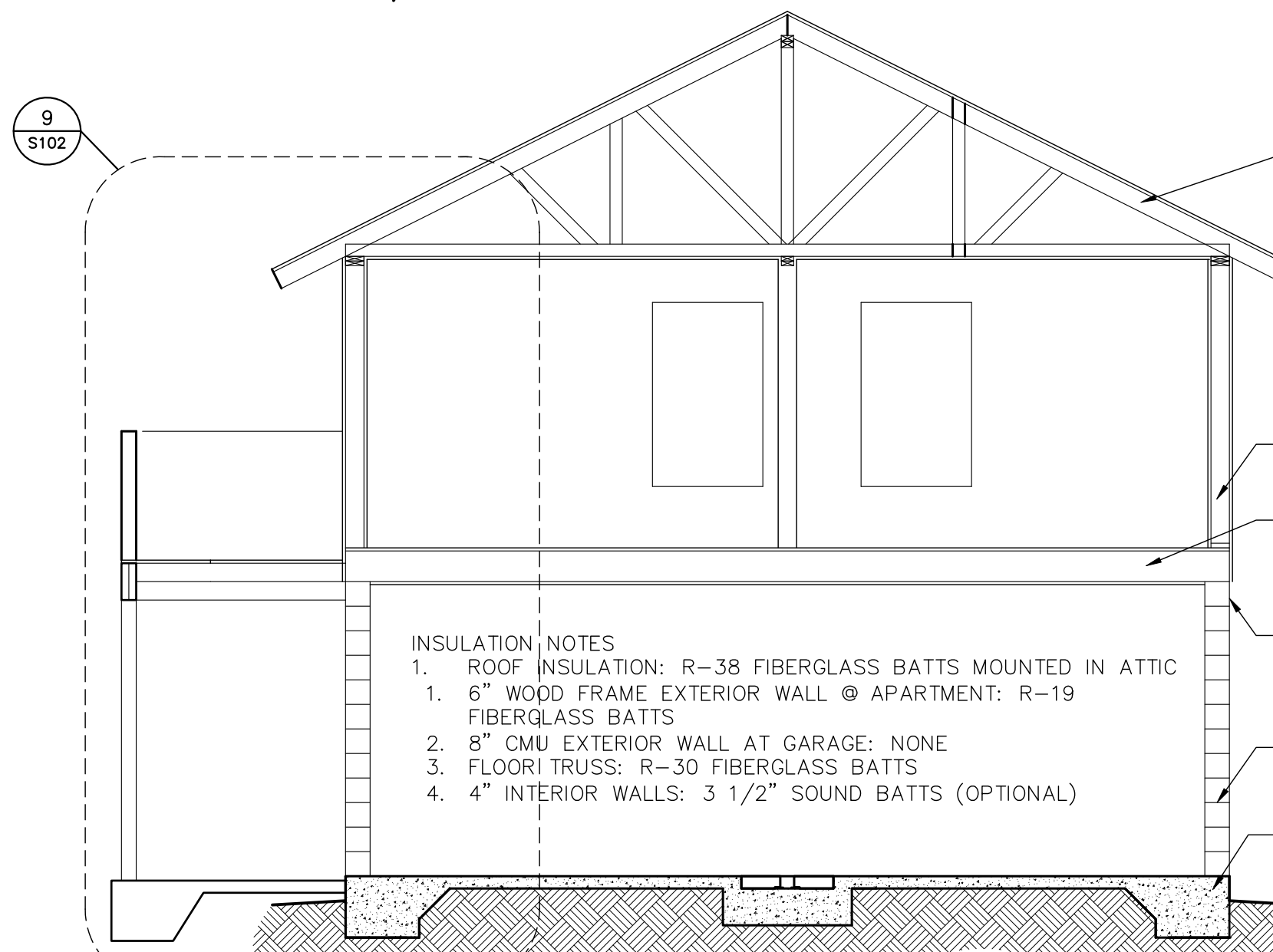
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EAST ELEVATION

1/4" = 1'-0"

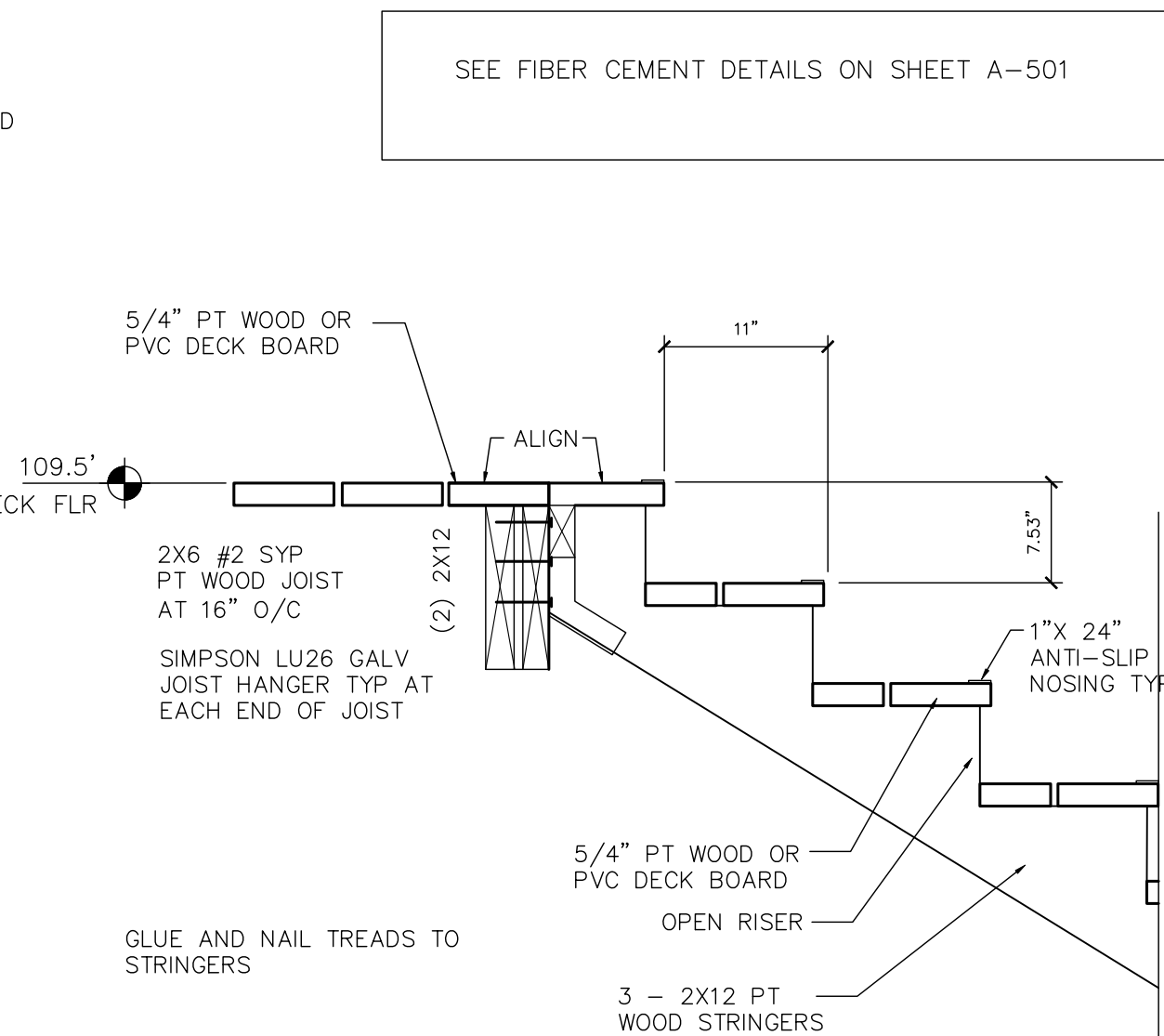
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CROSS SECTION A-A

1/4" = 1'-0"

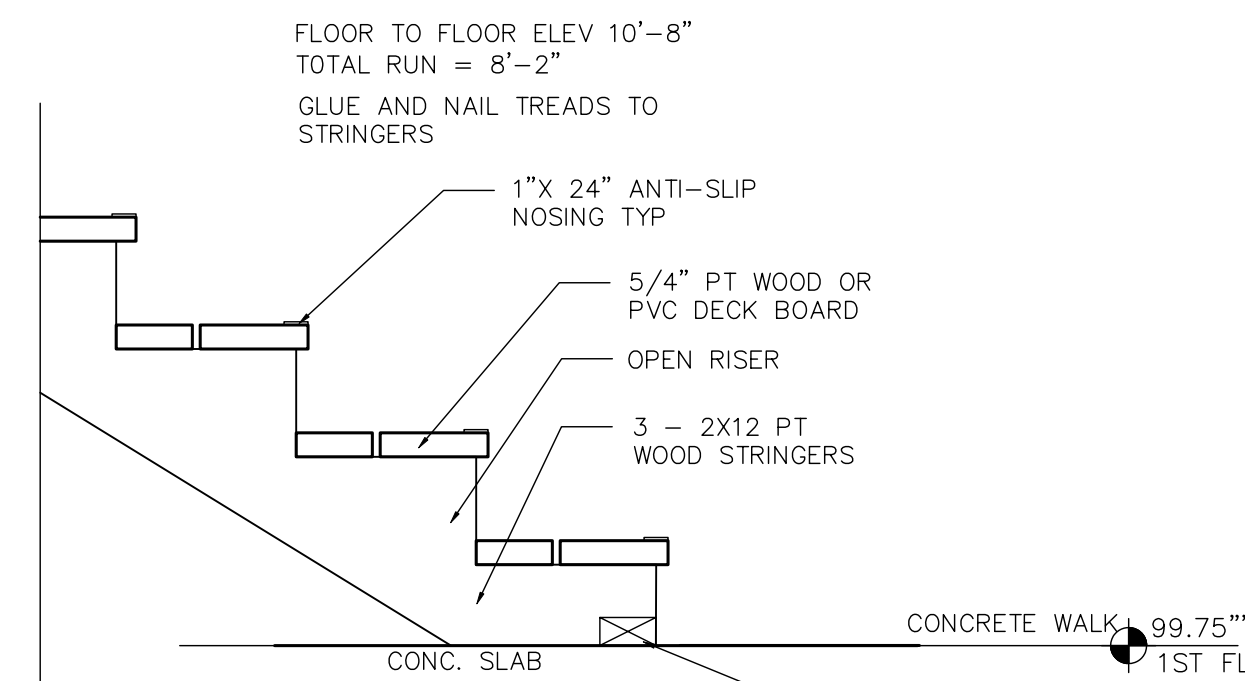
1' 0' 2' 4'



WOOD STAIR TOP CONNECTION

1 1/2" = 1'-0"

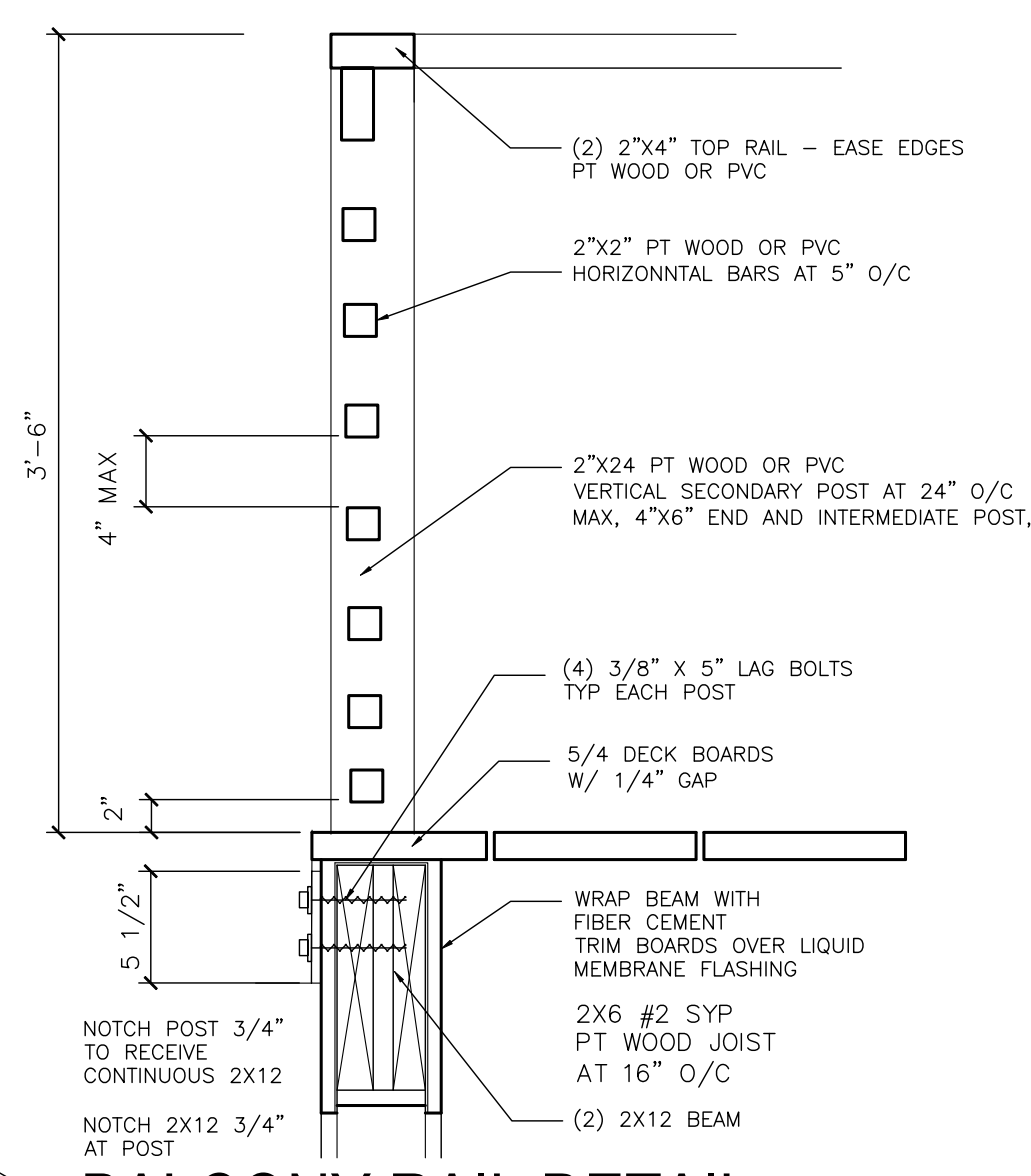
1' 0' 1' 2'



WOOD STAIR BOTTOM CONNECTION

1 1/2" = 1'-0"

1' 0' 1' 2'



BALCONY RAIL DETAIL

1 1/2" = 1'-0"

1' 0' 1' 2'

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ELEVATION GENERAL NOTES

1. SEE SHEET A-101 FOR ADDITIONAL DEMOLITION NOTES, ANNOTATIONS, SYMBOLS AND ABBREVIATIONS. SEE ENTIRE SET FOR EXTENT OF NEW WORK. ALL WALLS, DOORS, ELECTRICAL ETC TO BE REMOVED IF REQUIRED TO COMPLETE INSTALLATION OF NEW WORK.

