

## AGENDA

Planning & Zoning Board  
City Commission Chambers  
November 21, 2023 8:30 a.m.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: ADASpecialist@lakelandgov.net. If hearing impaired, please contact the TDD numbers: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number 1-800-955-8770 (VOICE), for assistance.

**Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

## PUBLIC HEARING

- ITEM 1:**
- a. Annual update to portions of Capital Improvement Element of Lakeland Comprehensive Plan: Our Community 2030 including the 5-year Capital Improvement Program. Applicant: City of Lakeland. (CPA23-002)
  - b. Consideration of final decision.
- ITEM 2:**
- a. Conditional use to allow for the development of a solar power generation facility on approximately 2,044 acres generally located south of University Boulevard, east of N. State Road 33, and east of N. Combee Road. Owner: Williams Acquisition Holding Company LLC. Applicant: Charles Ryan. (CUP23-010)
  - b. Consideration of final decision.
- ITEM 3:**
- a. Major modification of an existing conditional use for the Providence Church of God to relocate the driveway access from Providence Road to Otis Avenue. Owner: Providence Church of God Inc. Applicant: Art Stitzel, Stitzel Engineering & Construction, Inc. (CUP23-018)
  - b. Consideration of final decision.
- ITEM 4:**
- a. Conditional use to allow for the construction of an accessory dwelling unit on property located 706 Gilmore Avenue. Owner/Applicant: Brian Lee. (CUP23-023)
  - b. Consideration of final decision.
- ITEM 5:**
- a. Conditional use to allow for off-street parking as a principal use on property located at 719 E. Orange Street. Owner/Applicant: Jason Lewis. (CUP23-024)
  - b. Consideration of final decision.
- ITEM 6:**
- a. Minor modification of an existing conditional use to adopt a new parking circulation plan for a previously approved child daycare center. Owner: Family Worship Center Churches, Inc. Applicant: Richard Mills, Kimley-Horn and Associates, Inc. (CUP23-026)
  - b. Consideration of final decision.

- ITEM 7:** Proposed text amendment to the Lakeland Comprehensive Plan and amendments to Article 1 of the Land Development Code to expand the Transit Oriented Corridors (TOC) within the City's Central City Transit Supportive Area and revise the definition of TOC designations. Applicant: City of Lakeland. (CPA23-004/LDC23-002)
- ITEM 8:** Major modification of an existing conditional use for Parkway Baptist Church to allow for the placement of two modular classroom buildings as a temporary use and increase the maximum school enrollment from 225 to 500 students on property located at 4210 Lakeland Highlands Road. Owner: Parkway Baptist Church of Lakeland, Inc. Applicant: Lanieve Imig, JSK Consulting of Lakeland, Inc. (CUP23-025)
- ITEM 9:** Major modification of PUD (Planned Unit Development) zoning for Florida Baptist Children's Homes to adopt a new master plan to allow for the construction of a two-story, 21,375 sq. ft. meeting/event space, a 3,750 sq. ft. warehouse, a 5,000 sq. ft. climate-controlled storage building, an 8,250 sq. ft. Family Resource Center, a two-story, 7,800 sq. ft. building with four dwelling units for interns, 28 single mother residential housing dwelling units, two foster family residential housing units, and 109 new off-street parking spaces on property located at 1015 Sikes Boulevard. Owner: FBCH Land Holdings, Inc. Applicant: David Holden, Quigg Engineering Inc. (PUD23-020)
- ITEM 10:** A small-scale land use amendment, to change the future land use designation from Business Park (BP) to Residential High (RH), and a change in zoning, from O-3 (Moderate Impact Office) to MF-22 (Multi-Family Residential), concurrent with a City-initiated application to change to context sub-district designation from Urban Special Purpose (USP) to Urban Neighborhood (UNH), on approximately 3.9 acres located at the northeast corner of N. Florida Avenue and Glenwood Drive. Owner: Sumner Fred. Applicant: The Lunz Group. (LUS23-002/ZON23-010/ZON23-011)

## GENERAL MEETING

- ITEM 11:** Review minutes of the October meeting.
- ITEM 12:** Major modification of PUD (Planned Unit Development) zoning to allow Motor Vehicle Fuel Sales, Major, within Tract A, and Motor Vehicle Service & Repair Uses, Minor, within Tract B of the Cypress Point at Lake Parker subdivision. The subject property is located north of U.S. Highway 92 East, east of Lake Parker Drive, and west of Fairway Avenue (2150 E. Road 92). Owner: Cypress Point Commercial LLC. Applicant: Sarah Case, Next Level Planning & Permitting. (PUD23-011) **Note: Continued from a previous meeting.**
- ITEM 13:** Major modification of PUD (Planned Unit Development) zoning to increase the maximum number of dwelling units from 125 to 146 to allow for the development of a new five-story multi-family (senior independent living) building on property located at 810 E. Bella Vista Street. Owner: Mainstay Healthcare Bella Vista LLC. Applicant: Jason Alligood, Kimley-Horn and Associates, Inc. (PUD23-016)
- ITEM 14:** Change in zoning from I-1 (Light Industrial-Limited Commercial) to PUD (Planned Unit Development) to allow for the development of a zero-lot-line subdivision for I-1 warehouse, office and flex space uses on property located at 1530 and 1543 Kendrick Lane. Owner: G4L Lakeland One LLC. Applicant: Timothy Campbell, Clark, Campbell, Lancaster, Workman & Airth, P.A. (PUD23-019)

**ITEM 15:** Report of City Commission action on Planning and Zoning Board recommendations along with Planning & Transportation Manager's Report.

ITEM 16: Audience.

ITEM 17: Adjourn.



# Planning & Zoning Board General Application

## General Information:

<b>Project No:</b>	CPA23-002	<b>Application Date:</b>	9/11/2023		
<b>Project Name:</b>	CIE/CIP ANNUAL UPDATE 2023				
<b>Applicant Name:</b>	CITY OF LAKELAND				
<b>Applicant Address:</b>	228 S MASSACHUSETTS AVE	LAKELAND	FL	33801	

## Request:

<b>Application Type:</b>	<b>COMP PLAN TEXT AMEND</b>	<b>CIE/CIP UPDATE</b>
<b>Explanation of Request:</b>	Annual update to portions of Capital Improvement Element of Lakeland Comprehensive Plan: Our Community 2030 including the 5-year Capital Improvement Program.	



# Community & Economic Development Staff Recommendation

Date:	November 21, 2023	Reviewer:	Chuck Barmby
Project No:	CPA23-002		
P&Z Hearing:	November 21, 2023	P&Z Final Decision:	November 21, 2023
Request:	Annual update to the Capital Improvements Element (CIE)		

## 1.0 Background

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### 1.1 Summary

The Lakeland Comprehensive Plan: Our Community 2030 is the City’s growth management “law of the land”, containing goals, objectives and policies over various topic areas to support our community’s collective vision and governance through 2030. Chapter 8 - Appendix, the Capital Improvement Element 2024-2033 (CIE), is intended to identify the costs and funding necessary to support the anticipated growth in our community over the next five or more years. Chapter 163 Florida Statutes requires the City to annually update the CIE and the associated five-year schedule of capital improvements called the Capital Improvements Plan (CIP). The CIE and CIP are intended to reflect the timing, location, and funding for capital improvement projects and to help achieve and maintain adopted level of service standards for public facilities that are necessary to implement the Comprehensive Plan. The CIE update occurs in concert with the adoption of a revised local budget for the City’s new fiscal year that outlines five or more years of capital projects.

The City’s CIE and five-year CIP addresses budgetary revenues and expenditures for capital projects, as related to other elements of the Comprehensive Plan. Annual updates are also made to various tables, such as those projecting city debt service and tax revenues over the next five years. Specific text changes proposed to the CIE and CIP are shown in Attachment “A.”

## 2.0 Discussion

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Each local government is required per Florida Statutes to update its five-year capital improvements plan each year in conjunction with the adoption of the new fiscal year budget for the local government. The City’s CIP includes revenues and expenditures for improvements to public facilities such as roads, wastewater, stormwater, and parks. These types of projects support the implementation of growth management policies in the City’s Comprehensive Plan regarding elements or chapters entitled as **Vibrant and Inclusive Community** (Future Land Use, Housing, Recreation & Open Space), **Efficient and Well-Maintained Infrastructure** (Water, Wastewater, Solid Waste, Stormwater Management), **Safe and Convenient Mobility Options** (Transportation), **Attractive and Environmentally-Friendly Community** (Conservation), **Responsible and Accessible Government** (Intergovernmental Coordination, School Facilities, Capital Improvement Elements). The Capital Improvements Element includes:

- the identification of City capital improvement projects;
- impact fee expenditures, including those that implement funding agreements with private developers; and
- planned transportation capacity improvements (including multi-modal projects to address the City’s connectivity plan and support the City’s multi-modal level-of-service standards).

Additional supporting data details City bond revenues as used for level of service related capital improvement projects. This data can also be found in the *Technical Support Document* to the Comprehensive Plan.

## 3.0 Recommendation

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### 3.1 Community and Economic Development Staff

The Community and Economic Development Department reviewed the proposed changes to the City's CIE; it is our opinion that the annual update is consistent with the City's most recently adopted budget and with the Lakeland Comprehensive Plan: Our Community 2030.

It is recommended that the proposed changes, as described above and in Attachment "A," be approved and forwarded to the City Commission for public hearing and adoption.

### 3.2 Comments from Others

The annual update to the CIE is not considered a formal Plan amendment pursuant to Chapter 163 F.S. and, therefore, is allowed to occur by local ordinance without State review although the City provides the State, Central Florida Regional Planning Council and Polk County with a courtesy copy of the update. As a local ordinance, normal procedures for public hearings are followed.

ATTACHMENT "A"

2023 Annual Update to the Capital Improvements Element (CIE)  
As Found Within the Lakeland Comprehensive Plan: Our Community 2030

Includes Annual Update to the CIE's Five-Year Capital Improvements Plan  
(i.e., the 5-year Schedule of Improvements)

Capital Improvement Plan

Revenue and Expenditures

	Adjusted 2022 Budget	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total Project Cost
<b>Revenue</b>												
Transportation	33,212,094	8,916,494	6,981,699	9,511,361	6,530,983	8,083,617	9,134,291	8,424,055	7,709,620	8,596,335	7,935,200	115,035,749
Public Improvement	48,373,118	18,501,626	18,897,659	18,805,645	20,230,772	17,196,711	15,553,651	14,976,111	16,391,720	16,358,619	15,736,152	221,021,784
Community Redevelopment Agencies (CRA)	15,899,339	10,676,207	9,625,665	9,923,986	13,576,939	10,703,158	10,863,962	11,260,428	11,005,630	11,732,413	3,074,392	118,342,119
Downtown	4,330,375	2,944,532	2,821,245	2,552,799	2,628,888	2,706,133	2,786,540	2,871,117	3,042,872	3,656,316	3,074,392	33,415,209
Midtown	10,294,025	6,671,668	6,168,643	6,807,761	10,432,155	7,528,637	7,581,519	7,890,869	7,461,758	7,537,012	-	78,374,047
Dixieland	1,274,939	1,060,007	635,777	563,426	515,896	468,388	495,903	498,442	501,000	539,085	-	6,552,863
Airport	14,304,207	14,694,910	10,990,084	17,304,482	10,675,397	18,213,095	6,436,283	6,361,233	7,948,295	8,440,600	8,436,600	123,805,186
Stormwater Utility	54,090,140	9,208,957	8,606,869	8,576,091	8,690,504	8,810,217	8,862,752	15,643,019	8,888,595	8,893,615	9,040,754	149,311,513
Water	33,689,317	11,254,713	9,544,464	10,732,764	7,801,989	6,410,673	6,887,557	6,614,648	6,271,951	7,359,474	7,421,222	113,988,772
Wastewater	56,291,333	19,892,555	27,701,376	15,038,500	33,928,500	11,598,500	7,503,500	18,898,500	5,958,500	5,573,500	5,298,500	207,683,264
<b>Expenses</b>												
Transportation	33,212,094	8,916,494	6,981,699	9,511,361	6,530,983	8,083,617	9,134,291	8,424,055	7,709,620	8,596,335	7,935,200	115,035,749
Public Improvement	48,373,118	18,501,626	18,897,659	18,805,645	20,230,772	17,196,711	15,553,651	14,976,111	16,391,720	16,358,619	15,736,152	221,021,784
Community Redevelopment Agencies (CRA)	15,899,339	10,676,207	9,625,665	9,923,986	13,576,939	10,703,158	10,863,962	11,260,428	11,005,630	11,732,413	3,074,392	118,342,119
Downtown	4,330,375	2,944,532	2,821,245	2,552,799	2,628,888	2,706,133	2,786,540	2,871,117	3,042,872	3,656,316	3,074,392	33,415,209
Midtown	10,294,025	6,671,668	6,168,643	6,807,761	10,432,155	7,528,637	7,581,519	7,890,869	7,461,758	7,537,012	-	78,374,047
Dixieland	1,274,939	1,060,007	635,777	563,426	515,896	468,388	495,903	498,442	501,000	539,085	-	6,552,863
Airport	14,304,207	14,694,910	10,990,084	17,304,482	10,675,397	18,213,095	6,436,283	6,361,233	7,948,295	8,440,600	8,436,600	123,805,186
Stormwater Utility	54,090,140	9,208,957	8,606,869	8,576,091	8,690,504	8,810,217	8,862,752	15,643,019	8,888,595	8,893,615	9,040,754	149,311,513
Water	33,689,317	11,254,713	9,544,464	10,732,764	7,801,989	6,410,673	6,887,557	6,614,648	6,271,951	7,359,474	7,421,222	113,988,772
Wastewater	56,291,333	19,892,555	27,701,376	15,038,500	33,928,500	11,598,500	7,503,500	18,898,500	5,958,500	5,573,500	5,298,500	207,683,264



Capital Improvement Plan

Transportation

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Expense</b>												
<b>Sidewalk Projects</b>												
FDOT - Main Street Pathways	899,561											899,561
FDOT - Three Parks Trail E	141,054											141,054
FDOT - Sidewalk - N Crystal Lake (Willow Point to Longfellow)	67,771											67,771
FDOT - Three Parks Trail W	5,618											5,618
FDOT - N. Crystal Lake Dr From Willow Point Dr to Longfellow Blvd	2,835											2,835
FDOT-LAP Josephine Sidewalk (Central Avenue to Pinewood Avenue)	13,068	380,000										393,068
Sidewalk Repair & Replacement	800,000	1,000,000	1,200,000	1,200,000	1,200,000	1,200,000	1,200,000	1,200,000	1,200,000	1,200,000	1,300,000	12,700,000
Sidewalk Contingency - Developer Contributions	157,280											157,280
Sidewalk - Lakeland Highlands Rd (Lowes to Polk Parkway)	202,001											202,001
Sidewalk - Luce Rd. (Hallam Dr. to Lk. Miriam Dr.)	103,489											103,489
Sidewalk - Chestnut Rd (US 92 to Chestnut Woods Dr)	50,000											50,000
Glendale Trail	8,022											8,022
Olive Street (Pinewood to Cornelia)	84,092											84,092
S. Edgewood Drive (Taft St to US 98S)	72,245											72,245
Beacon Road Sidewalk	364,922											364,922
Chestnut Rd Sidewalk (US 92 to Chestnut Woods Dr)	50,000											50,000
Gilmore Avenue (Parkview to E. Crawford)	233,466											233,466
7th Street	11,662											11,662
Sandpiper Drive	305,553											305,553
Sylvester Road Phase II	170,477											170,477
Chase Street Trail			50,000									50,000
CIP Project Development		25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	250,000
Sidewalks for Collector Streets			225,000					550,000	550,000	550,000	550,000	2,425,000
Lakehurst Street	84,700											84,700
<b>Street Resurf &amp; Sealing</b>												
Pavement Management Information System	43,697	120,000			120,000				120,000		130,000	533,697
Resurfacing & Sealing	2,800,931	3,223,452	3,000,000	3,300,000	3,300,000	3,500,000	3,700,000	3,700,000	3,950,000	3,950,000	3,950,000	38,674,383
Street Resurfacing & Sealing Project - Pavement Markings	155,000	165,000	165,000	165,000	165,000	165,000	165,000	165,000	165,000	165,000	180,000	1,820,000
North Ten Acres Resurfacing	20,952											20,952
Providence Road Milling and Resurfacing	15,000											15,000
East Edgewood Drive (Troy to New Jersey Rd)			320,000									320,000
N. Socrum Loop Rd (I-4 to Daughtery)				665,000								665,000
University Blvd (SR 33 to Polk Parkway)							1,330,000					1,330,000
Cleveland Heights Blvd (Westover to Lk. Miriam)				547,000								547,000
Sleepy Hill Rd (N 98 to Kathleen)						524,000						524,000
East Edgewood Dr (New Jersey to 98S)							525,000					525,000
<b>Street Improvements</b>												
FDOT - Upgrades to US 92 at Wabash Ave	301											301
FDOT County Line Rd @ US 92	1,831,261											1,831,261
FDOT-Drane Field Rd at Don Emerson Dr	2,190,022											2,190,022
Alley Improvement Project	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	880,000
Main Street Pathways	30,260											30,260
Medulla Road Extension	154,000											154,000
South Wabash Ave Mitigation	106											106
Drane Field Rd Corridor Impr Phase I	1,804,751											1,804,751
Hwy 33 Road Improvements - I4 to City Limits	634,401											634,401
North Wabash Ave Extension	805,555											805,555
South Wabash Ave Extension	2,097,925											2,097,925
Five Points Roundabout	249,800											249,800
Interim Signalization SR-33 & I-4	323,885											323,885
<b>Trans Impact Fee-Dist 1</b>												
N. Lakeland East. Connector - Crevasse St. Ext	4,618,544											4,618,544
Hwy 33 Road Improvements - Parkview to Granada	1,000,000											1,000,000
Corridor Study from SR 33 to Walt Loop Rd	499,741											499,741
Hwy 33 Road Improvements - I4 to City Limits	1,390,315											1,390,315
North Wabash Ave Extension	1,682,236											1,682,236
Providence Road Complete Street		270,000										270,000
Sidewalks for Collector Streets				250,000	250,000	250,000	300,000	300,000	300,000	300,000	300,000	2,250,000
Interim Signalization SR-33 & I-4	124,615											124,615
<b>Trans Impact Fee-Dist 2</b>												
Wabash Ave Extension Project Development & Environment Study	22,706											22,706
Sidewalk - Lakeland Highlands Rd (Lowes to Polk Parkway)		200,000										200,000
Drane Field Rd Corridor Impr Phase I	1,210,127											1,210,127
South Wabash Ave Extension	2,180,185	1,500,000		1,500,000		1,000,000		1,000,000		500,000		7,680,185

Capital Improvement Plan

Transportation

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Traffic Projects</b>												
Pedestrian Safety Awareness Campaign	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	55,000
ITS Maintenance	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	275,000
Traffic Operations Projects	38,540	44,000	45,000	46,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	243,540
Traffic Calming Projects	102,645	46,000	46,000	30,000	50,000	50,000	50,000	50,000	50,000	50,000	70,000	594,645
ADA Street Sign Rehabilitation	56,362	65,000	65,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	586,362
LED Traffic Signal Retrofits	10,000	25,000	25,000	25,000	25,000	38,000	39,000	40,000	41,000	42,000	42,000	352,000
Barricades/Traffic Cones	2,550	3,000	3,000	3,000								11,550
Solar Power Battery Maintenance	48											48
TMC Service Maintenance Agreement (SMA)		65,000										65,000
COBALT Traffic Signal Controller Upgrade	24,952	75,000	75,000									174,952
Rectangular Rapid Flashing Beacons		30,000										30,000
Intersection Video Detectors	74,950											74,950
Traffic Signal SR 33 @ Lake Crago Drive	60,000											60,000
Traffic Project - Traffic Studies & Analysis	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	440,000
Traffic Project - Advanced Traffic Management System O&M	441,788	487,360	506,855	527,130	548,215	570,145	592,950	616,670	641,335	666,990	693,700	6,293,138
Traffic Control Cabinets		20,000	20,000	20,000								60,000
Upgrade Intersection Network Switches		94,000	94,000									188,000
Intersection Conversion - Main/Sloan/Lemon/Lk Beulah	350,000	265,000										615,000
Connected and Automated Vehicles - iCASP	136,000	139,000										275,000
Modem Replacement for School Zone Clocks	17,000											17,000
Replace Printer Heads for Sign Shop	9,000											9,000
UPS Battery Maintenance	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	55,000
Audible Pedestrian Signs	11,000	11,000	11,000	11,000	11,000	11,000	11,000	11,000	11,000	11,000	11,000	121,000
<b>Misc Improvements</b>												
FDOT-Tenoroc Trail - Segment 1	616,664											616,664
Concrete Crushing	75,000		75,000		75,000		75,000		75,000			375,000
ADA Compliance	20,364											20,364
Utility Locates	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	550,000
Capital Contingency	62,554	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	1,062,554
CSX Railroad Crossing Maintenance	41,500	41,500	41,500	41,500	41,500	41,500	41,500	41,500	41,500	41,500	41,500	456,500
Right of Way Mowing	49,350	50,337	51,344	52,371	53,417	54,487	55,576	56,690	57,500	58,310	60,000	599,383
APWA Accreditation	10,000		20,000		10,000		20,000		10,000		20,000	90,000
Misc Improvement Projects	189,513											189,513
GIS Staff	73,117	79,845	84,000	87,360	90,850	94,400	98,265	102,195	106,285	110,535	115,000	1,041,937
Structural Inspection	5,428											5,428
Lake Hunter Dr. Drainage Improvements	432											432
<b>Contrib to Other Funds</b>												
Main St Garage Vault Cleaning	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	11,000
Structural Inspection			16,000			17,000			20,000			53,000
Orange St Garage - Exterior Coating	175,140											175,140
Main St. Parking Garage - Ext. Coating	111,588			230,000			230,000			240,000		811,588
NuPark	36,500	38,000	38,000	40,000	40,000	40,000						232,500
<b>Accommodations for Programs and Services</b>												
ADA Compliance	94,354	79,000	79,000	79,000	79,000	79,000	79,000	79,000	79,000	79,000	80,000	885,354
<b>Misc Projects</b>												
Frontier ROW Use Permit Inspection	30,913											30,913
Utility Locates	1,218											1,218
Small Equipment	5,400											5,400
Survey Total Station		20,000										20,000
Traffic Signal Performance Measures		10,000	10,000	10,000	10,000							40,000
Clear Guide Arterial Data City-Wide			30,000	30,000	30,000							90,000
Portable GPS Equipment Replacement	24,273											24,273
<b>Total Expenses</b>	<b>32,878,275</b>	<b>8,877,494</b>	<b>6,926,699</b>	<b>9,240,361</b>	<b>6,489,983</b>	<b>8,025,617</b>	<b>8,903,291</b>	<b>8,423,055</b>	<b>7,688,620</b>	<b>8,355,335</b>	<b>7,934,200</b>	<b>113,742,936</b>

Capital Improvement Plan

Transportation

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Parking</b>												
<b>Capital and Maintenance Projects</b>												
<b>Parking System - Main Street Garage</b>												
Structural Inspection	5,428		16,000			17,000			20,000			58,428
Main Street Garage Vault Inspection	3,775											3,775
Main St. Parking Garage - Ext. Coating	111,588			230,000			230,000			240,000		811,588
NuPark	37,888	38,000	38,000	40,000	40,000	40,000						233,888
<b>Parking System - Orange Street Garage</b>												
Main St Garage Vault Cleaning		1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	10,000
Orange St Garage - Exterior Coating	175,140											175,140
<b>Total Expenses</b>	<b>333,819</b>	<b>39,000</b>	<b>55,000</b>	<b>271,000</b>	<b>41,000</b>	<b>58,000</b>	<b>231,000</b>	<b>1,000</b>	<b>21,000</b>	<b>241,000</b>	<b>1,000</b>	<b>1,292,819</b>