ROOFING NOTES

1. UNDERLAYMENT: (2) LAYERS ASTM-D-226 TYPE I or TYPE II SECURE WITH 12 ga 1 1/4" GALV ANNULAR RING SHANK ROOFING NAILS FASTENED THROUGH 32GA X 1 5/8" DIAMETER TIN CAPS. FASTENERS TO BE 6" O/C ALONG SEAMS AND 12" O/C IN FIELD.
2. SHINGLES: GAF FIBERGLASS REINFORCED 30 YEAR ARCHITECTURAL GRADE FIBERGLAS SHINGLES FASTENED WITH 12GA RING SHANKED NAILS SUFFICIENT TO PROVIDE FULL PENETRATION THROUGH SHEATHING. INSTALL 4 FASTENERS PER SHINGLE
3. INSTALL ROOF PER MANUFACTURES RECOMMENDATIONS AND TO COMPLY WITH 3030 FBC SEVENTH EDITION. CONTRACTOR TO PROVIDE MANUFACTURES SPECIFICATIONS, DETAILS AND WARRANTY INFORMATION.
4. 6" .024 ALUMINUM FASCIA AND 2" .024 DRIP EDGE TO MATCH EXISTING
5. SOFFIT TO BE VENTED FIBER CEMENT
6. GUTTER TO BE 5"X5" .032 ALUMINUM BOX GUTTER. PROVIDE STRAPS/BRAKETS AT 30" O/C
7. DOWNSPOUTS TO BE 4"X4" ALUMINUM, PROVIDE 24" EXTENSION PERPENDICULAR TO WALL AT GRADE. DOWNSPOUT SUPPORTS AT MAXIMUM OF 48" O/C

WOOD STAIR NOTES:

1. WOOD STAIRS TO COMPLY WITH 2020 FLORIDA BUILDING CODE SEVENTH EDITION RESIDENTIAL AS WELL AS OTHER CODES, REGULATIONS OR ORDINANCES FROM ANY INTITY WITH JURISDICTION OVER THIS PROJECT.
2. STRINGERS (3)2X12 PT WOOD
3. TREAD TO BE 5/4" DECK BOARD W/ 1/4" GAP BETWEEN
4. RISER TO BE OPEN
5. TOP OF GUARDRAIL TO BE 42" ABOVE DECK SURFACE.
5. STAIRS TO BE INSTALLED LEVEL AND PLUMB AND TO CONFORM TO CONTRACT DOCUMENTS INTENT.
5. HANDRAILS TO BE 1 1/2" HARD WOOD, JOINTS TO BE CLOSED. PROVIDE 11" EXTENSION AT BOTTOM AND 12" LEVEL EXTENSION AT TOP. RETURN EXTENSION TO WALL. CODE COMPLIANT METAL BRACKETS INSTALLED AT A MAXIMUM SPACING OF 5'-0" O/C. HANDRAILS TO BE INSTALLED ON INTERIOR SIDE OF STAIR RUN

Victor M. Prebor AIA

VICTOR PREBOR ARCHITECTURE

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FLORIDA A26003300

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NEW GARAGE APARTMENT for:  
WALTERS RESIDENCE  
1017 SOUTH BLVD, LAKELAND, FL 33808

EXTERIOR ELEVATIONS

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revision  
11.30.2022

A-201



ABBREVIATIONS

|          |                                       |          |                        |
|----------|---------------------------------------|----------|------------------------|
| A.B.     | ANCHOR BOLT                           | K.O.     | KNOCK OUT              |
| A.C.T.   | ACUSTICAL CEILING TILE                | LAB.     | LABORATORY             |
| A/C      | AIR CONDITIONER                       | LAM.     | LAMINATE(D)            |
| ADJ.     | ADJUSTABLE                            | LAV.     | LAVATORY               |
| A.F.F.   | ABOVE FINISH FLOOR                    | LB.(s)   | POUND(S)               |
| ALT.     | ALTERNATE                             | L.F.     | LINEAR FOOT            |
| ALUM.    | ALUMINUM                              | LGT.     | LENGTH                 |
| A.P.     | ACCESS PANEL                          | LH       | LEFT HAND              |
| APPROX.  | APPROXIMATE                           | LIN.     | LINEN                  |
| ARCH.    | ARCHITECTURAL                         | LKR.     | LOCKER                 |
| A.S.     | ABOVE SLAB                            | LTT      | LIGHT                  |
| AUTO.    | AUTOMATIC                             | MAINT.   | MAINTENANCE            |
| B/       | BOTTOM OF                             | MAS.     | MASONRY                |
| BD.      | BOARD                                 | MATL.    | MATERIAL               |
| BLDG.    | BUILDING                              | MAX.     | MAXIMUM                |
| BKL.     | BLOCK                                 | MECH.    | MECHANICAL             |
| BKL.G.   | BLOCKING                              | MEZZ.    | MEZZANINE              |
| BM.      | BEAM                                  | MFR.     | MANUFACTURER           |
| B.M.     | BENCH MARK                            | MONT.    | MANAGEMENT             |
| BOT.     | BOTTOM                                | MIN.     | MINIMUM                |
| B.S.     | BOTH SIDES                            | MISC.    | MISCELLANEOUS          |
| B.T.B.   | BACK TO BACK                          | M.O.     | MASONRY OPENING        |
| B.U.R.   | BUILT UP ROOFING                      | M.R.     | MOISTURE RESISTANCE    |
| CAB.     | CABINET                               | MTD.     | MOUNTED                |
| C.B.     | CATCH BASIN                           | MTG.     | MOUNTING               |
| CCTV.    | CLOSED CIRCUIT TELEVISION             | MTL.     | METAL                  |
| C.G.     | CORNER GUARD                          | MULL.    | MULLION                |
| C.J.     | CONTROL JOINT                         | N.I.C.   | NOT IN CONTRACT        |
| C.L.     | CENTER LINE                           | NO.      | NUMBER                 |
| CLG.     | CEILING                               | NOM.     | NOMINAL                |
| CLO.     | CLOSET                                | NT.S.    | NOT TO SCALE           |
| CLR.     | CLEAR                                 | O.A.     | OVERALL                |
| CLS.     | CLOSURE                               | O.C.     | ON CENTER              |
| C.M.     | CONSTRUCTION MANAGER                  | O.D.     | OUTSIDE DIAMETER       |
| C.M.U.   | CONCRETE MASONRY UNIT                 | OFF.     | OFFICE                 |
| COL.     | COLUMN                                | OH.      | OVERHEAD               |
| CONC.    | CONCRETE                              | OPP.     | OPPOSITE               |
| CONF.    | CONFERENCE                            | OPPH.    | OPPOSITE HANG          |
| CONT.    | CONTINUOUS                            | O.T.O.   | OUT TO OUT             |
| C.P.     | CONTROL PANEL                         | P.A.     | PUBLIC ADDRESS         |
| CPT.     | CARPET                                | PART.    | PARTITION              |
| COR.     | CORRIDOR                              | P.V.     | PAVEMENT               |
| C.T.     | CERAMIC TILE                          | P.C.     | PRECAST                |
| CU.      | CUBIC                                 | PFB.     | PREFABRICATE(D)        |
| C.W.     | COLD WATER                            | PFN.     | PREFINISHED            |
| DBL.     | DOUBLE                                | PL.      | PLATE                  |
| DEMO.    | DEMOLISH                              | PL.WD.   | PLYWOOD                |
| DEPT.    | DEPARTMENT                            | PR.      | PAIR                   |
| DET.     | DETAIL                                | PROP.    | PROPERTY               |
| D.F.     | DRINKING FOUNTAIN                     | P.S.     | PULL STATION           |
| DIA.     | DIAMETER                              | P.S.F.   | POUNDS PER SQUARE FOOT |
| DIA.G.   | DIAGONAL                              | P.S.I.   | POUNDS PER SQUARE      |
| DIM.     | DIMENSION                             | P.T.     | PAINTED                |
| DISP.    | DISPENSER                             | Q.T.     | QUANTITY               |
| DIV.     | DIVISION                              | R.       | RISER                  |
| DN.      | DOWN                                  | RAD.     | RADIUS                 |
| D.D.     | DOOR OPENING                          | R.C.P.   | REFLECTED CEILING PLAN |
| DP.      | DAMP-PROOFING                         | R.D.     | ROOF DRAIN             |
| DR.      | DOOR                                  | REC.     | RECESSED               |
| DTL.     | DETAIL                                | RECEP.   | RECEPTION              |
| DW.      | DISH WASHER                           | REF.     | REFERENCE              |
| DWG.     | DRAWING                               | REFR.    | REFRIGERATOR           |
| E.A.     | EACH                                  | REINF.   | REINFORCED             |
| E.F.S.   | EXTERIOR FINISH SYSTEM                | RED'D.   | REDUCE                 |
| E.I.F.S. | EXTERIOR INSULATION FINISH SYSTEM     | REV.     | REVISION               |
| E.J.     | EXPANSION JOINT                       | R.H.     | RIGHT HAND             |
| ELEV.    | ELEVATION                             | RM.      | ROOM                   |
| ELEV.V.  | ELEVATOR V.                           | R.O.     | ROUGH OPENING          |
| ELEC.    | ELECTRICAL                            | S.C.     | SOLID CORE             |
| EMER.    | EMERGENCY                             | SCHED.   | SCHEDULE               |
| ENCL.    | ENCLOSURE                             | S.D.     | SOAP DISPENSER         |
| ENT.     | ENTRANCE                              | SECT.    | SECTION                |
| E.P.     | ELECTRICAL PANEL                      | S.F.     | SQUARE FOOT(FEET)      |
| EQ.      | EQUAL                                 | SHR.     | SHOWER                 |
| EQUIP.   | EQUIPMENT                             | SHT.     | SHEET                  |
| EXH.     | EXHAUST                               | SIM.     | SIMILAR                |
| EXIST.   | EXISTING                              | SPEC.    | SPECIFICATION          |
| EXP.     | EXPANSION                             | S.S.     | STAINLESS STEEL        |
| EXT.     | EXTERIOR                              | STD.     | STANDARD               |
| F.       | FACE OF                               | STL.     | STEEL                  |
| F.A.     | FIRE ALARM                            | STOR.    | STORAGE                |
| F.D.     | FLOOR DRAIN                           | STRUC.   | STRUCTURAL             |
| F.E.     | FIRE EXTINGUISHER                     | SUSP.    | SUSPENDED              |
| F.F.     | FINISH FLOOR                          | SYM.     | SYMMETRICAL            |
| F.H.     | FULL HEIGHT                           | T/       | TOP OF                 |
| F.H.C.   | FIRE HOSE CABINET                     | T. & B.  | TOP & BOTTOM           |
| FIN.     | FINISH                                | T. & G.  | TONGUE & GROOVE        |
| FL.      | FLOOR                                 | T.B.D.   | TO BE DETERMINED       |
| FLASH.   | FLASHING                              | TEL.     | TELEPHONE              |
| FLUOR.   | FLUORESCENT                           | TEMP.    | TEMPERED               |
| FP       | FIRE PROOF                            | TER.     | TERRAZZO               |
| FT.      | FOOT (FEET)                           | T.O.B.   | TOP OF BEARING         |
| F.T.F.   | FACE TO FACE                          | T.O.P.   | TOP OF PLATE           |
| FTG.     | FOOTING                               | TOPO.    | TOPOGRAPHY             |
| GA.      | GAUGE                                 | T.O.S.   | TOP OF SLAB            |
| GAL.V.   | GALVANIZED                            | T.O.STL. | TOP OF STEEL           |
| G.C.     | GENERAL CONTRACTOR                    | T.V.     | TELEVISION             |
| GEN.     | GENERAL                               | TYP.     | TYPICAL                |
| GND.     | GROUND                                | UNF.     | UNFINISHED             |
| GVL.     | GRAVEL                                | UNO.     | UNLESS NOTED OTHERWISE |
| GYP.     | GYPSPUM                               | UR.      | URINAL                 |
| GYP. BD. | GYPSPUM BOARD                         | V.       | VINYL                  |
| H.       | HIGH                                  | VAC.     | VACUUM                 |
| H.C.     | HOLLOW CORE                           | V.B.     | VINYL BASE             |
| H.C.P.   | HANDICAPPED                           | V.C.T.   | VINYL COMPOSITION TILE |
| HD.      | HARDWARE                              | VENT.    | VENTILATION            |
| HD.W.    | HARDWOOD                              | VERT.    | VERTICAL               |
| H.M.     | HOLLOW METAL                          | VEST.    | VESTIBULE              |
| H.O.     | HOLD OPEN                             | V.I.F.   | VERIFY IN FIELD        |
| HORIZ.   | HORIZONTAL                            | V.I.     | VINYL TILE             |
| HR.      | HOOR                                  | V.V.C.   | VINYL WALL COVERING    |
| HT.      | HEIGHT                                | W.       | WITH                   |
| HTG.     | HEATING                               | W/O      | WITHOUT                |
| H.V.A.C. | HEATING, VENTILATING, AIR CONDITIONER | W.C.     | WATER CLOSET           |
| H.W.     | HOT WATER                             | WD.      | WOOD                   |
| H.W.H.   | HOT WATER HEATER                      | WDT.     | WIDTH                  |
| IN.      | INCHES                                | W.F.     | WIDE FLANGE            |
| INCAND.  | INCANDESCENT                          | W.H.     | WATER HEATER           |
| INCL.    | INCLUDE(D)                            | WIN.     | WINDOW                 |
| INFO.    | INFORMATION                           | W.M.     | WIRE MESH              |
| INSUL.   | INSULATION                            | WPGF.    | WATERPROOFING          |
| INT.     | INTERIOR                              | WSCT.    | WAINSCOT               |
| INV.     | INVERT                                |          |                        |
| J.B.     | JOIST BEARING                         |          |                        |
| J.C.     | JANITOR'S CLOSET                      |          |                        |
| JT.      | JOINT                                 |          |                        |
| K.D.     | KNOCK DOWN                            |          |                        |
| KIT.     | KITCHEN                               |          |                        |

STANDARD MOUNTING HEIGHTS

GENERAL:

MOUNTING HEIGHTS INDICATED APPLY FOR GENERAL CONDITIONS UNLESS NOTED OTHERWISE (DIMENSIONS REPRESENT DISTANCE ABOVE FINISH FLOOR TYPICAL). IF CONFLICTS ARISE, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION OF BACK BOXES OR FRAMING; MODIFY THESE HEIGHTS AS NECESSARY TO CONFORM TO FAIR HOUSING REQUIREMENTS, LOCAL CODE.

ITEM MOUNTING HEIGHT:

|                               |  |
|-------------------------------|--|
| THERMOSTATS:                  | 5'-0" AFF TO CENTER  |
| ELECTRICAL RECEPTACLE:        | 1'-6", OR 4" ABOVE COUNTER AND BACKSPASH, OR CENTER IN SPACE |
| ELECTRICAL @ WALL MOUNTED TV: | 7'-8" TO CENTER  |
| ELECTRICAL SWITCH:            | 3'-6", OR 4" ABOVE TOP OF COUNTER OR BACKSPASH, TO CENTER    |

GENERAL NOTES

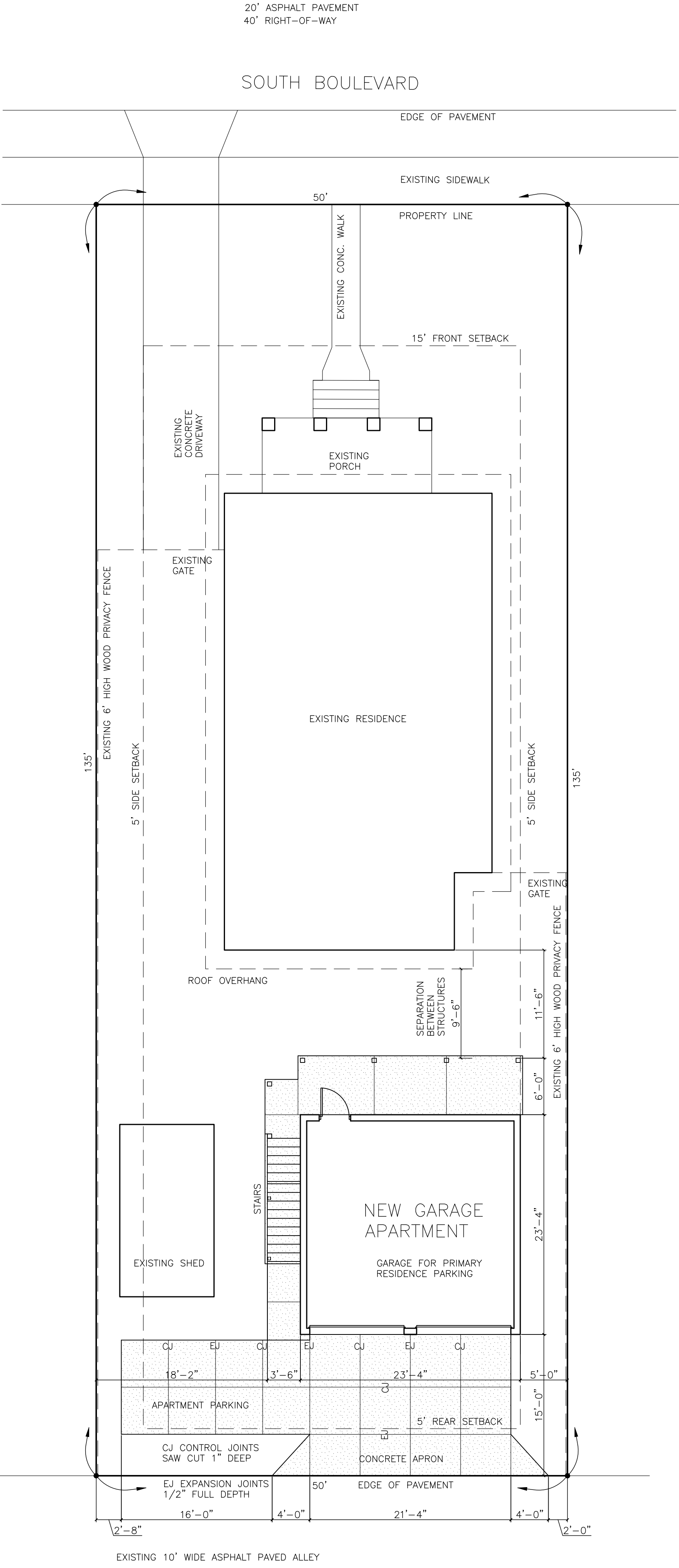
- THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE: BUILDING, SEVENTH EDITION (2020) AND THE 2020 FLORIDA BUILDING CODE, EXISTING SEVENTH EDITION.
- SEE CODE DATA SHEET FOR ADDITIONAL CODE REFERENCES.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES OR ORDINANCES OR REQUIREMENTS OF ENTITIES HAVING JURISDICTION.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW COMPLETE SETS OF DRAWINGS, SPECIFICATIONS, AND ALL OTHER PORTIONS OF THE COMPLETE CONTRACT DOCUMENTS. WORK PER TRADE IS NOT LIMITED TO SPECIFIC SHEETS.
- SEE SHEET G-100 FOR ADDITIONAL NOTES, ANNOTATIONS, SYMBOLS, AND ABBREVIATIONS
- IF DETAILS OR NOTES REFERENCED ARE NOT LOCATED, CONTACT THE ARCHITECT TO PROVIDE UNLESS SPECIFICALLY REFERENCED TO BE PROVIDED BY OTHERS.
- CONSTRUCTION SITE MUST BE VISITED BY THE CONTRACTOR TO VERIFY EXISTING CONDITIONS. IF CONDITIONS DIFFER FROM WHAT IS SHOWN OR CONFLICTS WITH WHAT IS SHOWN, NOTIFY THE ARCHITECT.

SYMBOL LEGEND

|  |                                       |
|--|---------------------------------------|
|  | WALL TYPE                             |
|  | MILLWORK LABEL                        |
|  | ROOM NUMBER LABEL                     |
|  | DOOR NUMBER LABEL                     |
|  | WINDOW TYPE LABEL                     |
|  | REVISION NUMBER AND CLOUD             |
|  | COLUMN BUBBLE                         |
|  | PROPERTY LINE                         |
|  | elevation number                      |
|  | INTERIOR ELEVATION                    |
|  | drawing number                        |
|  | EXTERIOR ELEVATION                    |
|  | detail number                         |
|  | DETAIL, ENLARGED PLAN, ETC. REFERENCE |
|  | drawing number                        |
|  | section number                        |
|  | WALL SECTION REFERENCE                |
|  | drawing number                        |
|  | section number                        |
|  | BUILDING SECTION REFERENCE            |
|  | drawing number                        |

GENERAL

- ALL CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW COMPLETE SETS OF DRAWINGS, SPECIFICATIONS, AND ALL OTHER PORTIONS OF THE COMPLETE CONTRACT DOCUMENTS.
- GENERAL CONTRACTOR IS TO ENSURE THAT ALL SYSTEMS SHALL BE PROVIDED COMPLETE WITH EVERYTHING NECESSARY SHOWN AND INFERRED FOR A FULLY FUNCTIONING CODE COMPLYING PROJECT.
- CONTRACTORS AND SUBCONTRACTORS BIDDING ON THIS MUST VISIT EXISTING SITE TO PROPERLY UNDERSTAND THE NATURE AND EXTENT OF WORK. NEW WORK MUST COMPLY WITH THE INTEND OF THE WORK, AS WELL AS INDIVIDUAL SPECIFIC CONDITIONS SHOWN. CHANGE ORDERS WILL NOT BE GRANTED FOR WORK REQUIRED THAT MAY BE REASONABLY INFERRED TO BE NECESSARY BY THE INTENT OF THE WORK. NDR WILL CHANGE ORDERS BE GRANTED FOR WORK REQUIRE WHICH A SITE VISIT WOULD HAVE REVEALED.
- ALL DISCIPLINES MUST BID ON COMPLETE SETS OF DOCUMENTS. THE SEPARATIONS USED HEREIN ARE USED ONLY FOR THE PURPOSES OF CONVENIENCE AND REFERENCE AND IN NO WAY DO THEY DEFINE OR LIMIT THE SCOPE OR INTENT OF ANY PART OF THE DRAWINGS.
- IN THE EVENT OF AN INCONSISTENCY BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT, THE CONTRACTOR SHALL SEEK CLARIFICATION OR INTERPRETATION FROM THE ARCHITECT PRIOR TO BIDDING. WHERE INCONSISTENCIES ARE NOT CLARIFIED PRIOR TO BIDDING, AND WHERE THE ACTUAL SOLUTION OR INTENT CANNOT BE REASONABLY INFERRED, THE CONTRACTOR SHALL INCLUDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK IN THE BID PROPOSAL.
- DRAWINGS AND SPECIFICATIONS SHALL BE KEPT AT THE JOB SITE.
- REFER TO CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED OR REASONABLY INFERRED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- CONSTRUCTION DOCUMENTS CAN NOT DETAIL EVERY CONDITION, HOWEVER, EVERY CONNECTION, CORNER FLASHING, ETC. MUST BE RESOLVED. CONTRACTOR SHALL COOPERATE WITH THE ARCHITECT IN THIS REGARD, AND ABIDE BY ARCHITECT'S DECISION WHEN DISCREPANCIES ARISE.
- THE CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS, BY WORKING ON, OR PROVIDING MATERIALS FOR THIS PROJECT HEREBY AGREE TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS HAVING JURISDICTION OVER THIS PROJECT, AND TO COMPLY WITH ALL GOVERNING CODES INCLUDING BUT NOT LIMITED TO THE EDITIONS SPECIFIED IN THE PROJECT MANUAL, AND IF NOT SPECIFIED THEN THE LATEST EDITION OF THE FLORIDA BUILDING CODE, 7TH EDITION 2020.



ADDRESS

1017 SOUTH BLVD. LAKELAND, FL 33803  
PARCEL ID: 24-28-19-32000-001180  
OWNER: MARTEN WALTERS  
ORIGINAL HOUSE CONSTRUCTED 1925  
WOOD FRAME - VINYL SIDING - GABLE SHINGLED ROOF  
COX & JOHNSONS SUB OF SCOTTS LAKELAND  
HTS PB 2 PG 10 BLK 1 LOT 18

LOT BOUNDARY SURVEY DATED - NOT PROVIDED

LOT DATA

|  |              |
|--|--------------|
| ZONING CITY OF LAKELAND                | RA-4         |
| LOT AREA                               | 6,750 SF     |
| EXISTING ONE STORY RESIDENCE FOOTPRINT | 1,344 SF     |
| EXISTING COVERED FRONT PORCH           | 144 SF       |
| NEW TWO STORY GARAGE APARTMENT         | 544 SF       |
| LOT COVERAGE (BUILDING)                | 30% 2,032 SF |
| EXISTING ENTRY WALK                    | 88 SF        |
| EXISTING SHED                          | 183 SF       |
| NEW CONCRETE DRIVE                     | 537 SF       |
| NEW CONCRETE STAIR PAD                 | 18 SF        |
| NEW CONCRETE BALCONY PAD               | 209 SF       |
| LOT COVERAGE OTHER                     | 15% 1,035 SF |
| TOTAL LOT COVERAGE                     | 45% 3,067 SF |
| PERCENTAGE GREEN                       | 55% 3,683 SF |

BUILDING DATA

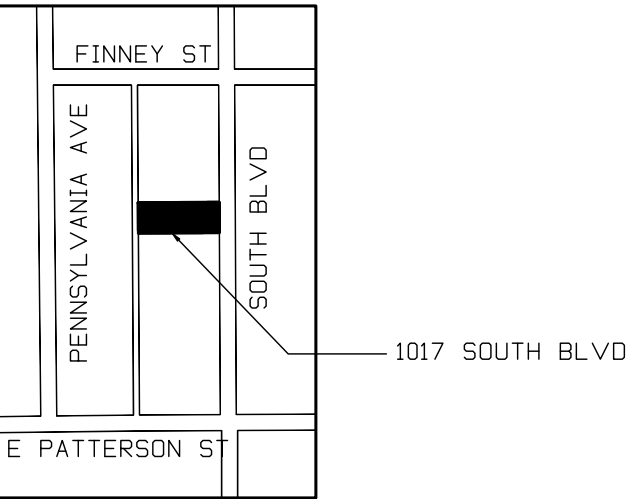
|   |            |
|---|------------|
| EXISTING FIRST FLOOR (NO WORK PROPOSED) | 1,344 S.F. |
| EXISTING FRONT PORCH                    | 144 S.F.   |
| NEW GARAGE APARTMENT                    | 544 SF     |
| GROUND FLOOR GARAGE                     | 544 SF     |
| SECOND FLOOR APARTMENT                  | 544 SF     |
| TOTAL                                   | 1,088 S.F. |
| TOTAL ENCLOSED                          | 2,432 S.F. |

ACCESSORY BUILDING UNIT STANDARDS

|   |                  |                 |
|---|------------------|-----------------|
| A) FRONT YARD (EAST) SETBACK - EXISTING ONE STORY                   | 5' MIN. REQUIRED | 22.67' PROVIDED |
| B) INTERIOR SIDE YARD (SOUTH) SETBACK - EXISTING ONE STORY          | 5' MIN REQUIRED  | 8.00' PROVIDED  |
| B) INTERIOR SIDE YARD (SOUTH) SETBACK - PROPOSED TWO STORY ADDITION | 5' MIN REQUIRED  | 9.00' PROVIDED  |
| B) INTERIOR SIDE YARD (NORTH) SETBACK - EXISTING ONE STORY          | 5' MIN REQUIRED  | 13.58' PROVIDED |
| B) INTERIOR SIDE YARD (NORTH) SETBACK - PROPOSED TWO STORY ADDITION | 5' MIN REQUIRED  | 21.67' PROVIDED |
| C) REAR (WEST) SETBACK  | 5' MIN           | 55.83' PROVIDED |
| C) REAR (WEST) SETBACK - NEW GARAGE APARTMENT                       | 5' MIN           | 13.00' PROVIDED |
| D) MAX HEIGHT (GARAGE APARTMENT)                                    | 24' MAX          | 25' PROVIDED    |
| F) MINIMUM SEPARATION   | 6'               | 9.50' PROVIDED  |
| G) MINIMUM LIVING AREA  | 300 SF MIN       | 544 SF PROVIDED |
| MAXIMUM LIVING AREA 800 SF OR 40% OF EXISTING                       | 538 SF MAX       | 544 SF PROVIDED |

SITE NOTES

- EXISTING UNDERGROUND IRRIGATION SYSTEM TO REMAIN - REMOVE LINES AS REQUIRED BY NEW CONSTRUCTION. CAP. LINES REROUTE LINES
- REMOVE ALL ABANDONED UTILITIES WITHIN ARE OF NEW CONSTRUCTION. CAP LINES WHERE APPROPRIATE AND MARK ALL LOCATIONS ON RECORD DRAWINGS.
- LANDSCAPING AND IRRIGATION TO COMPLY WITH ORDINANCES, GUIDELINES, CODES AND REQUIREMENTS OF CITY OF LAKELAND AND DEED RESTRICTIONS.
- TRIMMING OF CANOPY OR ROOTS OF EXISTING TREES WHICH ARE TO REMAIN SHALL BE PERFORMED BY A LICENSED ARBORIST
- ALL LANDSCAPING TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING ALL CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENT, WALKS & CURBS WHICH ARE TO REMAIN SHALL BE PROTECTED DURING ALL CONSTRUCTION ACTIVITIES
- ALL EXISTING UTILITIES WHICH ARE TO REMAIN SHALL BE FLAGGED AND PROTECTED DURING ALL CONTRACTION ACTIVITIES.
- PATCH EXISTING ASPHALT PAVING WHERE DAMAGE DUE TO CONSTRUCTION.
- PATCHING EXISTING SIDEWALK - CONCRETE SIDE WALK TO BE 4" 2500 PSI FIBER REINFORCE CONCRETE WITH EXPANSION JOINTS AT 15' O.C. AND 1/4"x1" CONTROL JOINTS AT 5'0" O.C.