Capital Improvement Plan

Public Improvement

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Parks</b>												
<b>Expenditures</b>												
<b>Beautification Projects (Grant &amp; City)</b>												
Neighborhood Beautification	96,627	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	596,627
<b>Public Charities Park</b>												
Playground Equipment Replacement		200,000										200,000
<b>John McGee Park</b>												
Parking Lot Expansion			300,000									300,000
John McGee Park	555,411											555,411
<b>English Creek Park</b>												
Soccer Complex									1,250,000			1,250,000
<b>Dobbins Park</b>												
Playground Equipment Replacement				250,000								250,000
<b>Horney Park</b>												
Playground Equipment Replacement	75,000										100,000	175,000
<b>Jackson Park</b>												
Playground Equipment Replacement	80,000										100,000	180,000
<b>Fletcher Park at Lake Bonny</b>												
Playground Equipment Replacement			250,000									250,000
<b>7th Street Park</b>												
Playground Equipment Replacement				100,000								100,000
<b>Hanley Park</b>												
Playground Equipment Replacement				100,000								100,000
<b>Lake Mirror Park</b>												
Barnett Park Playground Equipment Replacement			250,000									250,000
Barnet Park Splash Pad Replacement						750,000						750,000
Sunflower Preschool Playground Equipment Replacement	200,000									250,000		450,000
Sunflower Preschool Playground Surface							200,000					200,000
<b>Lake Parker Park</b>												
Playground Equipment Replacement				250,000								250,000
Maintenance Building		75,000										75,000
<b>Marchant Stadium Renovation Berm and Shade</b>												
Debt Service	370,120	359,920										730,040
<b>Marchant Stadium</b>												
Marchant Stadium - Field Replacement						125,000						125,000
Future Expansion Reserve						290,320						290,320
Joker Marchant Stadium Renovations	2,696,390	2,696,390	2,696,390	2,696,390	2,696,390	2,696,390	2,696,390	2,696,390	2,696,390	2,696,390	2,696,390	29,660,290
Fetzer Hall Renovation	4,000,000											4,000,000
Stadium Improvements										100,000		100,000
Marchant Stadium Scoreboard	55,000											55,000
Dugout Rehabilitation (Fields 1, 2 & 3)	54,000											54,000
<b>Miami Park</b>												
Playground Equipment Replacement							100,000					100,000
<b>N. Lake Wire Park</b>												
Playground Equipment Replacement							120,000					120,000
<b>Parker Street Park</b>												
Playground Equipment Replacement							100,000					100,000
<b>Peterson Park</b>												
Playground Equipment Replacement	150,000										200,000	350,000
Fan Seating-ADA Upgrade	85,000											85,000
<b>Sertoma Park</b>												
Sertoma Park Renovation	28,129									65,000		93,129
<b>Tigertown</b>												
Park Storage Building at Tigertown	450,000											450,000
<b>Washington Park</b>												
Playground Equipment Replacement						180,000						180,000

Capital Improvement Plan

Public Improvement

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>West/SW Complexes</b>												
Westside Playground Equipment Replacement	125,000									250,000		375,000
Southwest Playground Equipment Replacement	100,000										125,000	225,000
Southwest Complex-Clubhouse Remodel	225,000											225,000
Westside Complex-Concession Stand Rehab	225,000											225,000
<b>Woodlake Park</b>												
Playground Equipment Replacement		125,000										125,000
Tennis Court Lighting		275,000										275,000
Lights for Pickle Ball Courts	125,000											125,000
<b>Irrigation Projects</b>												
Centralized Irrigation System	50,000					50,000						100,000
<b>Sportsfield Projects</b>												
City Sportsfield Lighting	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	330,000
<b>Misc. Parks Projects</b>												
Consultant Services	73,540	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	373,540
Parks Maintenance Projects	69,000	70,000	71,000	72,000	73,000	74,000	75,000	76,000	77,000	78,000	79,000	814,000
Pavement Management System - Re-pave Park Paths	26,923	27,596	28,286	28,993	29,718	30,461	31,222	32,003	32,803	33,623	34,464	336,092
Holiday Decorations	12,500	12,500	12,500	12,500	12,500	12,500	12,500	12,500	12,500	12,500	12,500	137,500
Repair and Maintenance of Park Boardwalks and Walkways	39,125	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	289,125
Signage	35,363											35,363
Interlachen Park Playground Equipment Replacement			125,000									125,000
Munn Park Renovation		100,000										100,000
Seven Wetlands Park	393,748											393,748
Munn Park Lighting	29,730											29,730
Lake Mirror Promenade Renovation			500,000									500,000
Lucity Application	38,416											38,416
Bark at the Lake	6,742											6,742
<b>Total Parks</b>	<b>10,500,764</b>	<b>4,076,406</b>	<b>4,368,276</b>	<b>3,644,883</b>	<b>2,946,008</b>	<b>4,343,671</b>	<b>3,470,112</b>	<b>2,951,893</b>	<b>4,203,693</b>	<b>3,620,513</b>	<b>3,482,354</b>	<b>47,609,073</b>
<b>Recreation</b>												
<b>Kelly Recreation Complex</b>												
Kelly Rec - Replace Weight Rm Equipment	68,000										50,000	118,000
Annual Pool Contingency	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	88,000
<b>Gandy Pool Operations</b>												
Gandy Pool Repairs	32,000	300,000										332,000
<b>Lake Mirror Complex</b>												
Replace Stage Curtains	11,000											11,000
<b>Lake Crago Park</b>												
Lake Crago Park-	580,663											580,663
<b>Simpson Park Rec Center</b>												
Simpson Park - Replace Weight Rm Equipment	80,170									50,000		130,170
Playground Equipment Replacement							125,000					125,000
Bleacher Shading	50,000											50,000
<b>Simpson Pool Operations</b>												
Annual Pool Contingency	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	88,000
<b>Edgewood Park</b>												
Resurface Tennis Courts			200,000									200,000
<b>Misc. Recreation Projects</b>												
Renovate Building & Playgrounds	467,701	234,000	236,000	238,000	240,000	242,000	244,000	246,000	248,000	250,000	253,000	2,898,701
<b>Total Recreation</b>	<b>1,305,534</b>	<b>550,000</b>	<b>452,000</b>	<b>254,000</b>	<b>256,000</b>	<b>258,000</b>	<b>385,000</b>	<b>262,000</b>	<b>264,000</b>	<b>366,000</b>	<b>269,000</b>	<b>4,621,534</b>
<b>P&amp;R Impact Fee Projects:</b>												
<b>P&amp;R Impact Fee-Dist. 1</b>												
Lake Crago Park	1,260,435	750,000				700,000					250,000	2,960,435
Bark at the Lake	50,000											50,000
<b>P&amp;R Impact Fee-Dist. 2</b>												
Cypress Youth Complex	1,200											1,200
English Creek Park	6,037,581											6,037,581
John McGee Park	998,800											998,800
Capital Improvement Revenue and Refunding Bonds, Series 2021A	260,730											260,730
Capital Improvement Revenue and Refunding Bonds, Series 2021A		259,789	260,815	261,584	259,960	260,922	261,456	259,426	261,349	260,601	261,563	2,607,465
Peterson Park-Concession/Restroom Renovation	300,000											300,000
<b>Total P&amp;R Impact Fee Projects</b>	<b>8,908,746</b>	<b>1,009,789</b>	<b>260,815</b>	<b>261,584</b>	<b>259,960</b>	<b>960,922</b>	<b>261,456</b>	<b>259,426</b>	<b>261,349</b>	<b>260,601</b>	<b>511,563</b>	<b>13,216,212</b>

Capital Improvement Plan

Public Improvement

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Library</b>												
<b>Co-op Funded Projects</b>												
Library Carpet Replacement	109,558	20,000			100,000	75,000						304,558
Computer Equipment Upgrade	77,838	30,000			30,000		30,000		10,000		40,000	217,838
Ceiling & Lighting Replacement (Main)	72,867						30,000				20,000	122,867
Future Expansion Reserve	265,450	10,000	10,000	80,000	50,000	105,000	75,000	160,000	90,000	45,000	75,000	965,450
Lobby Restroom Renovation	899									75,000		75,899
Closed Circuit Camera System Upgrade	10,492		10,000						10,000			30,492
Restroom Renovation	50,000	15,000						20,000				85,000
Library Furniture (Co-op Funded)	297,903	20,000	15,000						50,000		20,000	402,903
Sound System Upgrade - Meeting Room	16,363		5,000				15,000					36,363
Meeting Room Renovation	10,000		10,000									20,000
Design New Entry	15,000	5,000	10,000							10,000		40,000
RFID Project	15,333								20,000			35,333
Learning Commons/Coffee Shop Project	1,599											1,599
Fixture Replacement (Northside Branch)			100,000	100,000								200,000
Interior Finishes/Improvements	179,368	50,000	20,000				30,000			50,000	20,000	349,368
LHCC Exhibits and Displays	207,551	25,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000	25,000	417,551
E Library Relocation	125,000	25,000										150,000
<b>City Funded Projects</b>												
A/C Ductwork Maintenance	457,958											457,958
Cultural Room	6,632											6,632
<b>Total Library</b>	<b>1,919,811</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>3,919,811</b>
<b>Oak Hill Cemetery</b>												
Oak Hill Cemetery Expansion	17,318											17,318
Resurface Roadways	22,502			25,000			27,500			30,250		105,252
Oakhill Routine Maintenance	40,078	35,000	36,800	38,600	40,500	42,500	44,600	46,800	49,100	50,000	50,900	474,878
Roadway Construction	83,565											83,565
48 Niche Columbarium	532	50,000				30,000						80,532
Oak Hill Expansion VII	70,000			30,000					50,000	50,000		220,000
Maintenance Shed	75,000	43,498										118,498
<b>Total Oak Hill Cemetery</b>	<b>308,995</b>	<b>128,498</b>	<b>36,800</b>	<b>113,600</b>	<b>40,500</b>	<b>72,500</b>	<b>72,100</b>	<b>46,800</b>	<b>99,100</b>	<b>130,250</b>	<b>50,900</b>	<b>1,100,043</b>
<b>Police Department</b>												
Station Renovation (Impact Fees)	5,775								150,000	500,000		655,775
Ballistic Helmet Replacement	79,530	40,000									137,460	256,990
LPD - CAD Reporting System	2,054,742									28,500		2,083,242
Refurbish Training Facility			1,000,000		300,000							1,300,000
LPD Firing Range	8,584											8,584
Training Center Safety Improvements	10,000							60,000				70,000
Comm Center Expansion	24,573	650,000										674,573
SWAT Handgun Replacement				35,100								35,100
UPS Replacement				26,500								26,500
Generator Purchase/Rehab	650,000											650,000
<b>Total Police Department</b>	<b>2,833,204</b>	<b>690,000</b>	<b>1,000,000</b>	<b>61,600</b>	<b>300,000</b>	<b>-</b>	<b>-</b>	<b>60,000</b>	<b>150,000</b>	<b>528,500</b>	<b>137,460</b>	<b>5,760,764</b>
<b>Fire Department</b>												
Motor Pool Purchases	2,697,792	1,100,000	1,200,000	1,200,000	1,200,000	1,200,000	1,300,000	1,300,000	1,300,000	1,300,000	1,300,000	15,097,792
FDOT ARFF Station/Fire Station #7 (Debt Service)	45,515											45,515
ARFF/Fire Station #7 Debt Service (City and Impact Fees)	235,417											235,417
Thermal Imaging Camera	6,000	12,000	6,000	6,000	7,000	7,000	7,000	14,000	7,000	7,000	7,000	86,000
Commercial Washer and Dryer Replacement		24,000					28,000					52,000
Refurbish Training Facility	55,597											55,597
Refurbish Training Facility Debt Service (City and Impact Fees)	351,721	351,721	351,721	351,721	351,721	327,926						2,086,531
Portable Generators		6,000		22,000	7,000			14,000				49,000
Extrication Tools		37,000	38,000	39,000	80,000	41,000	43,000	44,000	45,000	46,000	46,000	459,000
Fire Station 3 Relocation (City and Impact Fees)	1,800,000											1,800,000
<b>Total Fire Department</b>	<b>5,192,042</b>	<b>1,530,721</b>	<b>1,595,721</b>	<b>1,618,721</b>	<b>1,638,721</b>	<b>1,582,926</b>	<b>1,378,000</b>	<b>1,372,000</b>	<b>1,352,000</b>	<b>1,353,000</b>	<b>1,353,000</b>	<b>19,965,852</b>