LOCATION MAP  
SCALE: NTS

Victor M. Prebor AIA  
130 S MASSACHUSETTS AVENUE SUITE 212, LAKELAND, FL 33801  
863.450.4514 M:863.255.7033 victor@prebor.com www.prebor3.com  
FLORIDA A26003300

This item has been electronically signed and sealed by Victor Prebor AIA using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SITE PLAN - GENERAL NOTES  
NEW GARAGE APARTMENT for: WALTERS RESIDENCE  
1017 SOUTH BLVD, LAKELAND, FL 33803

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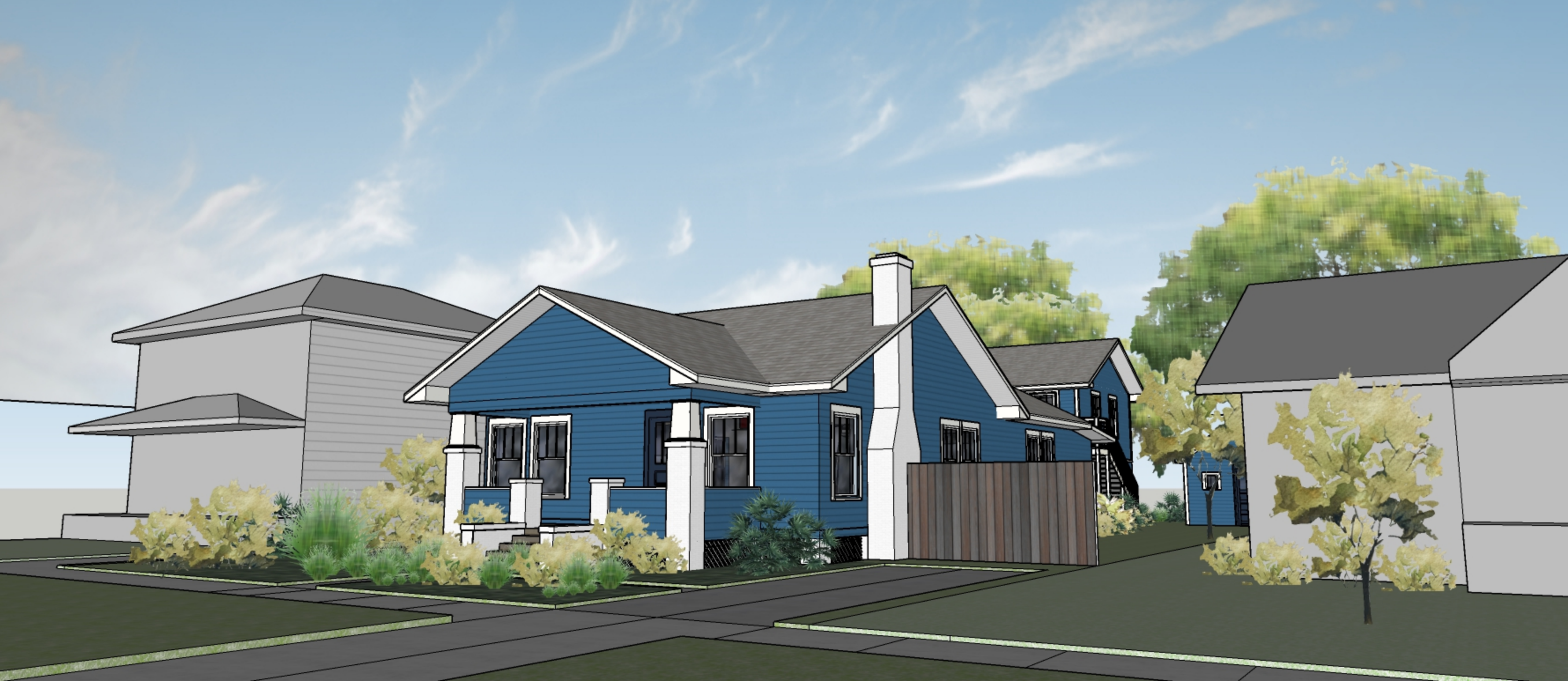
22R045

|          |            |
|----------|------------|
| review   | 11.30.2022 |
| bid      |            |
| permit   |            |
| revision |            |

G-100



















**HISTORIC PRESERVATION BOARD  
DESIGN REVIEW COMMITTEE  
STAFF REPORT  
February 23, 2023**

|   |  |
|---|--|
| <b>Project #</b>  | <b>HPB23-019</b>   |
| <b>Address; Historic Name</b>                             | <b>522 E. Park Street; "Albert E. Pike House" (CD 1925)</b>                                      |
| <b>Owner/Applicant</b>                                    | <b>Mr. Michael McArthur and Ms. Jennifer Smurr</b>   |
| <b>Design Professionals</b>                               | <b>Jon Kirk, Straughn Trout Architects and Matthew Smurr, CGC</b>                                |
| <b>Project Type</b>                                       | <b>Building Addition</b>   |
| <b>Historic District; FMSF#</b>                           | <b>South Lake Morton Historic District; #9-22</b>  |
| <b>Zoning; Future Land Use;<br/>Context District; SPI</b> | <b>RA-4; Residential Medium<br/>Urban Neighborhood; South Lake Morton SPI</b>                    |
| <b>Existing Use</b>                                       | <b>Residential</b>   |
| <b>Adjacent Properties</b>                                | <b>Residential</b>   |
| <b>Previous Approvals</b>                                 | <b>Fence, 10/26/2021 (HPB21-224); Fence, 3/10/2005 (2005-031); Re-roof, 6/10/1993 (1993-34).</b> |

#### REQUEST

The Applicant requests Final Approval to construct a two-story addition onto the rear elevation of the house.

#### SUMMARY OF BACKGROUND INFORMATION

The subject property is an interior lot of record (Dixieland, Block 15, Lot 19) consisting of 0.28 acres. On this property is a one-story, single-family residence built circa 1925 in the Bungalow architectural style, which is a contributing building in the South Lake Morton Historic District. The Bungalow styling of this house is expressed by a front-gabled roof, and a front porch with a hipped roof supported by square columns. The house also has novelty siding, corner boards, exposed rafter tails, and double-hung sash wood windows with a nine-over-one lite configuration in the Prairie style. This home remains in most of its original condition. The current living area of this house is 988 square feet, according to the Polk County Property Appraiser's office.

The Applicant's request proposes to construct a two-story addition onto the rear elevation of the home consisting of approximately 1,000 square feet, which will consist of additional living space, as well as an additional bedroom and bathroom. The proposed addition will remove two existing historical windows and a small shed-roofed porch on the rear elevation of the house. The addition will be approximately 26 feet 8 inches tall from finish floor grade to the ridge of the roof, and the design and materials for the addition are intended to be compatible with the existing house. Materials proposed for the addition include:

| <b>Scope</b>      | <b>Material</b>   |
|-------------------|---|
| Foundation        | Raised foundation to match existing   |
| Exterior Cladding | Wood lap siding to match existing novelty siding  |
| Trim/Casing       | Corner boards and window/door trim and casing to match existing   |
| Windows           | Aluminum single-hung sash windows with a Prairie style 9-lite upper sash; windows on south and east elevation of addition appear to be fixed windows with 4- and 8-lite configurations. |
| Roof              | Fiberglass or asphalt shingles to match existing; gable profile matching pitch with wood gable vent matching the design of the existing   |
| Fascia/Soffit     | Wood fascia; exposed eave and rafter tails to match existing  |

The site plan for the proposed addition shows building setbacks that comply with the City's Land Development Code, Urban Form Standards.

#### **APPLICABLE GUIDELINES:**

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The Secretary of Interior's Standards for Rehabilitation ("Standards") and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code, Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.5: Additions

- Ensure that Historic Buildings Remain the Central Focus. An addition should not damage or obscure architecturally important details and materials of the primary structure or other resources on the site. Additions should be distinguishable from the original structure without distracting from it.
- False Historicism/Conjectural History is Discouraged. Design additions should reflect their era of construction while respecting the historic context and architectural style of the original structure. Avoid using architectural details for additions that are more ornate than those found on the original structure or that are not characteristic of the original structure's architectural character.
- Additions that protect and maintain original architectural features during construction.
- Additions that minimize the loss of any architectural details or features.
- Additions that are subordinate to and compatible with the style and scale of the host structure.
- Side additions that are located behind the principal street-facing façade, or rear additions that are unnoticeable from the street.
- Additions that are designed with some distinction between the historic house and non-historic features.
- Additions that are differentiated from the host structure, e.g. by a recess in wall plane, lower roof height, or vertical trim piece.

#### **ANALYSIS:**

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In evaluating the request with the Standards, staff finds the requested addition does not disturb the spatial relationships that characterize the neighborhood, and the essential form and integrity of the subject house is maintained.

In evaluating the request with the Design Guidelines, the materials of the proposed addition reflect the original materials of the house and are compatible with the Guidelines. The design of the proposed addition's windows,

siding, open eave and exposed rafter tails, and roof pitch and form is consistent with the style of the subject house and Design Guidelines. Furthermore, the addition is appropriately placed on the rear elevation of the house.

Finally, the building setbacks for the new addition meet the requirements of the Land Development Code's Urban Form Standards.

**STAFF RECOMMENDATION:**

---

Final Approval of the request with the following conditions, to be approved by staff prior to permitting:

1. Siding on addition must match the exposure dimension and profile of the original siding on the house.
2. Windows on the addition shall comply with the following requirements:
  - a. Windows with a divided lite appearance must have dimensional muntins/grid installed on the exterior glass.
  - b. Windows must be recessed to provide a shadow line and not installed flush to the exterior wall surface.
  - c. Windows also must include historically appropriate trim, including header, sill, and apron.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation  
Liaison to the Historic Preservation Board

























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1. **Prüfung:** Die Prüfung ist am 20. November 2019, 14:00 Uhr, im Saal 108 der Fakultät für Wirtschaftswissenschaften, 35100 Kassel, Kassel-Universität, Kassel, Deutschland, stattfindet. Die Prüfungsdauer beträgt 90 Minuten.

[illegible]

JONATHAN A. FINK  
FLORIDA REG. NO. AM2116

**NOT FOR  
CONSTRUCTION**

**RESIDENCE**  
**RESIDENTIAL ADDITION**  
**522 E. PARK STREET**  
**LAKELAND, FL 33803**

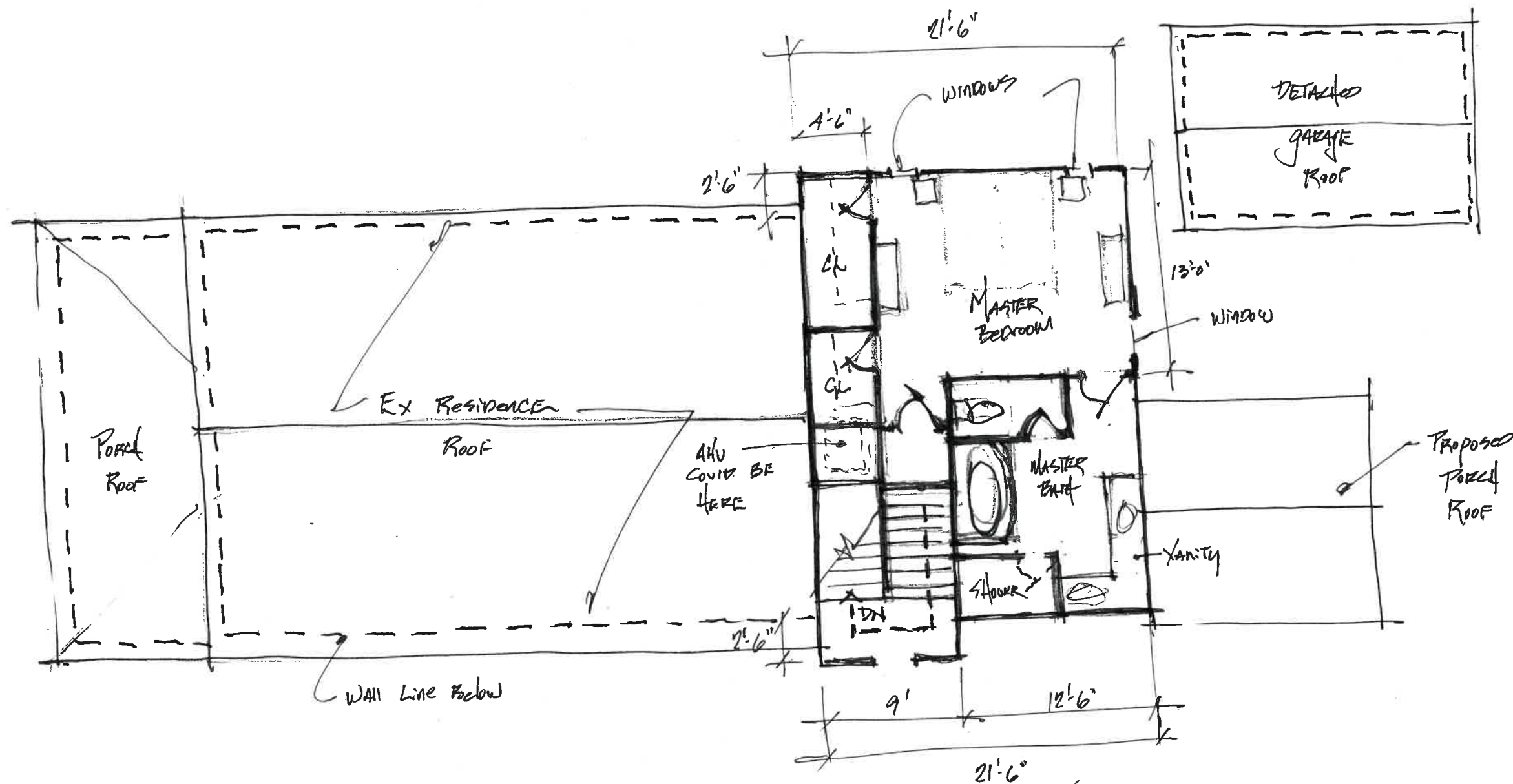
|               |     |
|---------------|-----|
| ETA PROJECT # | 230 |
|---------------|-----|

PROJECT MGR.: JAY

[illegible]

## SECOND FLOOR PLAN

A-102



SECOND FLOOR  
Scale:  $\frac{1}{8}'' = 1'-0''$



**HISTORIC PRESERVATION BOARD  
DESIGN REVIEW COMMITTEE  
STAFF REPORT  
February 23, 2023**

|   |   |
|---|---|
| <b>Project #</b>  | <b>HPB23-020</b>  |
| <b>Project Type</b>                                       | <b>Recess Storefront of Building</b>  |
| <b>Property Address</b><br><b>Historic Name(s)</b>        | <b>201 E. Main Street (108 S. Tennessee Avenue);<br/>N/A</b>  |
| <b>Historic District; FMSF#</b>                           | <b>Munn Park Historic District; N/A</b>   |
| <b>Owner/Applicant</b>                                    | <b>Mr. Saqib Khan/ Mr. Solomon Wassef, Lakeland Loft</b>  |
| <b>Zoning; Future Land Use;<br/>Context District; SPI</b> | <b>C-7; Regional Activity Center;<br/>Urban Center; N/A</b>   |
| <b>Existing Use</b>                                       | <b>Unoccupied Commercial</b>  |
| <b>Adjacent Properties</b>                                | <b>Commercial, Civic</b>  |
| <b>Previous Approvals</b>                                 | <b>Signs, 1/15/1987 (1986-14); Signs 4/8/1993 (1993-22); Signs,<br/>6/9/1994 (1994-30); Signs, 2/3/2003 (2003-012); Wall Sign, 9/2/2015<br/>(HPB15-133); Wall Sign, 1/28/2016 (HPB15-200); Wall Sign,<br/>1/28/2022 (HPB22-016)</b> |

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#### **REQUEST**

The Applicant requests to remove the current glass and metal frame storefront on the ground floor of the subject building and construct a recessed storefront to provide covered outdoor seating for a proposed new bar use in the ground floor tenant space.

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#### **SUMMARY OF BACKGROUND INFORMATION**

The subject property is located at the southeast corner of S. Tennessee Avenue and E. Main Street, and consists of one lot of record (Munn's Survey, Block 18, Lot G) with a total area of 0.10 acres. On the property is a two-story commercial building. Built circa 1959, this building is a noncontributing structure in the Munn Park Historic District. Historically, this building has served office uses on both floors. Currently, the second floor serves Lakeland Loft, while the ground floor is unoccupied.

This masonry vernacular building features stucco exterior cladding, a pedimented parapet roofline, and horizontal, sculptured banding. Glass and metal storefront windows exist on the north and west ground floor elevations; the north elevation has an off-centered and recessed double door entry.

In addition to a renovation of the building's ground floor interior, the Applicant requests to remove the existing storefront windows, doors, and framing on the north elevation and recess this feature 25 feet inside the existing footprint of the ground floor, where the materials of the storefront will be reused and reinstalled. The storefront windows on the west elevation will remain as is. The masonry wall structure surrounding the storefront will not be altered, but may be repainted.

---

#### **APPLICABLE GUIDELINES:**

*The Secretary of Interior's Standards for Rehabilitation* and the City of Lakeland's *Design Guidelines for Historic Properties* are the basis for review per the City of Lakeland Land Development Code (LDC), Article 11: Historic Preservation Standards.

The following *Standards* apply to this request:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.12: Understanding Commercial Area Form

- Retention and maintenance of all original cornice, wall articulation, window, and storefront details and materials of historic buildings.
- Repair, rather than replace deteriorated features.
- Where necessary, replace historic features with “in-kind”, similar historic materials, or compatible substitutes.
- Design strategies for storefronts that extend the useful life of the structure or bring it up to current day building codes and standards are acceptable.
- Use of replacement storefront materials that are comparable to original materials in size, color, shape and texture.

## **ANALYSIS:**

---

Staff finds that the proposed request meets the intent of the Standards and Design Guidelines in terms of not destroying historic building fabric or adversely affecting architectural integrity, as the subject building is a non-contributing structure within the Munn Park Historic District. Staff finds that the existing storefront does not have a unique design or distinctive materials or is otherwise historically important, and that the relocation of the storefront is reversible. The proposed recessed storefront area provides a design strategy to serve a variety of uses for the building and extend its useful life, consistent with the Design Guidelines. The recessed storefront treatment is consistent with other storefronts along E. Main Street, including Black and Brew and Linksters.

Staff recommends that a simply designed metal handrail balustrade or knee wall is installed along the north elevation footprint of the existing storefront windows to provide a traditional bulkhead appearance and prevent a trip hazard from the existing storefront base, or to remove the existing base altogether.

## **STAFF RECOMMENDATION:**

---

Final Approval of the request with the following conditions, to be approved by staff before building permit application submittal:

1. Install a simply designed metal handrail balustrade or knee wall along the north elevation footprint of the existing storefront windows above the storefront base, or remove this base altogether.
2. Provide an exterior paint palette if repainting the exterior of the building.
3. Signage will require an additional historical review and sign permit application.

Report prepared by: Emily M. Foster, Senior Planner, Historic Preservation  
Liaison to the Historic Preservation Board



My name is Soloman Wassef, I have been a resident of Lakeland for approximately 30 years. I have been a part of the business community in downtown Lakeland for approximately 16 years. I have been a responsible owner and businessperson supporting different organizations over the years.

I would like to expand the Lakeland Loft to include a different themed environment. A unique concept; an Island beach atmosphere. This will also include Caribbean themed cocktails, music, and an atmosphere that will attract a young business demographic.

Downtown Lakeland has been expanding with more residents, this will allow these residents to have more options instead of seeking entertainment in other nearby towns. This enables us to keep the residents safer, and happier while putting money back into our community while allowing the opportunity for local employment.

Many other cities provide lounges with different levels with different themes, we will be the first one in downtown Lakeland area. The upstairs level will continue to operate as a classy jazz themed cigar bar. The plan for the expansion into the downstairs space includes remodeling for outdoor seating, to match surrounding businesses (black and brew, linksters, etc.). The inside of this space will include a u-shaped tiki bar with a Caribbean style décor and music.

We want to provide an atmosphere which is entertaining filled with energy, music and delicious cocktails combined with the Caribbean vibe.

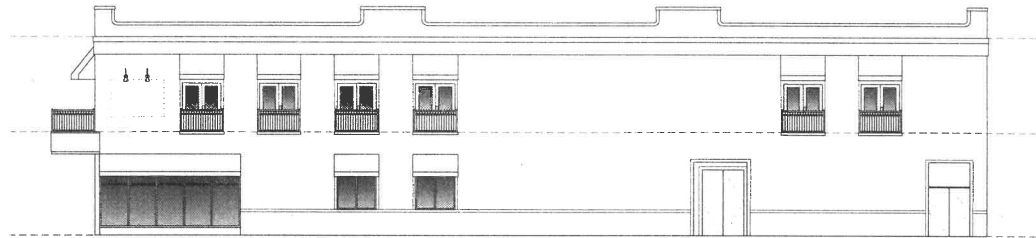




EXISTING ELEVATION - E MAIN STREET  
SCALE: 1/8" = 1'-0"



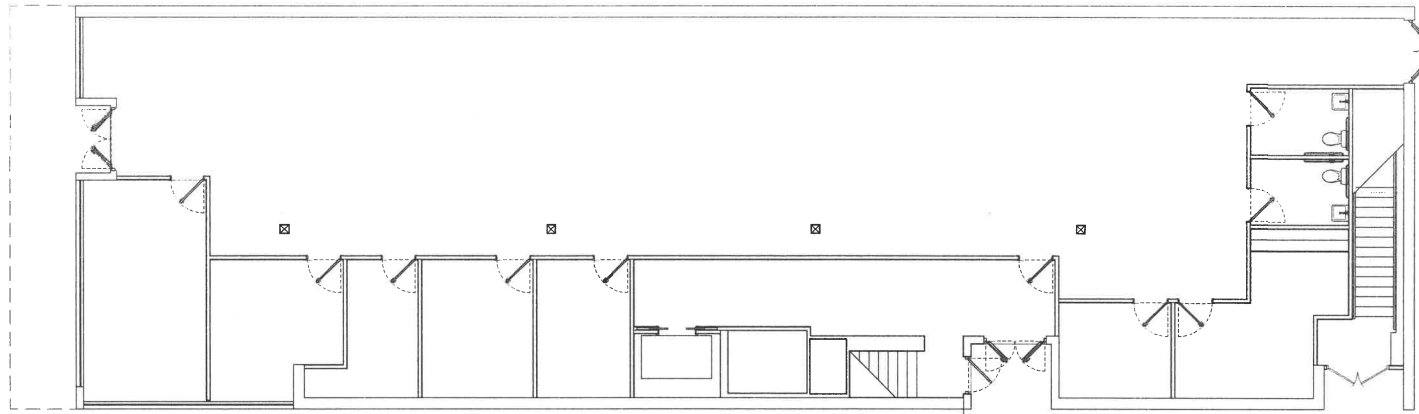
PROPOSED ELEVATION - E MAIN STREET  
SCALE: 1/8" = 1'-0"



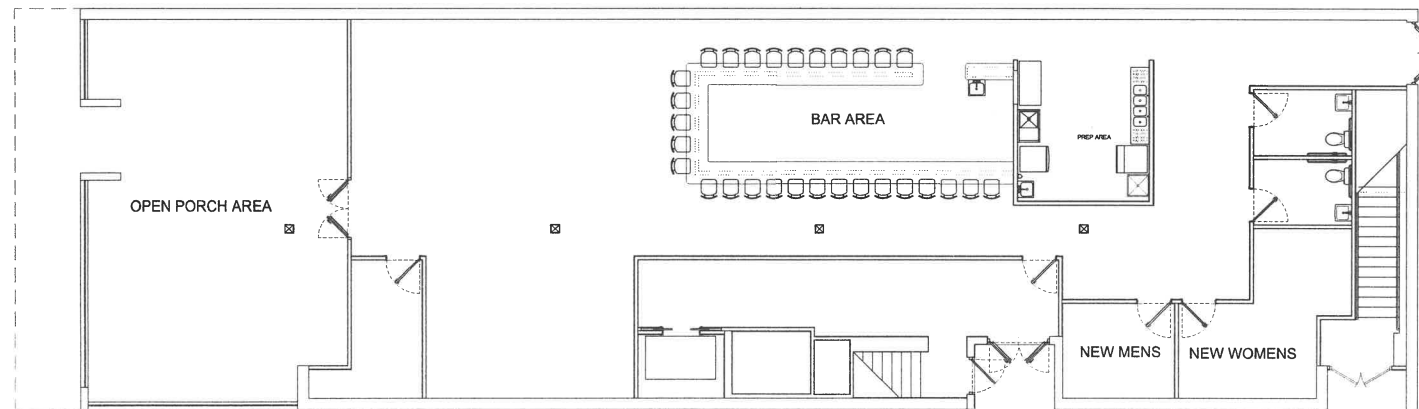
EXISTING ELEVATION - TENNESSEE AVE  
SCALE: 1/8" = 1'-0"



PROPOSED ELEVATION - TENNESSEE AVE  
SCALE: 1/8" = 1'-0"



FLOOR PLAN - EXISTING  
SCALE: 3/8" = 1'-0"



FLOOR PLAN - PROPOSED  
SCALE: 3/8" = 1'-0"



**HISTORIC PRESERVATION BOARD  
DESIGN REVIEW COMMITTEE  
STAFF REPORT  
February 23, 2023**

|   |   |
|---|---|
| <b>Project #</b>  | <b>HPB23-022</b>  |
| <b>Project Type</b>                                       | <b>Accessory Dwelling Unit</b>  |
| <b>Property Address</b>                                   | <b>809 Osceola Street</b>   |
| <b>Historic District;<br/>FMSF#</b>                       | <b>East Lake Morton Historic District;<br/>N/A</b>                            |
| <b>Owner/Applicant</b>                                    | <b>Mr. Greg Neely / Mr. Dan Sharrett, Sharrett Construction</b>               |
| <b>Zoning; Context District;<br/>Future Land Use; SPI</b> | <b>RA-4; Residential Medium;<br/>Urban Neighborhood; East Lake Morton SPI</b> |
| <b>Existing Use</b>                                       | <b>Residential</b>  |
| <b>Adjacent Properties</b>                                | <b>Residential</b>  |
| <b>Previous Approvals</b>                                 | <b>Demolition and New Construction, 4/23/2015 (HPB15-051)</b>                 |

## REQUEST

The Applicant requests Final Approval to construct an Accessory Dwelling Unit (“ADU”) on top of the existing detached garage in the rear yard of the subject property.

## SUMMARY OF BACKGROUND INFORMATION

The subject property consists of one interior lot of record (Rosedale Subdivision, Block A, Lot 18 west 40 feet) consisting of 0.12 acres. This property has alley access. On the property is a one-story single-family house, constructed in 2016 to reflect the Bungalow architectural style, which is a non-contributing building in the East Lake Morton Historic District. According to the Polk County Property Appraiser’s office, the total living area of this house is 1,447 square feet.

The Applicant requests to remove the gabled roof of the existing detached garage and construct a second story ADU on top of the garage, which is located in the rear yard of the subject property. The exterior dimensions of the ADU will match the garage and will be 19 feet ten inches by 21 feet 5 inches for a total area of 424.8 square feet. The new second story will feature a gabled roof with a 4/12 pitch matching the existing garage roof. The ADU will be accessed by an external stair. The second-story apartment will feature a full-width balcony on the east elevation of the building. Materials proposed to be used for the garage apartment include:

| <b>Scope</b>      | <b>Material</b>                           |
|-------------------|---|
| Exterior Cladding | Hardie board lap siding to match existing |
| Trim/Casing       | Hardie trim, casing, and corner boards    |
| Windows           | Vinyl single-hung sash windows            |
| Doors             | Fiberglass entry door                     |
| Roof              | Asphalt shingles; 4/12 pitch              |
| Stairs/Balcony    | Wood stairs and balcony                   |

The site plan submitted for this request shows building setbacks of nine feet from the west side property line, 7.16 feet from the east side property line, and 20 feet from the rear property line, which meets the requirements set forth in the City’s Land Development Code.

## APPLICABLE GUIDELINES:

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*The Secretary of Interior's Standards for Rehabilitation ("Standards")* and the City of Lakeland's *Design Guidelines for Historic Properties* ("Design Guidelines") are the basis for review per the City of Lakeland Land Development Code ("LDC"), Article 11: Historic Preservation Standards.

The following *Standards* apply to this project:

Standard #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following *Design Guidelines* apply to this project:

Chapter 4: Historical Development Patterns and New Construction

Sub-Chapter 4.9.1: Accessory Dwelling Units

- Accessory dwelling units that are configured as simple cottages or garage apartments.
- Accessory dwelling units that complement the architectural character of the principal house through the use of similar materials and simplified architectural elements.
- An accessory dwelling unit that is compatible and subordinate in scale and form to the principal house.
- Accessory dwelling units that are compliant with minimum building setbacks to reduce visual impacts from the street and adjacent properties.