Capital Improvement Plan

Public Improvement

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Non-Departmental</b>												
<b>Neighborhood Projects</b>												
Neighborhood Preservation	159,783	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	1,159,783
Neighborhood Matching Grants Program	65,000	65,000	65,000	65,000	65,000	65,000	65,000	65,000	65,000	65,000	65,000	715,000
Neighborhood Signage	2,400											2,400
Lakeshore Aquatic Preservation	14,700											14,700
Resurvey Historic District Phase I	130,000											130,000
<b>All Other Gen Fund Bldgs.</b>												
Fire Panel Replacements	60,000	67,500	67,500	67,500	67,500	67,500	67,500	67,500	67,500	67,500	67,500	735,000
City Buildings - Roof Replacements	1,223,041	707,141	726,587	726,587	746,568	767,099	788,194	809,869	832,144	855,025	878,538	9,060,790
Air Conditioner Replacements	530,984	314,695	319,695	319,695	324,695	329,695	334,695	339,695	344,695	349,695	354,695	3,862,934
Ice Machine Replacements	8,300	10,950	11,100	11,250	11,400	11,550	11,700	11,850	12,000	12,150	12,300	124,550
Carpet Replacements	147,003	167,000	170,000	173,000	176,000	179,000	182,000	185,000	188,000	191,000	194,000	1,952,003
Recoating / Sealing	866,889	503,215	508,215	508,215	513,215	518,215	523,215	528,215	533,215	538,215	543,215	6,084,039
LED Lighting Upgrade	72,764											72,764
Town Center Rehabilitation Phase II	500,959											500,959
<b>Misc. Non-Dept Projects</b>												
Contingency	233,094	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	2,733,094
Backup Generator	84,170											84,170
SurfLakeland - Contributions to the Community	47,068	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000	247,068
PIF Endowment Fund Professional Investment Consulting Services	2,576											2,576
Commission Chamber A/V Upgrade		28,896										28,896
Trakit Electronic Plans Review (General Fund Share)	500,000											500,000
Commission Chamber Camera Replacement											60,000	60,000
<b>City Hall</b>												
Broadcast System Upgrade	235,100											235,100
<b>Parking</b>												
Heritage Plaza Parking Garage - Annual Maintenance	80,000	82,400	84,872	87,418	90,041							424,731
Summit Consulting - Land and Parking	1,540,340											1,540,340
<b>Accommodations for Programs and Services</b>												
ADA Compliance	16,795											16,795
Accommodations for Programs and Services	109,000	112,000	115,000	118,000	121,000	124,000	127,000	130,000	133,000	136,000	139,000	1,364,000
<b>Total Non-Departmental</b>	<b>6,629,966</b>	<b>2,728,797</b>	<b>2,437,969</b>	<b>2,446,665</b>	<b>2,485,419</b>	<b>2,432,059</b>	<b>2,469,304</b>	<b>2,507,129</b>	<b>2,545,551</b>	<b>2,584,585</b>	<b>2,684,248</b>	<b>31,651,692</b>
<b>Contributions to Other Funds</b>												
<b>General Fund:</b>												
Operating Contribution	4,900,000	4,100,000	4,100,000	4,100,000	4,100,000	4,100,000	4,100,000	4,100,000	4,100,000	4,100,000	4,100,000	45,900,000
Detroit Tigers - Naming Rights (revenue passthrough)	50,000	50,000	50,000	50,000	50,000	100,000	100,000	100,000	50,000	100,000		700,000
Detroit Tigers / City Joint Stadium Reserve Contribution	96,547	106,747	466,667	216,667	216,667	166,667	166,667	166,667	216,667	166,667		1,986,630
<b>RP Funding Center</b>												
Lakeland Center Capital Transfer	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	4,400,000
Operating Transfer (D/S paid off into reserve by FY 26)	1,154,169	647,610	647,200	2,556,376	2,464,830							7,470,185
Interest Revenue Backstop / LT Capital		400,000	700,000	700,000	700,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	8,500,000
<b>Cleveland Heights Golf Course</b>												
Golf Course Irrigation	1,220,257											1,220,257
Cleveland Heights Golf Course - Misc. Capital	44,087											44,087
Heritage Plaza Parking Garage - DS (Paid off early in FY'26)	600,000	600,000	600,000	600,000	2,591,802							4,991,802
<b>Total Contributions to Other Funds</b>	<b>8,465,060</b>	<b>6,304,357</b>	<b>6,963,867</b>	<b>8,623,043</b>	<b>10,523,299</b>	<b>5,766,667</b>	<b>5,766,667</b>	<b>5,766,667</b>	<b>5,766,667</b>	<b>5,766,667</b>	<b>5,500,000</b>	<b>75,212,961</b>
<b>Total Expenses</b>	<b>46,064,122</b>	<b>16,918,568</b>	<b>17,315,348</b>	<b>17,224,096</b>	<b>18,650,507</b>	<b>15,616,745</b>	<b>14,002,639</b>	<b>13,425,915</b>	<b>14,842,360</b>	<b>14,810,116</b>	<b>14,188,525</b>	<b>203,033,941</b>

Capital Improvement Plan

Public Improvement

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>RP Funding Center</b>												
<b>Expense</b>												
<b>Capital and Maintenance Projects</b>												
TLC Golf Carts and Rafts	8,702											8,702
Lakeland Center Expansion	541,198											541,198
Capital Improvement Revenue Note, Series 20017A	1,195,009	1,183,058	1,182,311	1,181,549	1,180,265	1,179,966	1,151,012	1,150,196	1,149,366	1,148,503	1,147,627	12,848,856
Emergency Electrical Repairs	76,740											76,740
Emergency Repair-Cooling Fans	17,500											17,500
Lakeland Center Capital Contingency	24,873	30,000	43,000	44,000	70,000	400,000	400,000	400,000	400,000	400,000	400,000	2,611,873
Scissor Lift			30,000									30,000
Replace and Repair Line Set	81,000	75,000	75,000	75,000								306,000
General Replacements	10,552	20,000	20,000	25,000	25,000							110,552
Intercom System - Youkey Theatre	16,598		31,000									47,598
Building & Parking Security Upgrades	15,425	10,000	10,000	10,000	15,000							55,425
Replacement/Repairs/Upgrades - Lighting Systems			51,000	51,000								102,000
Theatre Heating System		55,000										55,000
Side Tiered Seating - Arena					150,000							150,000
Portable Chairs		90,000	125,000	125,000								335,000
Stage Floor Resurface		10,000										10,000
Forklift				30,000								30,000
Elevators - Arena					100,000							100,000
Time Clock Plus Upgrade/Replacement		20,000										20,000
LED Lighting Upgrade		10,000										10,000
Roof Repair	37,149	20,000	20,000	20,000	20,000							117,149
Arena Curtains	81,400	15,000										96,400
Arena Floor - Diamond Concrete Grinding	75,000											75,000
Arena Curtain Replacement	75,000											75,000
Epoxy Floor Finish - Arena Backstage	20,000											20,000
AV Equipment Upgrades	20,000	35,000		20,000	25,000							100,000
Bus Stop	12,850											12,850
<b>Total Expenses</b>	<b>2,308,996</b>	<b>1,583,058</b>	<b>1,582,311</b>	<b>1,581,549</b>	<b>1,580,265</b>	<b>1,579,966</b>	<b>1,551,012</b>	<b>1,550,196</b>	<b>1,549,360</b>	<b>1,548,503</b>	<b>1,547,627</b>	<b>17,962,873</b>



Capital Improvement Plan

Community Redevelopment Agency

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Downtown CRA</b>												
<b>Expense</b>												
<b>Operating</b>												
Community Redevelopment Agency	933,236	414,468	435,000	448,000	461,000	474,000	489,000	504,000	534,000	548,000	565,392	5,806,096
CRA Annual Report	2,608	2,980	3,000	3,000	3,000	3,000	3,000	3,000	3,000	3,000	3,000	32,588
<b>Sidewalk Projects</b>												
E. Main St. Streetscape Plaza (Kentucky to Tennessee)	18,969											18,969
<b>Neighborhood Projects</b>												
Small Project Assistance	50,000	250,000	258,000	266,000	274,000	282,000	290,000	299,000	317,000	350,000	327,000	2,963,000
North Downtown Master Plan	100,000	100,000	103,000	106,000	109,000	112,000	115,000	118,000	126,000	250,000	130,000	1,369,000
Downtown Infrastructure	150,000	150,000	155,000	160,000	165,000	170,000	175,000	180,000	191,000	250,000	197,000	1,943,000
Affordable Housing										250,000		250,000
Catalyst Development	700,000	250,000	258,000	266,000	274,000	282,000	290,000	299,000	317,000	250,000	327,000	3,513,000
Downtown Infill Incentive	196,250	250,000	258,000	266,000	274,000	282,000	290,000	299,000	317,000	250,000	327,000	3,009,250
<b>Debt Service</b>												
Residential Redevelopment	400,000	400,000	344,389									1,144,389
<b>Misc. Projects</b>												
Residential Redevelopment	50,000											50,000
Property Management	28,709	45,988	47,000	48,000	49,000	50,000	51,000	53,000	57,000	56,000	59,000	544,697
Mowing	25,934	11,043	11,000	11,000	11,000	11,000	11,000	11,000	11,000	13,500	11,000	138,477
Arts & Entertainment	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	110,000
Oak Street Parking Lot	22,000	24,000	25,000	26,000	27,000	28,000	29,000	30,000	32,000	33,000	34,000	310,000
Community Policing Innovation	30,500	56,053	58,856	61,799	64,888	68,133	71,540	75,117	78,872	82,816		648,830
Mirroron Development	366,395	40,000	41,000	42,000	43,000	44,000	45,000	46,000	48,000	48,000	49,000	812,395
Lake Mirror Promenade - Maintenance		150,000										150,000
<b>Corridor Enhancement</b>												
SFLA Corridor Improvements	579,561	150,000	155,000	160,000	165,000	170,000	175,000	180,000	191,000	197,000	200,000	2,322,561
Downtown Streetscape	155,061											155,061
Five Points Roundabout	335,896											335,896
Bay Street Streetscape and Drainage Improvements		440,000	453,000	467,000	481,000	495,000	510,000	525,000	557,000	565,000	574,000	5,067,000
Downtown Corridor Enhancements	175,000	200,000	206,000	212,000	218,000	225,000	232,000	239,000	253,000	500,000	261,000	2,721,000
<b>Total Expenses</b>	<b>4,330,375</b>	<b>2,944,532</b>	<b>2,821,245</b>	<b>2,552,799</b>	<b>2,628,888</b>	<b>2,706,133</b>	<b>2,786,540</b>	<b>2,871,117</b>	<b>3,042,872</b>	<b>3,656,316</b>	<b>3,074,392</b>	<b>37,415,209</b>