## ANALYSIS:

---

In evaluating the request with the Standards, staff finds that the second story addition to the existing garage does not disturb the spatial relationships of surrounding buildings, and the essential form and integrity of the principal house is maintained. Materials similar to the existing garage and house will be used, which provides compatibility with the existing structures on this property.

In evaluating the request with the Design Guidelines, staff finds the subordinate scale of the second-story addition and its simplified design to be consistent with the Design Guidelines. Staff finds the materials and design of the window, doors, external stair, and roof pitch to be consistent with the Design Guidelines, and the structure is appropriately located to the rear of the lot with vehicular access from the alley. This structure is compatible with the development pattern in the Lake Morton neighborhood, in which accessory dwellings are commonly found in both historic and contemporary form.

For compliance with Land Development Code Sub-Section 4.3.2 regarding accessory dwelling units, as well as approval by the Planning and Zoning Board, the site plan also must show one additional off-street parking space to accommodate the ADU for Compatibility Review purposes. The building setbacks as shown on the site plan comply with the Land Development Code requirements.



**STAFF RECOMMENDATION:**

---

Final Approval of the request with the following conditions:

1. Use fiber cement lap siding with a maximum exposure of 6 inches.
2. Windows must be installed with a recess to provide a shadow line instead of installed flush with the exterior wall.

Report prepared by: Emily Foster, Senior Planner, Historic Preservation  
Liaison to the Historic Preservation Board



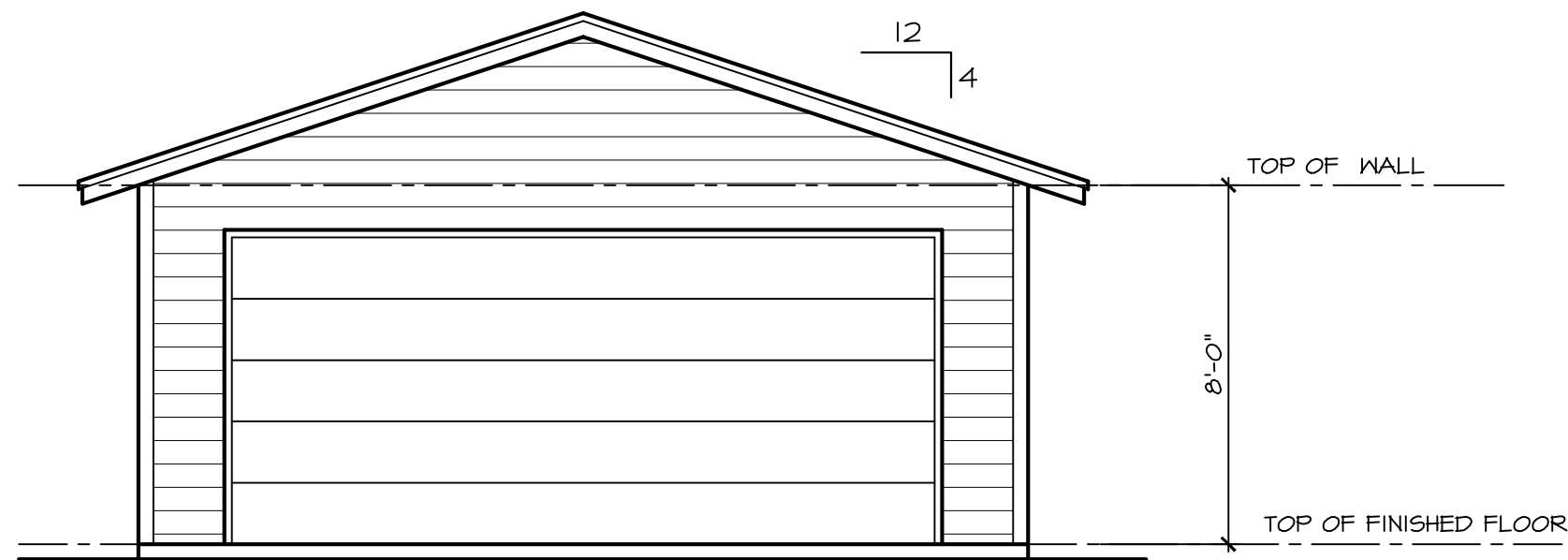




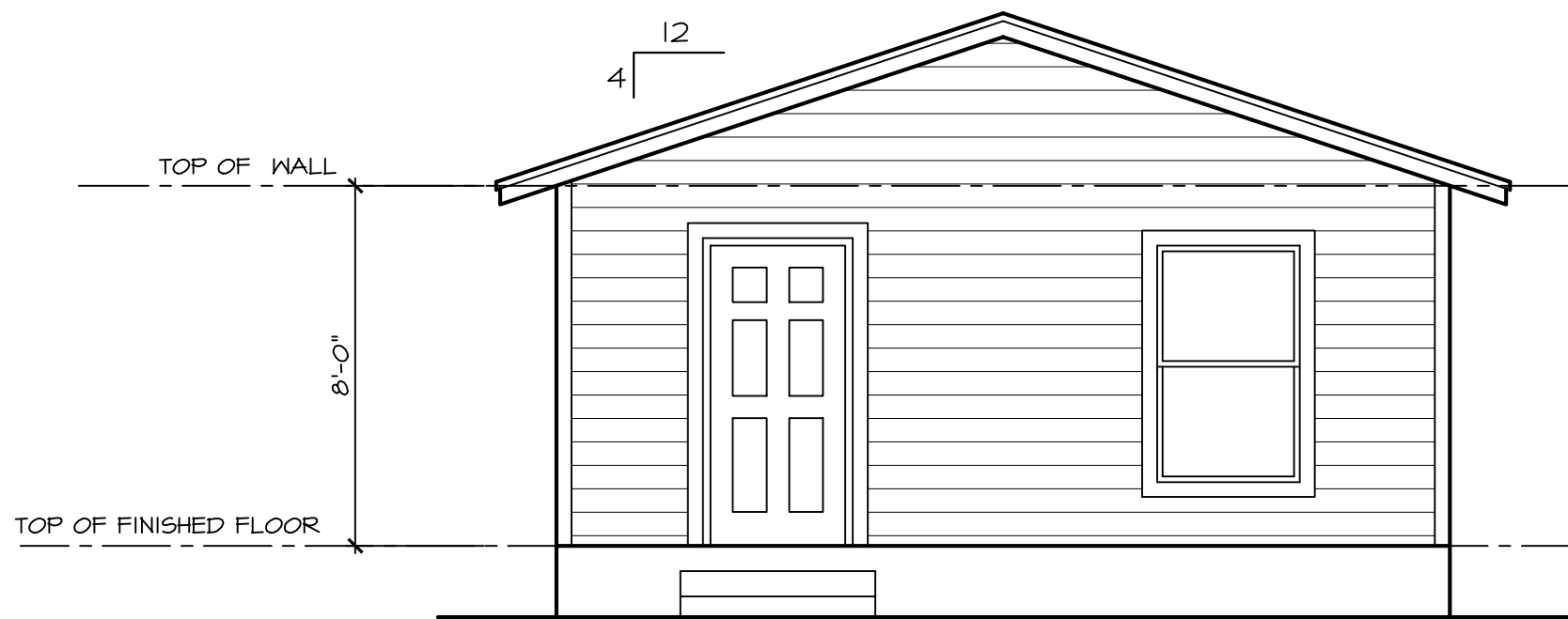




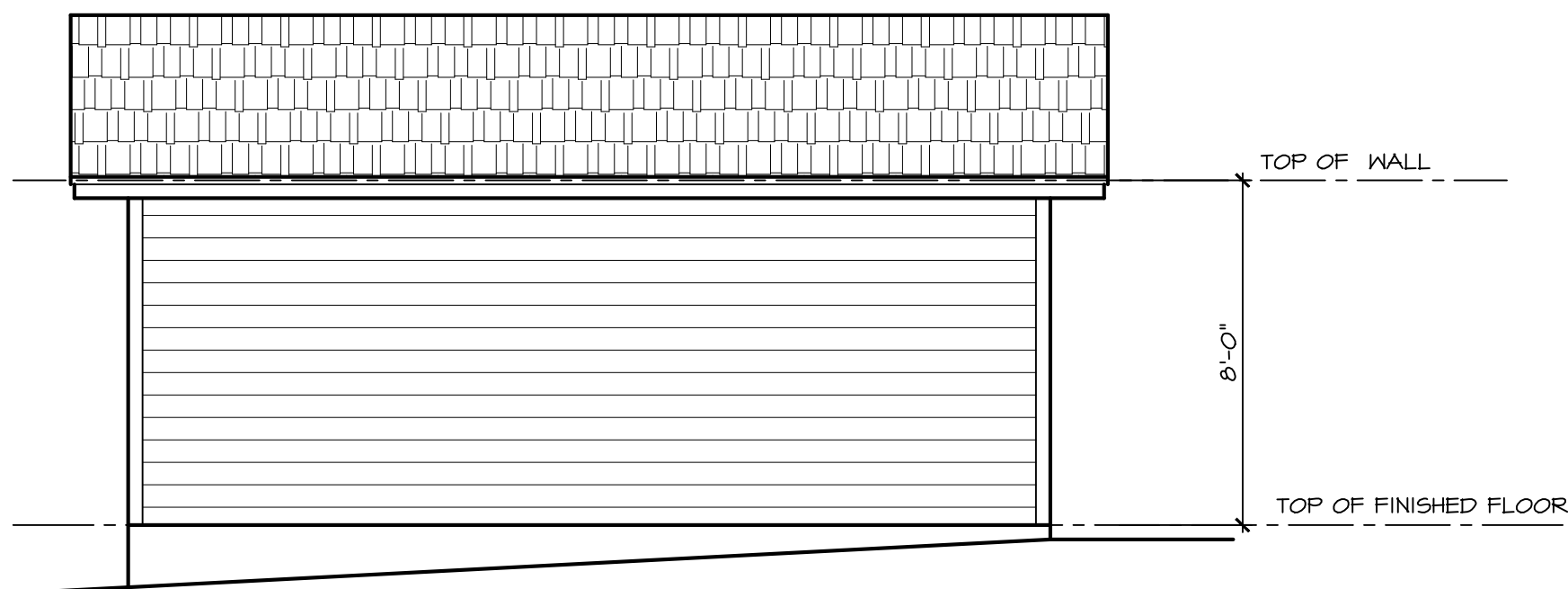




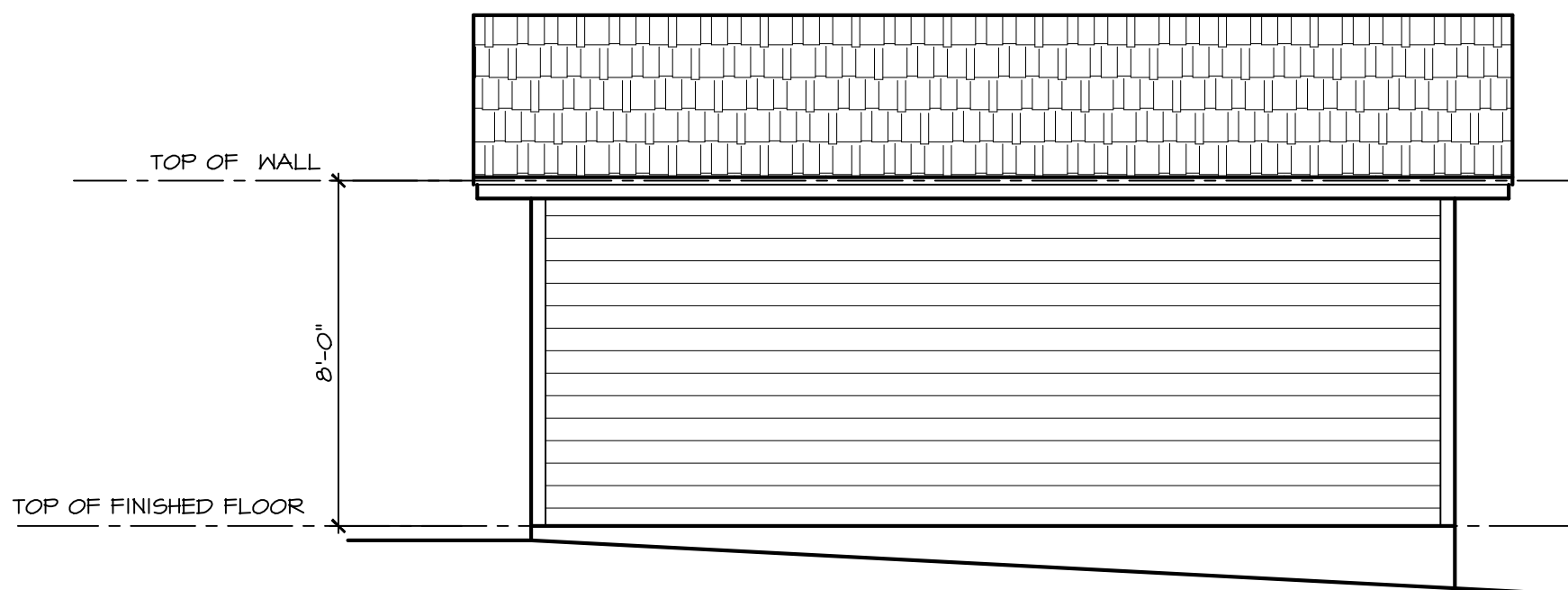
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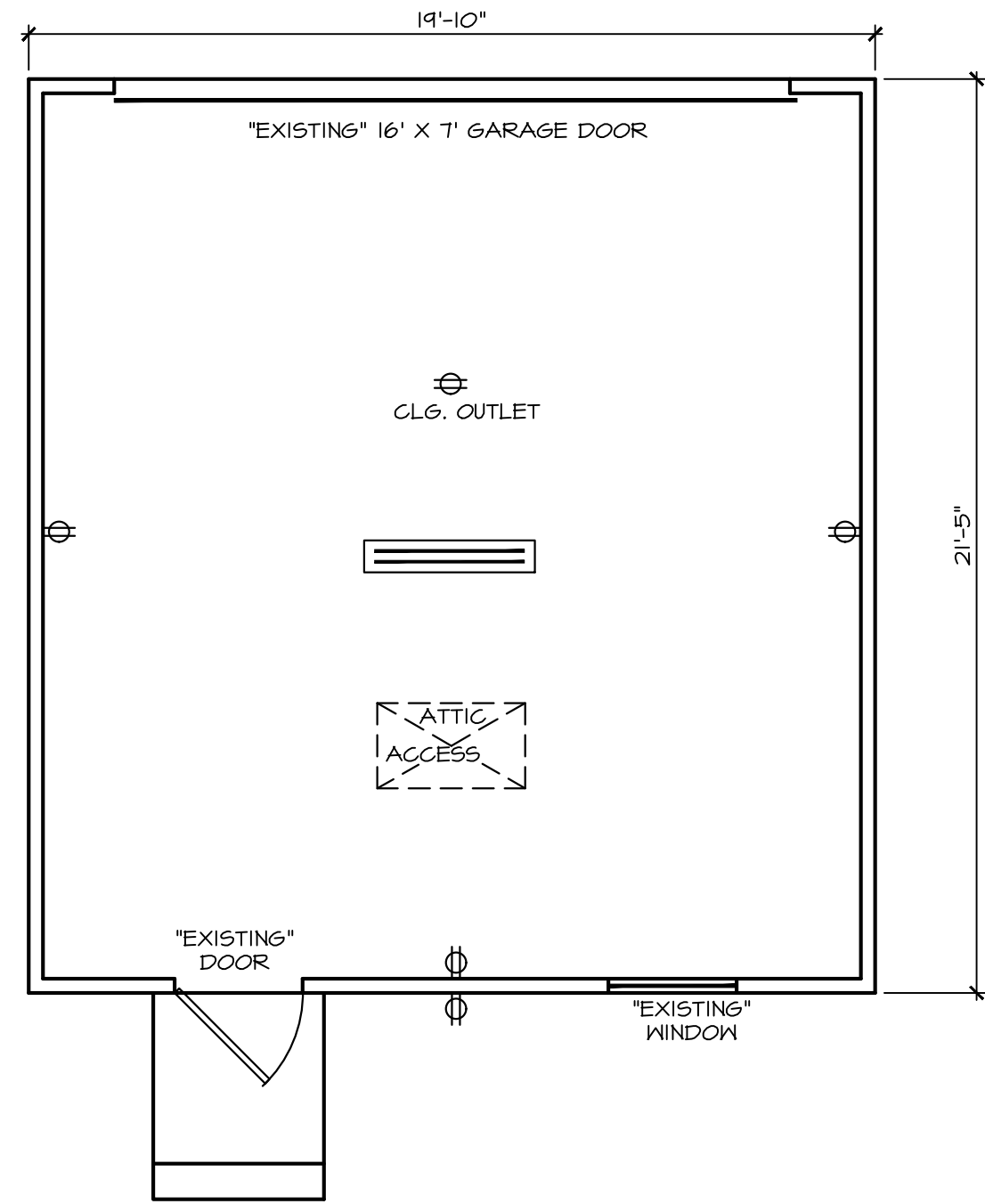
EXISTING FRONT ELEVATION  
1/4" = 1'-0"