Capital Improvement Plan

Community Redevelopment Agency

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Midtown CRA</b>												
<b>Expense</b>												
<b>Operating Expense</b>												
Community Redevelopment Agency	991,940	918,786	1,000,500	1,110,750	1,130,000	1,145,000	1,165,000	1,190,000	1,225,000	1,261,750		11,138,726
CRA Annual Report	13,905	16,023	14,752	15,195	15,651	16,121	16,605	17,103	17,616	18,144		161,115
Small Project Assistance	14,000											14,000
<b>Debt Service</b>												
Florida Taxable Pension Liability Reduction Note, Series 2020		14,204										14,204
<b>Sidewalk Projects</b>												
Olive Street Sidewalk	102,500	60,000										162,500
<b>Neighborhood Projects</b>												
Lincoln Square Development	1,750											1,750
Residential Incentives	1,130,823	450,000	450,000	450,000	450,000	450,000	450,000	450,000	450,000	450,000		5,180,823
Northwest Neighborhood	575,305	750,000	750,000	750,000	750,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000		8,575,305
Northeast Neighborhood	359,969	450,000	450,000	450,000	500,000	500,000	500,000	500,000	500,000	500,000		4,709,969
Infrastructure Projects		250,000	500,000	500,000	500,000	500,000	500,000	500,000				3,250,000
<b>Misc. Projects</b>												
Planning-Affordable Housing Incentive Plan	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	150,000
Small Project Assistance	1,112,393	500,000	500,000	500,000	750,000	750,000	750,000	1,000,000	1,000,000	1,000,000		7,862,393
Property Management	246,618	200,615	260,000	262,000	339,000	341,000	343,000	345,000	347,000	350,000		3,116,233
Arts & Entertainment	25,310	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000		115,310
Midtown Lofts Redevelopment Project-Loan Receivable	25,000											25,000
Redevelop Massachusetts Ave Properties	80,000											80,000
Community Policing Innovation	262,650	446,388	468,757	492,142	516,740	542,587	569,716	598,203	628,112	659,518		5,184,772
DouBakehouse Leasehold Improvements	2,559											2,559
Haus 820 Leasehold Improvements	38,761											38,761
Job Creation Incentives	210,000	210,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000		1,620,000
Affordable Housing Partnerships	1,000,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000		5,500,000
114 E. Parker Street Construction	241,106											241,106
<b>Corridor Enhancement</b>												
MLK - Memorial to 10th St	10,030	10,331	10,641	10,960	11,289	11,628	11,977	12,336	12,706	13,087		114,985
Providence Rd - W 10th St to Griffin Rd	897,051				2,500,000							3,397,051
W Lake Parker/Lakeshore Trail Improvements	98,484											98,484
Mass Ave/Parker St. Intersection Improvement	25,311											25,311
Landscape - US 98 - Memorial to 10th St	18,628	19,187	19,763	20,356	20,967	21,596	22,244	22,911	23,599	24,307		213,558
Landscape - US 98 - Griffin to 10th St	18,628	19,187	19,763	20,356	20,967	21,596	22,244	22,911	23,599	24,307		213,558
Landscape - Parker Street	10,030	10,331	10,641	10,960	11,289	11,628	11,977	12,336	12,706	13,087		114,985
Landscape - Ingraham Ave	14,938	12,039	12,400	12,772	13,155	13,550	13,957	14,376	14,807	15,251		133,995
Landscape - Intown Bypass Phase 1 Outparcels	10,030	10,331	10,641	10,960	11,289	11,628	11,977	12,336	12,706	13,087		114,985
E. Main Street Landscaping Maintenance	14,926	15,374	15,835	16,310	16,799	17,303	17,822	18,357	18,907	19,474		171,107
Lakeshore Aquatic Preservation	15,400											15,400
Redevelop Massachusetts Ave Properties	969,556	251,872	250,000	250,000	250,000							1,971,428
Memorial Blvd	350,000	200,000	250,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000		4,300,000
Citrus Connection Services (LAMTD Agreement)	185,000											185,000
Five Points Roundabout	375,280	200,000										575,280
Parkview Place Pedestrian Improvements				250,000								250,000
Emma Street Sidewalk		200,000										200,000
Chase Street Trail		300,000			700,000							1,000,000
Olive Street Sidewalk	22,500											22,500
N. Scott Ave Sidewalk	198,000	50,000										248,000
<b>Redevelopment Plan - MUAC</b>												
East Main Street Master Plan	613,894	500,000	500,000	500,000	750,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000		7,863,894
<b>Total Expenses</b>	<b>10,294,025</b>	<b>6,671,668</b>	<b>6,168,643</b>	<b>6,807,761</b>	<b>10,432,155</b>	<b>7,528,637</b>	<b>7,581,519</b>	<b>7,890,869</b>	<b>7,461,758</b>	<b>7,537,012</b>		<b>78,370,047</b>

Capital Improvement Plan

Community Redevelopment Agency

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Dixieland CRA</b>												
<b>Expense</b>												
<b>Operating Expense</b>												
Community Redevelopment Agency	95,897	98,127	100,000	102,000	104,000	106,000	108,000	110,000	112,000	114,000	116,000	1,050,024
CRA Annual Report	1,391	1,505	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	42,896
<b>Debt Service</b>												
Florida Taxable Pension Liability Reduction Note, Series 2020		5,095										5,095
<b>Misc. Projects</b>												
Small Project Assistance	220,000	350,000	200,000	200,000	225,000	225,000	250,000	250,000	250,000	300,000		2,470,000
Landscaping Maintenance by Other City Departments	2,132	2,327	2,250	2,330	2,300	2,471	2,546	2,622	2,702	2,785		24,576
Publications and Promotions	2,500	2,500	2,500	2,500	2,500	2,500	2,500	2,500	2,500	3,000		25,500
Alley Maintenance	3,000	3,200	3,400	3,600	3,600	3,600	3,600	3,600	3,600	3,600		34,800
Arts & Entertainment	90,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	10,000		300,000
Infill Adaptive Reuse Program	75,000	300,000	100,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000		1,000,000
Community Policing Innovation	3,447	7,134	7,490	7,865	8,259	8,672	9,085	9,560	10,038	10,540		82,110
Dixieland Sign Maintenance	114	119	125	131	138	145	152	160	160	160		1,404
<b>Corridor Enhancement</b>												
Alley Improvement Project	105,408	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000		195,408
Redevelopment Plan Update			25,000	25,000								50,000
SFLA Corridor Improvements	671,050	250,000	150,000	100,000	50,000							1,221,050
Dixieland Sign Maintenance	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000		50,000
<b>Total Expenses</b>	<b>1,274,939</b>	<b>1,060,007</b>	<b>635,777</b>	<b>563,426</b>	<b>515,896</b>	<b>468,388</b>	<b>495,903</b>	<b>498,442</b>	<b>501,000</b>	<b>539,085</b>		<b>6,552,003</b>

Capital Improvement Plan

Lakeland Linder International Airport

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>EXPENSE</b>												
<b>Capital &amp; Maintenance Projects</b>												
FDOT-Airport Fuel Farm	12,183	12,183	12,183	12,182	12,183	12,182	12,183	12,183	12,195			109,657
NOAA Lease Improvements	232,386											232,386
ILS Upgrade to Cat III	4,358,420											4,358,420
Miscellaneous Maintenance Projects	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	3,850,000
FAA/FDOT ARFF Equipment		855,000										855,000
FDOT Construct New T Hangars						2,750,000						2,750,000
FAA/FDOT Rehab TWY P		7,179,330										7,179,330
FDOT Land Purchase			1,600,000									1,600,000
Engine Run-Up Facility								2,915,700				2,915,700
FAA Projects			3,729,000						5,000,000	5,000,000	5,000,000	18,729,000
Shift of TWY D						13,003,900						13,003,900
TWY A Shoulders		907,535		1,094,700								8,902,235
Security Enhancements and Upgrades		280,000										280,000
TWY Connectors							3,981,000					3,981,000
FDOT Projects								1,000,000	500,000	1,000,000	1,000,000	3,500,000
Maintenance Hangar Move / Replacement				5,247,700								5,247,700
Construct Access Road			1,600,000									1,600,000
Fuel Farm Relocation		350,000										350,000
Land Acquisitions 61.7 Acres					4,000,000							4,000,000
AWOS Replacement		120,000										120,000
Consolidated Fuel Farm		1,111,112			1,111,112							2,222,224
TWY E; Construct TWY S	5,320,713											5,320,713
Capital Improvement Revenue and Refunding Bonds, Series 2021A	729,300	729,300	2,684,301	2,841,100	4,343,501	1,231,662	962,000	640,500	638,500	640,750	642,000	16,082,914
Capital Improvement Revenue and Refunding Bonds, Series 2021B	890,000	890,000	1,014,600	858,800	858,601	865,351	1,131,100	1,442,850	1,447,600	1,449,850	1,444,600	12,293,352
Capital Improvement Revenue and Refunding Bonds, Series 2021C	2,411,205	1,910,450										4,321,655
<b>Total Expenses</b>	<b>14,304,207</b>	<b>14,694,910</b>	<b>10,990,084</b>	<b>17,304,482</b>	<b>10,675,397</b>	<b>18,213,095</b>	<b>6,436,283</b>	<b>6,361,233</b>	<b>7,948,295</b>	<b>8,440,600</b>	<b>8,436,600</b>	<b>123,809,096</b>



Capital Improvement Plan

Stormwater Utility

<del>Lakes and Environmental</del>													
<del>Lake Bonnet Shoreline Improvement CBDG-MIT Grant</del>	<del>42,900,000</del>	<del>175,201</del>	<del>116,485</del>	<del>152,356</del>	<del>188,571</del>	<del>224,786</del>	<del>261,741</del>	<del>6,821,313</del>					<del>50,840,453</del>
<del>NPDES Permitting - Administration</del>	<del>39,635</del>	<del>39,635</del>	<del>40,000</del>	<del>40,500</del>	<del>41,000</del>	<del>41,500</del>	<del>42,000</del>	<del>42,500</del>	<del>43,000</del>	<del>43,500</del>	<del>44,000</del>	<del>44,000</del>	<del>457,270</del>
<del>Public Education Programs</del>	<del>90,442</del>	<del>65,000</del>	<del>65,000</del>	<del>60,000</del>	<del>60,000</del>	<del>60,000</del>	<del>50,000</del>	<del>50,000</del>	<del>50,000</del>	<del>50,000</del>	<del>50,000</del>	<del>50,000</del>	<del>650,442</del>
<del>General Lake Improvements</del>	<del>465,000</del>	<del>350,000</del>	<del>450,000</del>	<del>450,000</del>	<del>500,000</del>	<del>500,000</del>	<del>500,000</del>	<del>500,000</del>	<del>500,000</del>	<del>500,000</del>	<del>350,000</del>	<del>300,000</del>	<del>4,865,000</del>
<del>Lake Hollingsworth Southside Shoreline Stab</del>	<del>40,000</del>	<del>20,000</del>					<del>15,000</del>				<del>25,000</del>		<del>100,000</del>
<del>Lake Beulah Shoreline Restoration</del>	<del>15,000</del>		<del>15,000</del>			<del>25,000</del>						<del>20,000</del>	<del>75,000</del>
<del>Lake Morton Shoreline Restoration</del>	<del>36,313</del>	<del>5,000</del>					<del>10,000</del>	<del>5,000</del>				<del>10,000</del>	<del>66,313</del>
<del>Contribution to FL Friendly Landscaping</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>10,000</del>	<del>110,000</del>
<del>Aquatic Plant Management Plans</del>				<del>5,000</del>							<del>5,000</del>		<del>15,000</del>
<del>Lake Bonnet Water Quality Improvement</del>	<del>50,156</del>	<del>100,000</del>	<del>50,000</del>	<del>20,000</del>	<del>150,000</del>	<del>25,000</del>	<del>100,000</del>	<del>20,000</del>	<del>150,000</del>	<del>15,000</del>	<del>15,000</del>		<del>645,156</del>
<del>Solid Waste/Lakes - 305 Eastside Property</del>	<del>25,639</del>												<del>25,639</del>
<del>Replace Jon Boat</del>			<del>50,000</del>			<del>25,000</del>					<del>25,000</del>		<del>100,000</del>
<del>Aquatic Harvest</del>	<del>274,518</del>	<del>181,309</del>	<del>188,622</del>	<del>195,647</del>	<del>202,953</del>	<del>210,551</del>	<del>217,453</del>	<del>216,671</del>	<del>234,230</del>	<del>240,981</del>	<del>248,102</del>		<del>2,411,037</del>
<del><b>Total Expenses</b></del>	<del>54,090,140</del>	<del>9,208,957</del>	<del>8,606,869</del>	<del>8,576,091</del>	<del>8,690,504</del>	<del>8,810,217</del>	<del>8,862,752</del>	<del>15,643,019</del>	<del>8,888,595</del>	<del>8,893,615</del>	<del>9,040,754</del>		<del>18,211,513</del>









Capital Improvement Plan

Wastewater

	Adjusted 2022 Budget	2023 Proposed	2024 Projected	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	Total Project Cost
<b>Expense</b>												
<b>Non-Departmental</b>												
Radio Replacement 2011	60,938	60,938	60,938									182,814
Capital Contingency	150,000	150,000	210,938	150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000	1,710,938
<b>Wastewater Collection Administration</b>												
Security Enhancements	20,000	20,000	20,000	20,000	25,000	20,000	20,000	20,000	20,000	25,000	20,000	230,000
Wireless Work Order System Interface	174,037			50,000			50,000					274,037
Transfer to Fleet - Wastewater Vehicle Purchases		27,500										27,500
Wastewater Collection Vehicles - GPS	4,603	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	19,603
<b>Wastewater System Administration</b>												
Tampa Bay Nitrogen Management Consortium	6,000	6,000	6,000	6,000	6,000	6,000	6,000	6,000	6,000	6,000	6,000	66,000
Facilities Upgrades / Repairs and Replacements	43,900	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	543,900
Undesignated Improvement Projects - Wastewater	435,605											435,605
Targeted Economic Opportunities - Wastewater	275,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	1,275,000
Undesignated Growth - Wastewater	150,000											150,000
Time Keeping System		50,000										50,000
<b>Glendale Sewage Treatment Plant</b>												
Glendale Process Modeling and Evaluation Study	8,012											8,012
Glendale Controls	60,000					100,000						160,000
Repair and replace Odor control blowers	883											883
Replacement of Sludge Pumping Equipment	97,900	75,000	75,000	75,000	75,000							397,900
Replacement of Magnetic Flow Meters	55,000											55,000
Transfer to Fleet - Wastewater Vehicle Purchases	70,000											70,000
Capital Equipment	25,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	475,000
Repair and Repave Service Roads	71,000					100,000						171,000
Climber Screen Replacement							500,000					500,000
Undesignated Pumps, Motors and Controls	25,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	925,000
Rehab and Repair Primary Clarifiers		100,000	100,000	100,000	100,000	100,000	100,000					500,000
SCADA HACH WIMS Interface		50,000	50,000	50,000	50,000							200,000
New Odor Control at Intermediate Station							250,000					250,000
Replacement of ARV's (Reuse/Return/Wetlands)	37,000	75,000	75,000	75,000								262,000
Glendale Control Panel Upgrades	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	750,000
Polymer System	147,600											147,600
Glendale Polymer Tank Replacement	30,644											30,644
IMLR Pump VFD Upgrade	167,898											167,898
Glendale Gas Purifier Tank Platform	20,000											20,000
Grit Classifier and Pumps Upgrade		260,117										260,117
Sludge Pumping and Control Improvements		200,000										200,000
Chlorine Conversion Study		100,000										100,000
Intermediate Station Pump Replacement	75,000											75,000
Primary #2 Replace Clarifier Equipment at Glendale				500,000								500,000
Intermediate Pump Station Coating						400,000						400,000
Centrifuge Rebuild									200,000			200,000
Replacement of Secondary Clarifier Drive Mechanisms					475,000	475,000	475,000	475,000				1,900,000



Capital Improvement Plan

Wastewater

<del>Upgrade Tenth St L3310 Pump Station</del>		<del>200,000</del>																			<del>200,000</del>
<del>L0270 Wood Lake Pump Station New Wet Well</del>	<del>15,000</del>																				<del>15,000</del>
<del>L0790 Publix Pump Station Pump Replacement</del>	<del>81,111</del>																				<del>81,111</del>
<del>L0440 Bridgefield Panel Replacement</del>	<del>75,000</del>																				<del>75,000</del>
<del>Edgewood Ext. Rehab</del>	<del>300,000</del>																				<del>300,000</del>
<del>Electricians Portable Generator</del>	<del>10,000</del>																				<del>10,000</del>
<del>L0730 Westside Pump Station Generator Replacement</del>	<del>40,532</del>																				<del>40,532</del>
<del>ATS, Generator, &amp; Labor</del>	<del>53,317</del>																				<del>53,317</del>
<del>Airpark L3430 Fiber Install</del>	<del>30,000</del>																				<del>30,000</del>
<del>Northside L6010 Fiber Install</del>	<del>40,000</del>																				<del>40,000</del>
<del>Airpark Pump No. 2 Repair</del>	<del>24,613</del>																				<del>24,613</del>
<del>Telemetry System Communication Issues</del>	<del>21,667</del>																				<del>21,667</del>
<del>Pump Station Well Level Upgrades</del>	<del>46,281</del>	<del>20,000</del>	<del>20,000</del>																		<del>86,281</del>
<del>Southwest Pump No 1 Repair</del>	<del>38,113</del>																				<del>38,113</del>
<del>L6860 Old Combee LS Lining</del>	<del>46,785</del>																				<del>46,785</del>
<del>L0330 Cheverly LS Lining</del>	<del>20,446</del>																				<del>20,446</del>
<del>L3730 English Oaks Mixer Installation</del>	<del>8,040</del>																				<del>8,040</del>
<del>L6520 Interstate Business Park II Generator Installation</del>	<del>65,000</del>																				<del>65,000</del>
<del>L6630 Kennedy House Pump Replacements</del>	<del>35,000</del>																				<del>35,000</del>
<del>L6710 Lake Parker Park Pump and Panel Replacement</del>	<del>8,560</del>																				<del>8,560</del>
<del>L3410 West Lakeland Pump Replacement</del>	<del>35,000</del>																				<del>35,000</del>
<del>L0790 Publix Fiber Install</del>	<del>15,000</del>																				<del>15,000</del>
<del>L0730 Westside Fiber Install</del>	<del>10,000</del>																				<del>10,000</del>
<del>L0410 Fire Suppression System</del>		<del>50,000</del>																			<del>50,000</del>
<del>L4570 Swindell Rd Pumps and Panel</del>		<del>225,000</del>																			<del>225,000</del>
<del>Portable Bypass Pump</del>	<del>50,000</del>																				<del>50,000</del>
<del>L3440 County Line Pump Replacement</del>	<del>55,000</del>																				<del>55,000</del>
<del>L3455 PLC Replacement</del>	<del>30,000</del>																				<del>30,000</del>
<del>Replace L0110 Bentley Shores FM</del>										<del>350,000</del>											<del>350,000</del>
<del>L6820 Interstate Pump Station Pumps-Panel Generator</del>												<del>400,000</del>									<del>400,000</del>
<del>L2310 Fire Suppression System</del>			<del>50,000</del>																		<del>50,000</del>
<del>L0360 Spring Oaks Station Rehab</del>							<del>200,000</del>														<del>200,000</del>
<del>L7020 Socrum Loop Station Rehab</del>										<del>350,000</del>											<del>350,000</del>
<del>L3410 Waring Rd Pumps Panel Generator</del>											<del>400,000</del>										<del>400,000</del>
<del>L3740 Northside Master Panel Generator</del>							<del>250,000</del>														<del>250,000</del>
<del>Sylvester Shores L1720 Station and FM Rehab</del>							<del>450,000</del>														<del>450,000</del>

Capital Improvement Plan

Wastewater

<b>Sewer Line Maintenance</b>													
Rehabilitate Sewer Lines	100,000	1,200,000	1,200,000	1,400,000	1,500,000	1,500,000	1,600,000	1,600,000	1,600,000	1,750,000	1,750,000	15,200,000	
Sewer Maintenance - Contractor Installed Liners	900,000											900,000	
Sewer Maintenance - Contractor Cleaning & Televising	70,000											70,000	
Sewer Maintenance - City Performed Point Repairs	100,000											100,000	
Wastewater New Line Connections												-	
Inflow Reduction	50,000	75,000	75,000	75,000	75,000	75,000	50,000	50,000	50,000	50,000	50,000	675,000	
Skyview Utility Sys (City / PC - Rehab TetraTech)	46,452											46,452	
English Oaks FM Plug Valve Repair	63,342											63,342	
Flushing of Southwest Basin Force Mains	25,000	25,000		25,000		25,000		25,000				125,000	
Sewer Maintenance - Manhole Rehabilitation	75,000	150,000	150,000	150,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	1,250,000	
Capital Contingency	55,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	855,000	
Collection System Monitoring	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	550,000	
Other Construction Projects	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	550,000	
Other Replacement Projects	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	550,000	
Capital Equipment	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	495,000	
Northside 30inch Force Main ARV Rehab	344,716											344,716	
Griffin Rd 24" Sanitary Sewer Lining	1,679,297											1,679,297	
S. Florida Ave Gravity Line Repair	78,479											78,479	
Private System Monitoring	14,429											14,429	
Smartcover Installation	25,000	25,000			25,000		25,000		25,000		25,000	150,000	
COL Sewer Line Easement Purchases	39,000	25,000		25,000		25,000		50,000		50,000		214,000	
English Oaks Booster Station Odor Control Pilot	72,724											72,724	
CMOM - (Capacity, Mgmt., Operations & Maint.) Update				100,000						100,000		200,000	
Basin 8 I&I Study	8,497											8,497	
Basin 4 I&I Study	28,258											28,258	
Howard Ave Manhole Repair	444,917											444,917	
Sanitary Sewer Evaluation Study	100,000	150,000			100,000					100,000		450,000	
Basin 5 I&I Study	15,112											15,112	
Basin 6 I&I Study	13,293											13,293	
North Wabash Extension	83,070											83,070	
Basin 7 I&I Study	21,853											21,853	
Kidron Rd ? Amazon FM Extension	25,000											25,000	
Lake Parker Manhole Repair	335,045	200,000										535,045	
Ingraham and Oak Sewer Rehab	168,346											168,346	
Materials Storage Structure	100,000	75,000										175,000	
Providence Road Church Gravity Line Repair	20,000											20,000	
Western Trunk San Gully Rd Line Relocation		2,050,000	3,000,000									5,050,000	
Chiles Street Gravity Repair	49,695											49,695	
N Florida Ave Sewer Investigation	17,772											17,772	
Service Laterals CIPP Lining	278,654	150,000	200,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	2,628,654	
L0820 Lone Palm FM Extension/Upsizing	350,000											350,000	
Lakeland Hills Blvd SFM Reroute	140,000											140,000	
MH07207 Manhole Replacement	100,000											100,000	
WW 20 Year Needs Analysis	47,750											47,750	
Downtown Manhole Replacements		25,000	25,000	25,000	25,000							100,000	
Kings and Queens MHP 24" VCP Upsize		2,133,000										2,133,000	
Sylvester Rd and Lyncrest MH17149 to MH17030		1,325,000										1,325,000	
LS1320113158 Gravity Line Repair	110,022											110,022	
US98 Utility Coordination				100,000								100,000	
Repair line behind Harry's in alley		75,000										75,000	
GPS Equipment Upgrades							50,000					50,000	
Upper Street 36 Sewer Line Relocation		250,000	800,000									1,050,000	
New Manhole in Alley behind Frescos		50,000										50,000	



Capital Improvement Plan

Wastewater

Soil Erosion and Sediment Management	783,894												783,894
Water Quality Improvements (50% Grant)	100,000		2,500,000										2,600,000
Wetland Renewable Energy			75,000										75,000
Se7en Wetlands Educational Center	250,000												250,000
Garage Door Replacement	67,969												67,969
Additional Storage for Equipment Shed		75,000											75,000
Wetland Treatment System Assessment Update									250,000				250,000
Stability Analyses / EAP Update						150,000							150,000
Cell 4 Drainage Upgrades			300,000										300,000
Wetland Cells Restoration			200,000	200,000									500,000
Wetland Water Budget & Operating Procedures					150,000								150,000
<b>Laboratory Analysis</b>													
WW Laboratory Renovation	250,000												250,000
Capital Equipment	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	275,000
<b>West Lakeland Roughing Plant</b>													
Undesignated Pumps, Motors and Controls		50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	500,000
Westside Control Panel Upgrades		50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	500,000
PLC Replacements	259,400	100,000	100,000	100,000	100,000								659,400
<b>Wastewater Treatment Operations Support</b>													
Capital Equipment	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	275,000
<b>Total Expenses</b>	<b>26,970,552</b>	<b>15,392,555</b>	<b>12,615,376</b>	<b>7,258,500</b>	<b>7,678,500</b>	<b>6,948,500</b>	<b>6,823,500</b>	<b>5,248,500</b>	<b>5,308,500</b>	<b>4,923,500</b>	<b>4,648,500</b>	<b>4,648,500</b>	<b>103,816,483</b>