EXISTING RIGHT ELEVATION  
1/4" = 1'-0"



EXISTING LEFT ELEVATION  
1/4" = 1'-0"



"EXISTING" FLOOR PLAN  
1/4" = 1'-0"

| AREA   | SQ.FT. |
|--------|--------|
| GARAGE | 425    |

### ELECTRICAL LEGEND

- ELECTRICAL OUTLET (110 VOLT, DUPLEX)
- SWITCHED ELECTRICAL OUTLET (110 VOLT, DUPLEX)
- WEATHERPROOF ELECTRICAL OUTLET GROUND FAULT (110 VOLT, DUPLEX)
- 220V OUTLET
- SPECIAL PURPOSE CONNECTION
- TELEPHONE OUTLET
- TELEVISION OUTLET
- SWITCH
- 3-WAY SWITCH
- SURFACE MOUNT LIGHT FIXTURE PREWIRE
- MOISTURE RESISTANT ROUND RECESS FOR TUB/SHOWER LOCATION

- ROUND RECESSED LIGHT FIXTURE
- SMOKE/CARBON MONOXIDE DETECTOR
- CEILING FAN PREWIRE
- 24" CEILING MOUNT FLUORESCENT LIGHT FIXTURE
- 48" CEILING MOUNT FLUORESCENT LIGHT FIXTURE
- SOFFIT MOUNT FLOOD LIGHTS
- EXHAUST FAN
- EXHAUST FAN / LIGHT FIXTURE COMBO

ELECTRICAL SERVICE PANEL

OUTLETS IN KITCHEN, BATHS, GARAGE AND WITHIN 6'-0" OF WATER SOURCE SHALL BE GFI TYPE  
ALL OTHER OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT BREAKER

I HEREBY CERTIFY:  
THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE 7TH EDITION FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION.

THIS ADDITION SHALL COMPLY WITH THE REQUIREMENTS IN THE 2020 FLORIDA BUILDING CODE - EXISTING BUILDING, 7TH EDITION CHAPTER 11 "ADDITIONS".

ENGINEER OF RECORD:

**ARKAY ENGINEERING INC.**  
STRUCTURAL ENGINEERS  
1458 E EDGEWOOD DR. LAKELAND, FLORIDA 33803  
PHONE: 863-688-6500 FAX: 863-688-6551  
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB6347  
RICHARD L. KIDDET, P.E. - FLORIDA LICENSE # 31246

**NEELY RESIDENCE**  
809 OSCEOLA ST  
LAKELAND, FL

**SHARRETT CONSTRUCTION**  
122 E MAIN ST  
LAKELAND, FLORIDA 33801  
Phone: (863) 840-9781

DATE: 01-23-23

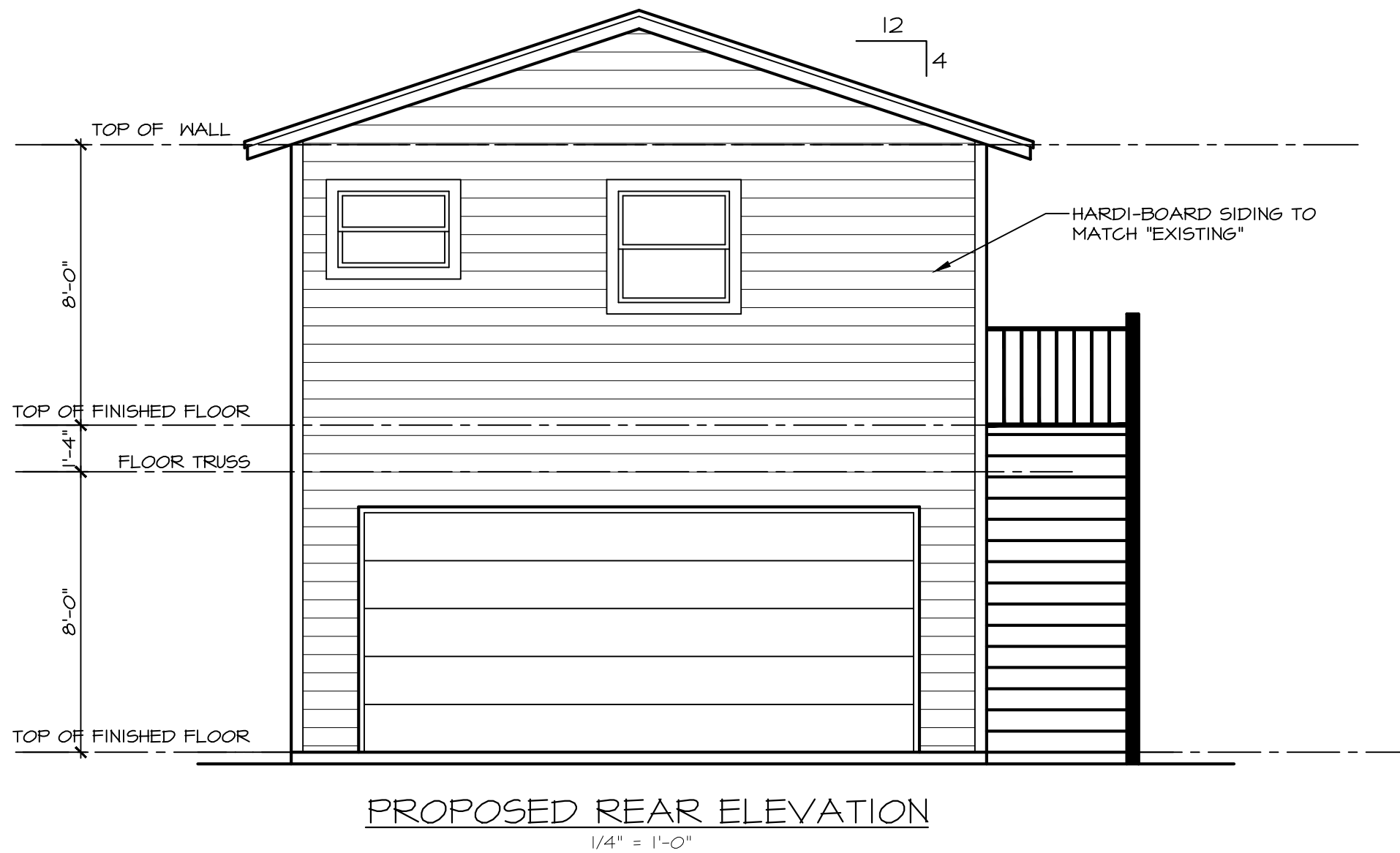
SCALE: AS NOTED

JOB # 202--

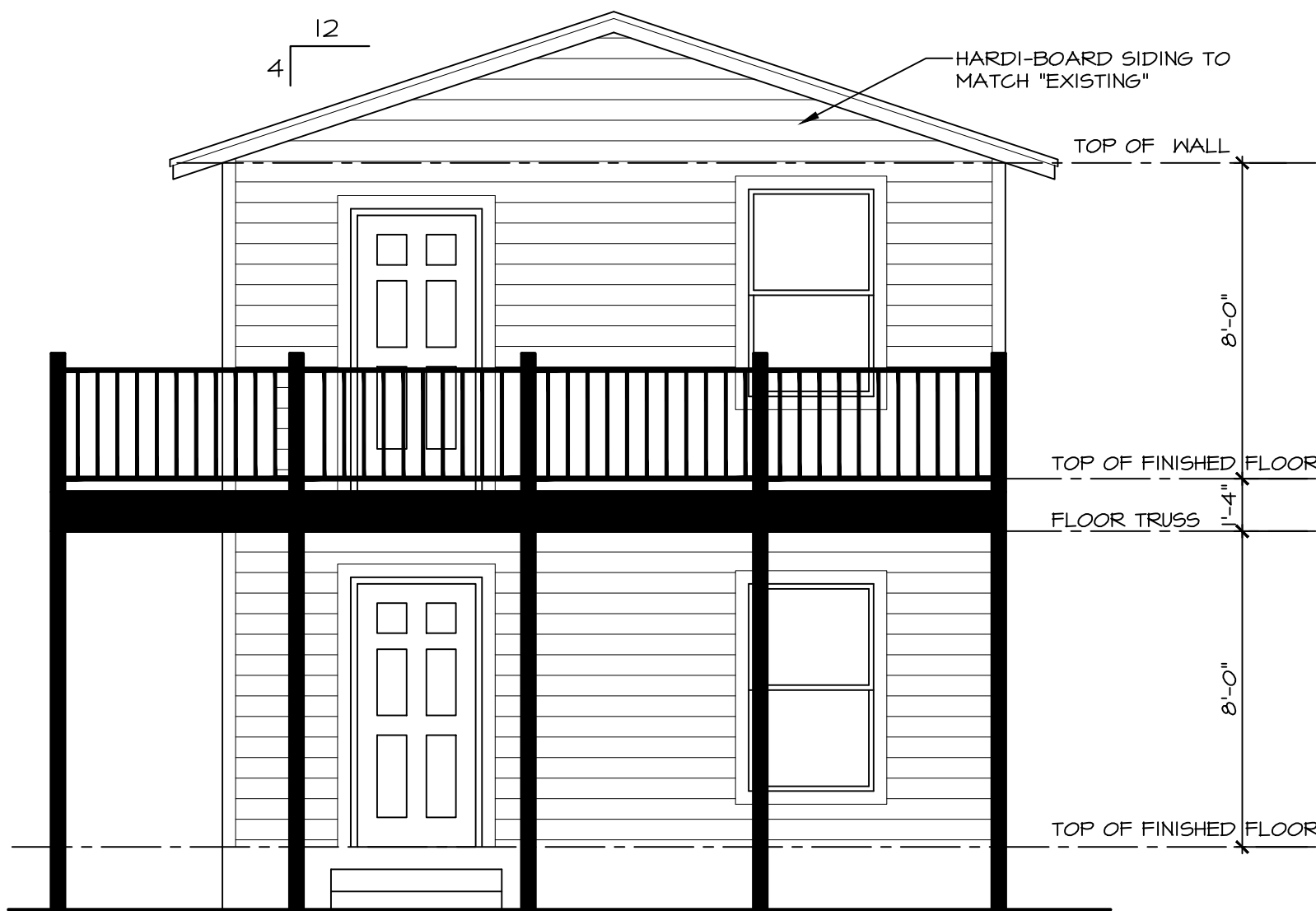
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1

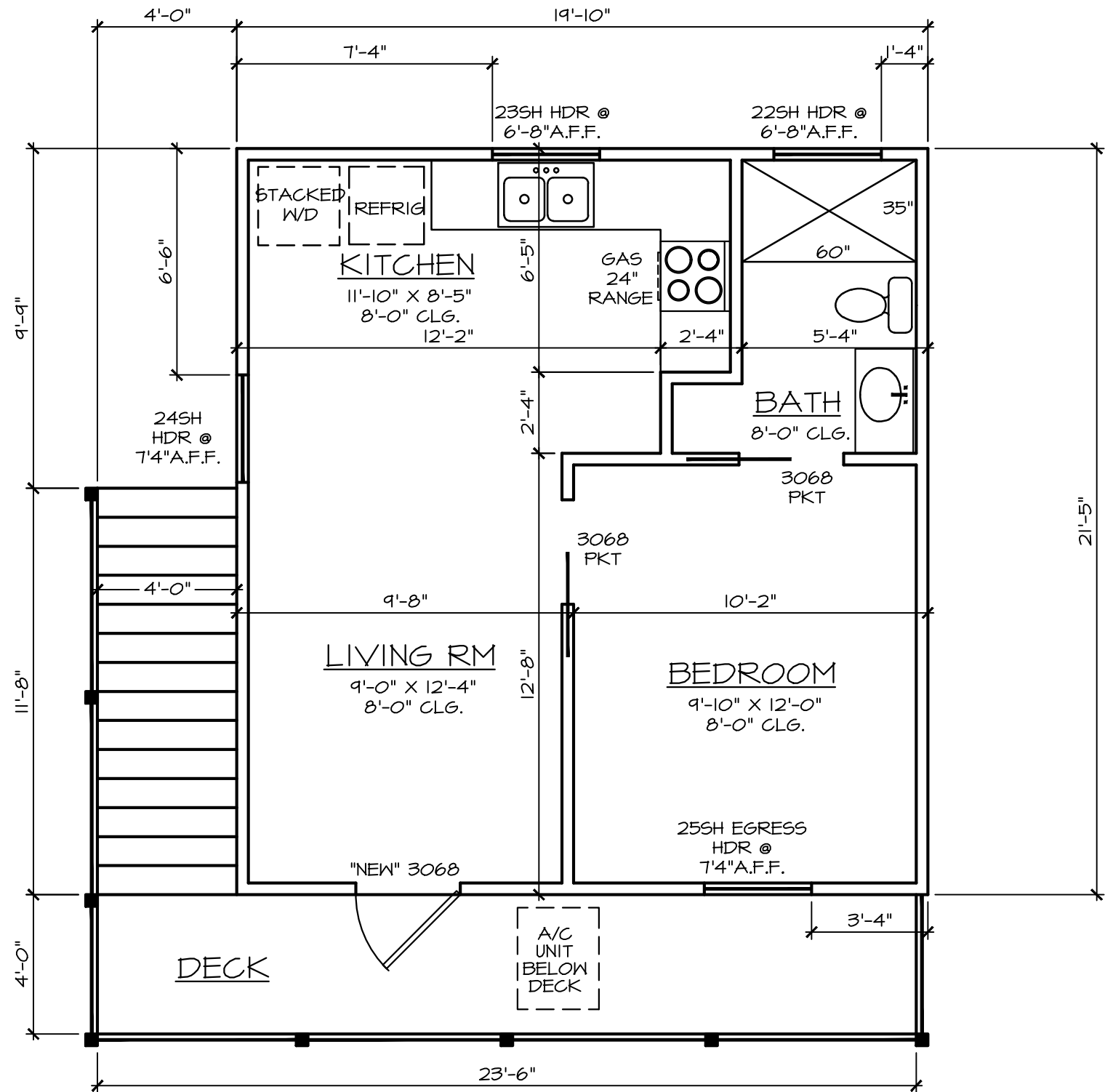
PRELIM SET



PROPOSED REAR ELEVATION  
1/4" = 1'-0"