Capital Improvement Plan

Wastewater

Expense													
<b>Non-Departmental</b>													
Wastewater Impact Fee Study	30,000							30,000					90,000
<b>Sewage Pumping Stations</b>													
Southwest Pump Station Redirection	400,000												400,000
L3865 Citrus Woods Panel Upsizing	10,000												10,000
L3845 Skyview Waters Panel Upsizing	10,000												10,000
<b>Sewer Line Maintenance</b>													
Force Main Parkway to Glendale	72,886	500,000											572,886
Skyview Force Main Upgrades	1,696,440												1,696,440
Southwest Lakeland Sewer Upgrade	1,429,880												1,429,880
North Wabash Extension	183,610												183,610
Western Trunk San Gully Rd Line Relocation	250,000			2,000,000									2,250,000
L0820 Lone Palm FM Extension/Upsizing	150,000												150,000
Master Plan-Crystal Lake/Sylvester Combined					1,900,000								1,900,000
Master Plan-Waring Rd Gravity to LS3410					300,000								300,000
<b>Wastewater Engineering</b>													
Subdivision and Commercial Development	400,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	3,900,000
Undesignated Capacity Expansion	58,408	300,000	300,000	300,000	300,000	300,000	300,000	300,000	300,000	300,000	300,000	300,000	3,058,408
Skyview Force Main Upgrades	40,659												40,659
Southwest Lakeland Sewer Upgrade	252,923												252,923
West Lakeland Waste Load Facility Expansion Study	105,000												105,000
Southwest Wastewater Expansion	890,634												890,634
Southwest Pump Station Redirection	100,000												100,000
Lakeland Central Park Upsize Reimbursement	1,700,000												1,700,000
L0820 Lone Palm FM Extension/Upsizing	19,500												19,500
Sylvester Rd and Lynncrest MH17149 to MH17030		140,000											140,000
Waring Rd-Pipkin to Dranefield FM		2,000,000											2,000,000
Master Plan-Crystal Lake/Sylvester Combined		210,000											210,000
Cypress Point Repump Station Reimbursement		1,000,000											1,000,000
Master Plan-Waring Rd Gravity to LS3410			36,000										36,000
<b>Total Expenses</b>	<b>7,799,940</b>	<b>4,500,000</b>	<b>2,886,000</b>	<b>2,680,000</b>	<b>650,000</b>	<b>650,000</b>	<b>680,000</b>	<b>650,000</b>	<b>650,000</b>	<b>650,000</b>	<b>650,000</b>	<b>650,000</b>	<b>22,445,940</b>
Expense													
<b>Glendale Sewage Treatment Plant</b>													
Energy Efficiencies / Digestion System Improvements (SRL)	576,059												576,059
Glendale Effluent Pump Station - Design	1,106,541												1,106,541
Glendale Effluent Pump Station - Construction	11,393,459												11,393,459
Digester Improvements			12,200,000										12,200,000
Glendale New Digester								13,000,000					13,000,000
Compost Facility					21,600,000								21,600,000
<b>Northside Sewage Treatment Plant</b>													
Northside Biosolids (SRL)	5,000,000												5,000,000
Northside Dewatering Upgrades				5,100,000	4,000,000	4,000,000							13,100,000
<b>Sewer Line Maintenance</b>													
English Oaks Phase III - Construction	1,001,323												1,001,323
English Oaks Phase IV - Construction	2,443,459												2,443,459
<b>Total Expenses</b>	<b>21,520,841</b>		<b>12,200,000</b>	<b>5,100,000</b>	<b>25,600,000</b>	<b>4,000,000</b>		<b>13,000,000</b>					<b>81,420,841</b>



Capital Improvement Plan

Revenue and Expenses

	Adjusted 2023 Budget	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total Project Cost
<b>Revenue</b>												
Transportation	21,844,241	12,222,131	10,552,490	7,997,065	9,834,430	10,380,215	9,092,365	8,611,120	9,610,025	9,387,200	9,204,500	118,735,782
Public Improvement	40,336,864	23,524,156	18,904,296	21,064,505	172,824,342	15,876,048	14,792,838	15,476,924	15,667,671	15,544,271	14,468,926	213,480,841
Community Redevelopment Agencies (CRA)	19,444,629	15,538,290	13,316,237	12,537,007	12,568,859	13,748,625	15,317,891	17,744,244	19,970,537	18,579,275	5,469,214	164,234,808
Downtown	4,683,445	5,265,674	4,658,652	3,441,372	3,872,751	4,345,297	5,368,016	5,310,918	6,850,014	6,451,655	5,469,214	55,717,008
Midtown	13,001,438	9,547,271	8,209,779	8,517,944	8,258,517	8,820,825	9,389,946	11,845,957	12,430,698	11,455,675	-	101,478,050
Dixieland	1,759,746	725,345	447,806	577,691	437,591	582,503	559,929	587,369	689,825	671,945	-	7,039,750
Airport	11,499,930	8,878,069	14,941,081	14,755,998	6,452,033	2,455,283	2,445,533	2,448,296	2,440,600	2,436,600	3,434,850	72,188,273
Stormwater Utility	57,078,479	11,529,489	10,293,120	9,904,404	9,916,617	10,040,555	16,754,237	9,926,196	10,242,405	10,630,724	10,911,656	167,227,882
Water	34,513,466	11,991,464	9,528,614	9,338,800	7,405,598	5,715,600	5,848,800	5,191,200	8,204,400	7,677,800	6,987,200	112,402,942
Wastewater	43,567,730	22,735,154	11,378,732	11,085,500	12,525,500	9,577,500	6,622,500	6,107,500	6,067,500	5,972,500	6,136,500	141,776,616
<b>Expenses</b>												
Transportation	21,844,241	12,222,131	10,552,490	7,997,065	9,834,430	10,380,215	9,092,365	8,611,120	9,610,025	9,387,200	9,204,500	118,735,782
Public Improvement	40,336,864	23,524,156	18,904,296	21,064,505	172,824,342	15,876,048	14,792,838	15,476,924	15,667,671	15,544,271	14,468,926	213,480,841
Community Redevelopment Agencies (CRA)	19,444,629	15,538,290	13,316,237	12,537,007	12,568,859	13,748,625	15,317,891	17,744,244	19,970,537	18,579,275	5,469,214	164,234,808
Downtown	4,683,445	5,265,674	4,658,652	3,441,372	3,872,751	4,345,297	5,368,016	5,310,918	6,850,014	6,451,655	5,469,214	55,717,008
Midtown	13,001,438	9,547,271	8,209,779	8,517,944	8,258,517	8,820,825	9,389,946	11,845,957	12,430,698	11,455,675	-	101,478,050
Dixieland	1,759,746	725,345	447,806	577,691	437,591	582,503	559,929	587,369	689,825	671,945	-	7,039,750
Airport	11,499,930	8,878,069	14,941,081	14,755,998	6,452,033	2,455,283	2,445,533	2,448,296	2,440,600	2,436,600	3,434,850	72,188,273
Stormwater Utility	57,078,479	11,529,489	10,293,120	9,904,404	9,916,617	10,040,555	16,754,237	9,926,196	10,242,405	10,630,724	10,911,656	167,227,882
Water	34,513,466	11,991,464	9,528,614	9,338,800	7,405,598	5,715,600	5,848,800	5,191,200	8,204,400	7,677,800	6,987,200	112,402,942
Wastewater	43,567,730	22,735,154	11,378,732	11,085,500	12,525,500	9,577,500	6,622,500	6,107,500	6,067,500	5,972,500	6,136,500	141,776,616





Capital Improvement Plan

Transportation

	Adjusted 2023 Budget	2024 Proposed	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	2033 Projected	Total Project Cost
<b>Misc. Projects</b>												
Parking Management Plan	119,151											119,151
Frontier ROW Use Permit Inspection	30,913											30,913
Traffic Signal Performance Measures	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	110,000
Clear Guide Arterial Data City-Wide		30,000	30,000	30,000								90,000
Survey Total Station	20,000											20,000
<b>Total Expenses</b>	<b>21,574,720</b>	<b>11,584,131</b>	<b>10,184,990</b>	<b>7,929,565</b>	<b>9,745,930</b>	<b>10,052,715</b>	<b>9,077,365</b>	<b>8,572,120</b>	<b>9,295,025</b>	<b>9,372,200</b>	<b>9,185,500</b>	<b>116,574,261</b>
<b>Parking</b>												
<b>Expenses</b>												
<b>Parking System - Main Street &amp; Heritage Garages</b>												
Dynamic Parking		240,000										240,000
<b>Parking System - Main Street Garage</b>												
Structural Inspection		16,000			17,000			20,000				53,000
Main St. Parking Garage - Ext. Coating	68,783		300,000			300,000			300,000			968,783
NuPark	38,000	38,000	40,000	40,000	40,000							196,000
Pressure Wash (Quarterly)		12,500	12,500	12,500	12,500	12,500						62,500
<b>Parking System - Orange Street Garage</b>												
Main St Garage Vault Cleaning	1,000	4,000			4,000			4,000			4,000	17,000
Orange Street Garage Repairs	14,795											14,795
Orange St Garage - Exterior Coating	146,943	300,000										446,943
Pressure Wash (Quarterly)		12,500										12,500
<b>Parking Lots</b>												
Surface Parking Lots Resurfacing		15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	150,000
<b>Total Expenses</b>	<b>269,521</b>	<b>638,000</b>	<b>367,500</b>	<b>67,500</b>	<b>88,500</b>	<b>327,500</b>	<b>15,000</b>	<b>39,000</b>	<b>315,000</b>	<b>15,000</b>	<b>19,000</b>	<b>2,161,521</b>



Capital Improvement Plan

Public Improvement Fund

	Adjusted 2023 Budget	2024 Proposed	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	2033 Projected	Total Project Cost
<b>Misc. Parks Projects</b>												
Christmas Decorations	12,500	12,500	12,500	12,500	12,500	12,500	12,500	12,500	12,500	12,500	12,500	137,500
Consultant Services	70,984	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	370,984
Pavement Management System - Re-pave Park Paths	27,596	28,286	28,993	29,718	30,461	31,222	32,003	32,803	33,623	34,464	35,325	344,494
Munn Park Renovation	100,000											100,000
Parks Maintenance Projects	73,742	75,000	76,000	77,000	78,000	79,000	80,000	81,000	82,000	83,000	84,000	868,742
Seven Wetlands Park	372,358											372,358
Bark at the Lake	106,704											106,704
Lake Mirror Promenade Renovation		500,000										500,000
Repair and Maintenance of Park Boardwalks and Walkways	33,993	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	283,993
Munn Park Lighting	3,036											3,036
<b>Total Parks</b>	<b>9,884,762</b>	<b>4,372,176</b>	<b>3,648,883</b>	<b>2,950,608</b>	<b>5,147,671</b>	<b>3,474,112</b>	<b>2,955,893</b>	<b>2,957,693</b>	<b>3,624,513</b>	<b>3,486,354</b>	<b>3,385,715</b>	<b>45,888,380</b>
<b>Recreation</b>												
<b>Recreation:</b>												
<b>Kelly Recreation Complex</b>												
Gandy Pool / Kelly Rec - Painting & Repair	6,425											6,425
Kelly Rec - Replace Weight Rm Equipment	24,618								50,000			74,618
Annual Pool Contingency	572	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	80,572
<b>Gandy Pool Operations</b>												
Simpson & Gandy Pool Repair & Improvements	1,890											1,890
Gandy Pool Repairs	332,000											332,000
<b>Lake Mirror Complex</b>												
Replace Stage Curtains	11,000											11,000
<b>Lake Crago Park</b>												
Lake Crago Park Complex Construction	748,307											748,307
<b>Simpson Park Rec Center</b>												
Simpson Park - Replace Weight Rm Equipment	23,536								50,000			73,536
Playground Equipment Replacement						125,000						125,000
Bleacher Shading	31,530											31,530
<b>Simpson Pool Operations</b>												
Annual Pool Contingency	1,152	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	81,152
<b>Tennis Courts</b>												
Resurface Tennis Courts		200,000										200,000
<b>Misc. Recreation Projects</b>												
Renovate Building & Playgrounds	292,213	236,000	238,000	240,000	242,000	244,000	246,000	248,000	250,000	253,000	256,000	2,745,213
<b>Total Recreation</b>	<b>1,473,243</b>	<b>452,000</b>	<b>254,000</b>	<b>256,000</b>	<b>258,000</b>	<b>385,000</b>	<b>262,000</b>	<b>264,000</b>	<b>366,000</b>	<b>269,000</b>	<b>272,000</b>	<b>4,511,243</b>
<b>P&amp;R Impact Fee Projects:</b>												
<b>P&amp;R Impact Fee-District 1</b>												
Lake Crago Park-	2,240,633				700,000					250,000		3,190,633
Bark at the Lake	50,000											50,000
<b>P&amp;R Impact Fee-District 2</b>												
Cypress Youth Complex	1,200											1,200
English Creek Park	2,602,690			1,000,000		500,000		500,000			500,000	5,102,690
English Creek Park - Debt Service	259,789	3,080,529										3,340,318
Peterson Park-Concession/Restroom Renovation	291,420											291,420
<b>Total P&amp;R Impact Fee Projects</b>	<b>5,445,732</b>	<b>3,080,529</b>	<b>-</b>	<b>1,000,000</b>	<b>700,000</b>	<b>500,000</b>	<b>-</b>	<b>500,000</b>	<b>-</b>	<b>250,000</b>	<b>500,000</b>	<b>11,976,261</b>