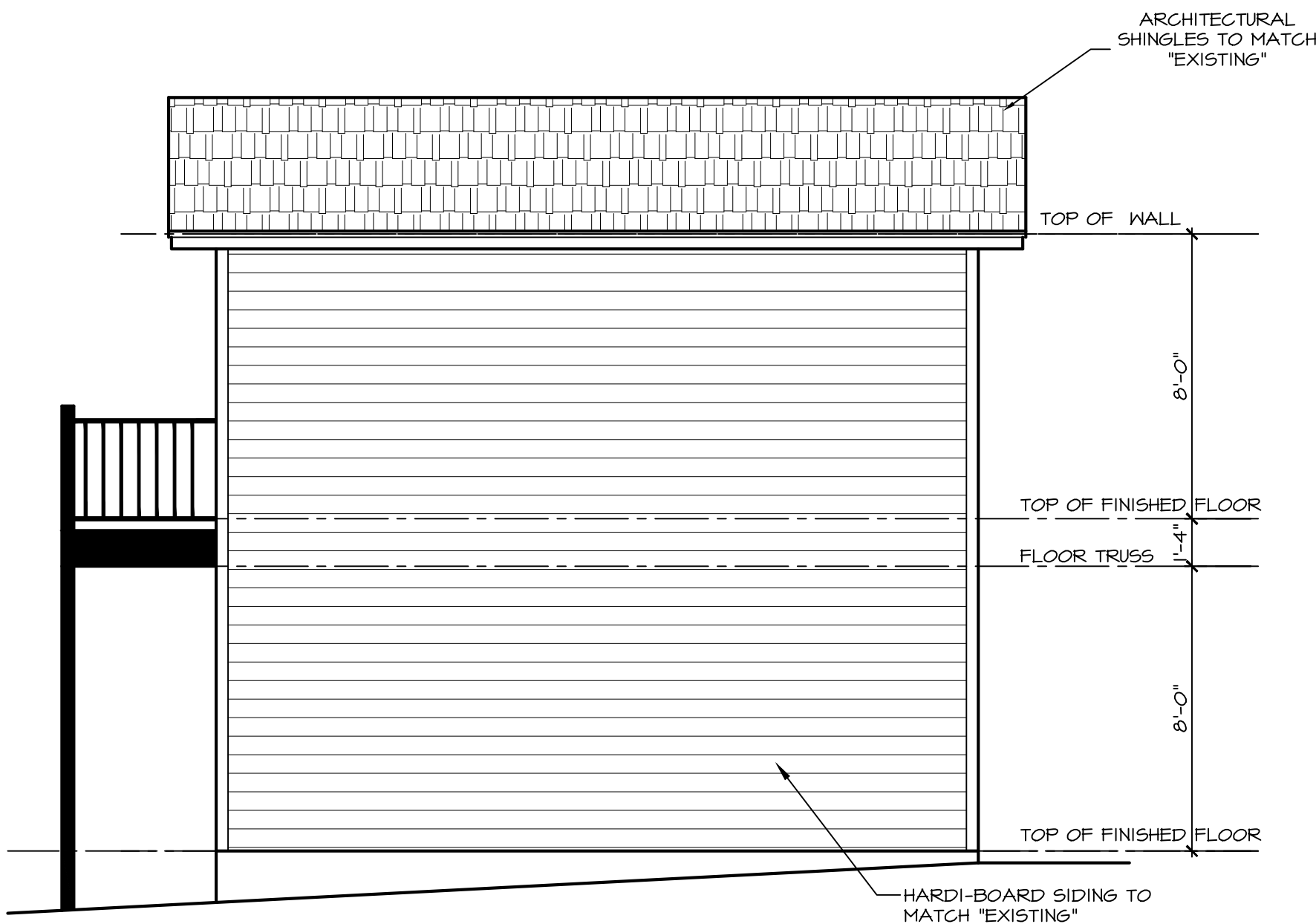
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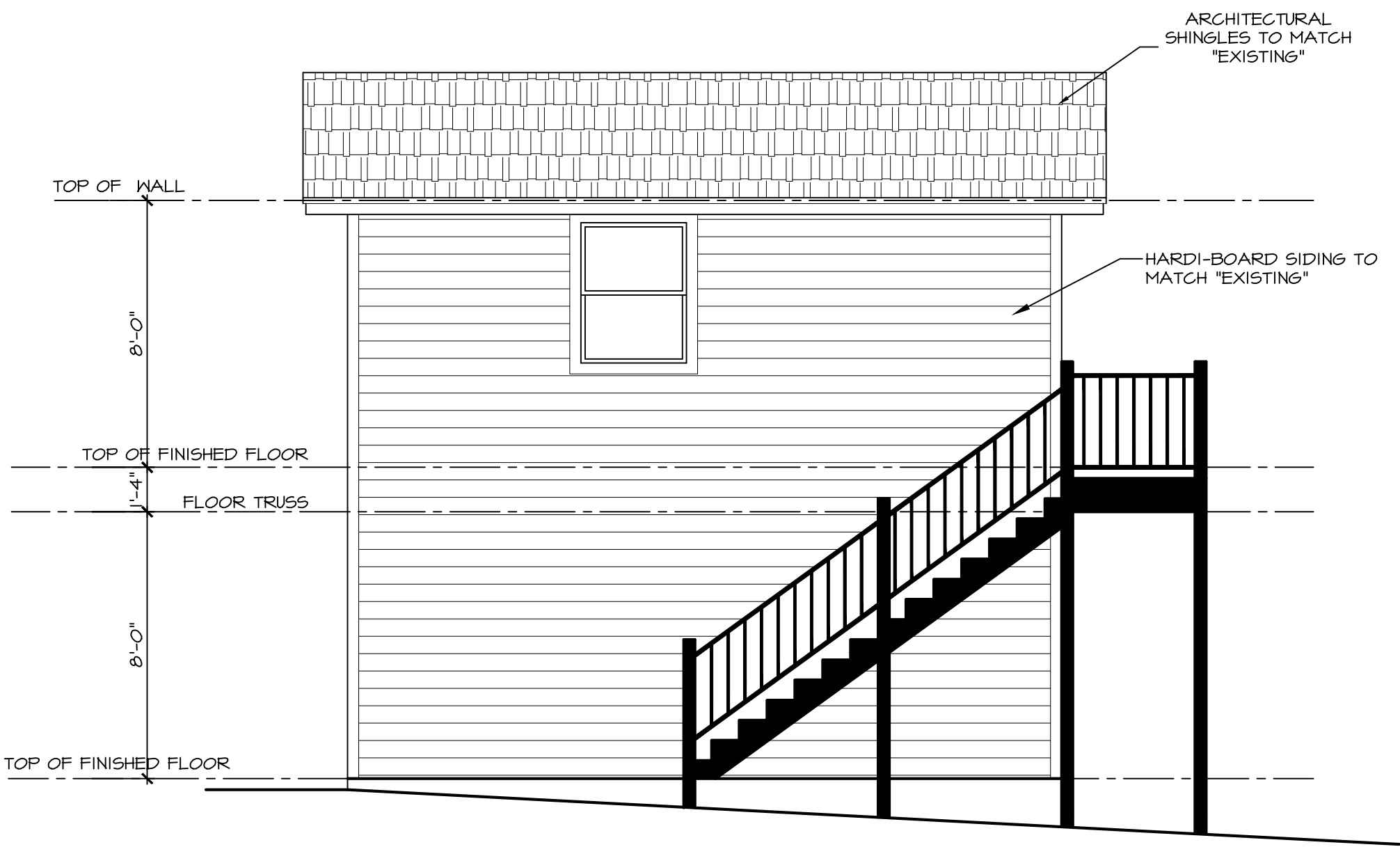
"PROPOSED" SECOND FLOOR PLAN  
1/4" = 1'-0"

| STAIR DATA                 |                      |
|----------------------------|----------------------|
| STAIRS TO BONUS ROOM LEVEL |                      |
| FLOOR-TO-FLOOR:            | 9'-4 3/4" (108 3/4") |
| NUMBER OF RISERS:          | 15                   |
| HEIGHT PER RISER:          | 1 1/4" (1.25")       |
| TREAD DEPTH:               | 10"                  |

| AREA           | SQ.FT. |
|----------------|--------|
| GARAGE         | 425    |
| LIVING         | 425    |
| STAIRS/LANDING | 155    |
| TOTAL          | 1,005  |



PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"



PROPOSED LEFT ELEVATION  
1/4" = 1'-0"

I HEREBY CERTIFY:  
THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH  
CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE TTH EDITION FOR  
140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH  
THE ENTIRE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, TTH EDITION.

THIS ADDITION SHALL COMPLY WITH THE REQUIREMENTS IN THE 2020 FLORIDA  
BUILDING CODE - EXISTING BUILDING, TTH EDITION CHAPTER 11 "ADDITIONS".

ENGINEER OF RECORD:

ARKAY ENGINEERING INC.

STRUCTURAL ENGINEERS  
1458 E EDGEWOOD DR LAKELAND FLORIDA 33803  
PHONE: 863-688-6500 FAX: 863-688-6551  
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB63471  
RICHARD L. KIDDET, P.E. - FLORIDA LICENSE # 51246

NEELY RESIDENCE

809 OSCEOLA ST  
LAKELAND, FL

SHARRETT CONSTRUCTION

122 E MAIN ST  
LAKELAND, FLORIDA 33801  
Phone: (863) 840-9781

DATE: 01-23-23

SCALE: AS NOTED

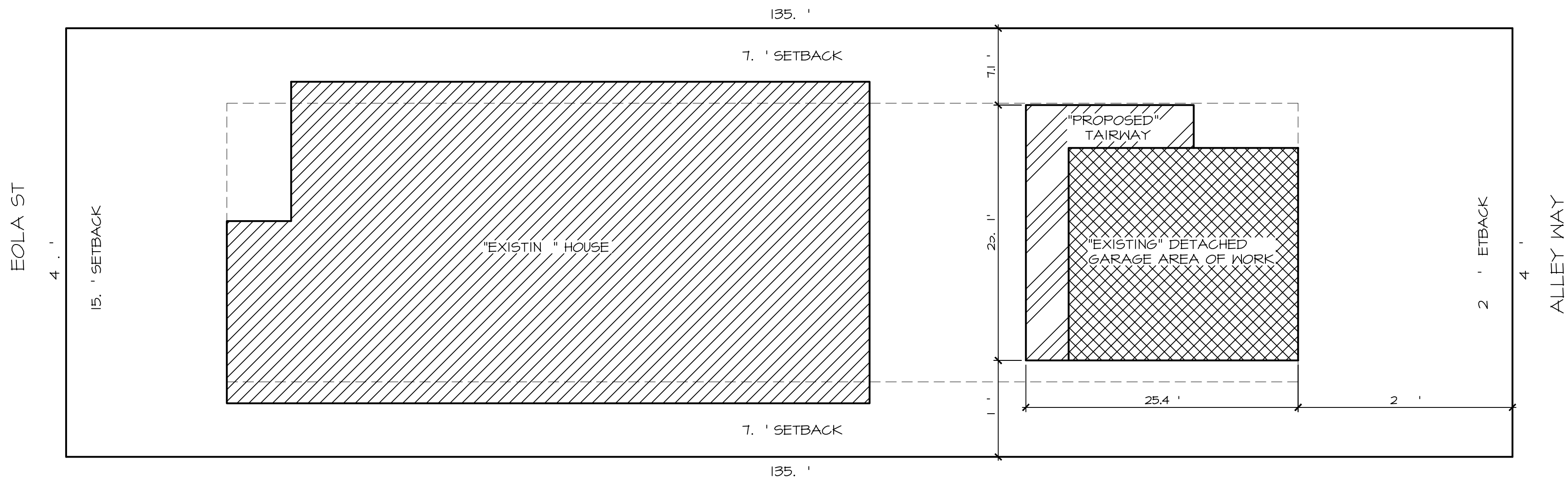
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SHEET

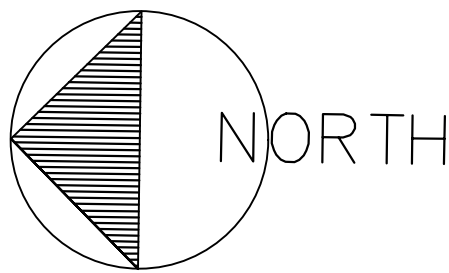
2

PRELIM SET





SITE PLAN  
1/8" = 1'-0"



I HEREBY CERTIFY:  
THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH  
CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE 7TH EDITION FOR  
140 MPH ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH  
THE ENTIRE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION.  
  
THIS ADDITION SHALL COMPLY WITH THE REQUIREMENTS IN THE 2020 FLORIDA  
BUILDING CODE - EXISTING BUILDING, 7TH EDITION CHAPTER 11 "ADDITION".

DATE: 01-23-23  
SCALE: AS NOTED  
JOB # 202--

SHARRETT CONSTRUCTION  
122 E MAIN ST  
LAKELAND, FLORIDA 33801  
Phone: (863) 840-9781

NEELY RESIDENCE  
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LAKELAND, FL

ENGINEER OF RECORD:  
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PHONE: -688-6500 FAX: -688-6551  
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB6347  
RICHARD L. KIDDEY, I.E. - FLORIDA LICENSE # 37246