Capital Improvement Plan

Public Improvement Fund

	Adjusted 2023 Budget	2024 Proposed	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	2033 Projected	Total Project Cost
<b>All Other Gen Fund Bldgs.</b>												
Paint & Seal	610,168	615,168	615,168	620,168	625,168	630,168	635,168	640,168	645,168	650,168	655,168	6,941,848
City Buildings - Roof Replacements	1,646,873	726,587	726,587	746,568	767,099	788,194	809,869	832,141	855,025	878,538	902,698	9,680,179
Air Conditioner Replacements	520,917	319,695	319,695	324,695	329,695	334,695	339,695	344,695	349,695	354,695	359,695	3,897,867
Carpet Replacements	212,672	170,000	173,000	176,000	179,000	182,000	185,000	188,000	191,000	194,000	197,000	2,047,672
Town Center Rehabilitation ? Phase II	493,984											493,984
Ice Machine Replacements	10,950	11,100	11,250	11,400	11,550	11,700	11,850	12,000	12,150	12,300	12,450	128,700
Fire Panel Replacements	103,943	67,500	67,500	67,500	67,500	67,500	67,500	67,500	67,500	67,500	67,500	778,943
<b>Misc. Non-Dept Projects</b>												
Chamber of Commerce		115,000										115,000
Capital Contingency	198,091	270,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	2,718,091
SurfLakeland - Contributions to the Community	20,000											20,000
Lucity Application	11,145											11,145
Restoration of Historic Minute Books for LHCC		23,000										23,000
<b>City Hall</b>												
Commission Chamber A/V Upgrade	28,896											28,896
Commission Chamber Camera Replacement										60,000		60,000
Communications Department Office Remodel		75,000										75,000
Broadcast System Upgrade	241,318											241,318
<b>Accommodations for Programs and Services</b>												
ADA Compliance	3,210											3,210
Accommodations for Programs and Services	112,000	115,000	118,000	121,000	124,000	127,000	130,000	133,000	136,000	139,000	142,000	1,397,000
<b>Parking</b>												
Miscellaneous Maintenance Projects	123,230	90,000	92,700	95,481								401,411
<b>Total Non-Departmental</b>	4,781,966	2,763,050	2,538,900	2,577,812	2,519,012	2,556,257	2,594,082	2,632,504	2,671,538	2,771,201	2,751,511	31,157,833
<b>Contributions to Other Funds:</b>												
<b>General Fund</b>												
General Fund Dividend Assistance	3,600,000	3,350,000	3,250,000	3,250,000	3,250,000	3,250,000	3,250,000	3,250,000	3,250,000	3,250,000	3,250,000	36,200,000
Cleveland Heights Administration	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	5,500,000
Detroit Tigers - Naming Rights (revenue passthrough)	50,000	50,000	50,000	50,000	100,000	100,000	100,000	50,000	100,000			650,000
Detroit Tigers /City Joint Stadium Reserve Contribution	106,747	466,667	216,667	216,667	166,667	166,667	166,667	216,667	166,667			1,890,083
<b>RP Funding Center Fund</b>												
Lakeland Center Capital Transfer	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	4,400,000
Operating Transfers - Debt Service	647,610	647,201	2,556,376	2,464,830								6,316,017
Interest Revenue Backstop - LT Capital	400,000	700,000	700,000	700,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	9,500,000
Heritage Plaza Parking Garage - Debt Service	600,000	600,000	600,000	2,591,802								4,391,802
<b>Total Contributions to Other Funds</b>	6,304,357	6,713,868	8,273,043	10,173,299	5,416,667	5,416,667	5,416,667	5,416,667	5,416,667	5,150,000	5,150,000	68,847,902
<b>RP Funding Center</b>												
<b>Expenses</b>												
Lakeland Center Expansion	79,675											79,675
Capital Improvement Revenue Note, Series 2017A	1,183,058	1,182,312	1,181,549	1,180,265	1,179,966	1,151,012	1,150,196	1,149,360	1,148,503	1,147,627		11,653,848
Portable Chairs	90,000	120,000	125,000									335,000
Resurface Stage Floor	10,000											10,000
Lakeland Center Capital Contingency	30,000	43,000	44,000	70,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	2,987,000
Scissor Lift		30,000										30,000
Replace and Repair Line Set		75,000	75,000									150,000
General Replacements	30,000	20,000	25,000	25,000								100,000
Intercom System - Youkey Theatre		31,000										31,000
Building & Parking Security Upgrades	10,000	10,000	10,000	10,000								40,000
Replacement/Repairs/Upgrades - Lighting Systems		51,000	51,000									102,000
Side Tiered Seating - Arena				150,000								150,000
Forklift			30,000									30,000
Elevators - Arena				100,000								100,000
LED Lighting Upgrade	92,500											92,500
Roof Repair	20,000	20,000	20,000	20,000								80,000
Arena Curtains	7,500											7,500
AV Equipment Upgrades	35,000		20,000	25,000								80,000
Theatre Heater System	55,000											55,000
Time Clock Plus Upgrade/Replacement	20,000											20,000
<b>Total Expenses</b>	1,662,733	1,582,312	1,581,549	1,580,265	1,579,966	1,551,012	1,550,196	1,549,360	1,548,503	1,547,627	400,000	16,133,523



Capital Improvement Plan

Community Redevelopment Agency

	Adjusted 2023 Budget	2024 Proposed	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	2033 Projected	Total Project Cost
<b>Downtown CRA</b>												
<b>Expenses</b>												
<b>Operating Expense</b>												
Community Redevelopment Agency	1,200,773	196,712	209,000	215,000	221,000	228,000	235,000	249,000	256,000	263,000	271,000	3,544,485
<b>Neighborhood Projects</b>												
Small Project Assistance	699,305	350,000	350,000	350,000	350,000	350,000	350,000	500,000	500,000	500,000	500,000	4,799,305
Downtown Infrastructure		155,000	160,000	165,000	170,000	175,000	180,000	191,000	197,000	203,000	210,000	1,806,000
Affordable Housing			250,000	250,000	500,000	500,000	1,000,000	1,000,000	1,500,000	1,500,000	1,000,000	7,500,000
Catalyst Development	241,108	300,000	300,000	300,000	500,000	500,000	1,000,000	1,000,000	1,500,000	1,500,000	1,000,000	8,141,108
<b>Debt Service</b>												
Residential Redevelopment	400,000	344,389										744,389
<b>Misc. Projects</b>												
Downtown Streetscape	165,655											165,655
Property Management	45,988	6,036	6,076	6,108	6,142	6,176	6,211	6,247	6,285	6,324	6,324	107,917
Mowing	33,702	5,000										38,702
Arts & Entertainment	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	110,000
Lake Mirror Promenade - Maintenance	150,000											150,000
Oak Street Parking Lot	24,000	25,000										49,000
CRA Annual Report	2,980	5,181	5,277	5,375	5,476	5,581	5,688	5,799	5,913	6,030	6,030	59,330
Community Policing Innovation	56,053	58,856	61,799	64,889	68,133	71,540	75,117	78,872	82,816	85,301	87,860	791,236
Mirrorton Development	469,193											469,193
Business Technical Assistance Funding		40,000	40,000	40,000								120,000
Redevelopment Plan Update		175,000							175,000			350,000
Oak Street Development		736,000	1,100,000									1,836,000
Peachtree Flats Development		387,500	387,500									775,000
Tax Increment Financing Agreements (TIF)		900,000	1,000,000	1,300,000	1,300,000	1,750,000	1,750,000	1,500,000	1,600,000	1,600,000	1,600,000	14,300,000
<b>Corridor Enhancements</b>												
Downtown Streetscape		300,000	300,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	2,600,000
SFLA Corridor Improvements	649,247	500,000	267,000	267,000	267,000	267,000	267,000	267,000	267,000	267,000	267,000	3,552,247
Five Points Roundabout	311,096	150,000										461,096
Bay Street Streetscape and Drainage Improvements		415,000										415,000
Downtown Corridor Enhancements	224,345	206,000	212,000	218,000	225,000	232,000	239,000	253,000	500,000	261,000	261,000	2,831,345
<b>Total Expenses</b>	<b>4,683,445</b>	<b>5,265,674</b>	<b>4,658,652</b>	<b>3,441,372</b>	<b>3,872,751</b>	<b>4,345,297</b>	<b>5,368,016</b>	<b>5,310,918</b>	<b>6,850,014</b>	<b>6,451,655</b>	<b>5,469,214</b>	<b>55,717,008</b>
<b>Midtown CRA</b>												
<b>Expenses</b>												
<b>Operating Expense</b>												
Community Redevelopment Agency	918,786	1,008,823	1,110,750	1,130,000	1,145,000	1,165,000	1,190,000	1,225,000	1,261,750	1,299,603		11,454,712
<b>Contributions to Other Funds</b>												
Florida Taxable Pension Liability Reduction Note, Series 2020	14,204	19,533	20,119	20,723	21,345	21,985	22,645	23,324	24,024			187,902
<b>Sidewalk Projects</b>												
Olive Street Sidewalk	162,500											162,500
<b>Neighborhood Projects</b>												
Lincoln Square Development	1,750											1,750
Residential Incentives	1,377,421	450,000	450,000	1,000,000	1,500,000	2,000,000	2,250,000	2,500,000	2,750,000	2,050,000		16,327,421
Northwest Neighborhood	1,188,587	1,750,669	750,690	750,711	1,000,732	1,000,754	1,000,777	1,500,800	1,500,824	1,500,849		11,945,393
Northeast Neighborhood	746,233	450,000	450,000	500,000	500,000	500,000	500,000	750,000	750,000	750,000		5,896,233
Infrastructure Projects		500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000		4,500,000
Neighborhood Alley Improvements		500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000		4,500,000
Mid-Town Infrastructure	250,000											250,000
<b>Misc. Projects</b>												
Planning-Affordable Housing Incentive Plan	30,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000		165,000
Small Project Assistance	1,243,457	500,000	500,000	750,000	750,000	750,000	1,000,000	1,000,000	1,000,000	1,000,000		8,493,457
Property Management	298,735	305,200	327,151	336,966	347,074	357,486	368,211	379,257	390,635	402,354		3,513,069
Arts & Entertainment	35,310	25,000	25,000	25,000	50,000	50,000	50,000	100,000	100,000	100,000		560,310
Midtown Lofts Redevelopment Project-Loan Receivable	25,000											25,000
Redevelop Massachusetts Ave Properties	68,000											68,000
CRA Annual Report	16,023	17,726	18,258	18,805	19,368	19,950	20,548	21,165	21,800	22,454		196,097
Community Policing Innovation	446,388	468,707	492,142	516,749	542,587	569,716	598,203	628,112	659,518	679,303		5,601,425
Haus 820 Leasehold Improvements	38,761											38,761
Business Technical Assistance Funding		160,000	160,000	160,000								480,000
Redevelopment Plan Update		325,000	325,000					325,000	325,000			1,300,000
Job Creation Incentives	212,000											212,000
Affordable Housing Partnerships	1,500,000	500,000	500,000	500,000	500,000	500,000	500,000	1,000,000	1,000,000	1,000,000		7,500,000

Capital Improvement Plan

Community Redevelopment Agency

<b>Corridor Enhancements</b>												
MLK - Memorial to 10th St	10,331	10,641	10,960	11,289	11,628	11,977	12,336	12,706	13,087	13,480		118,435
Providence Rd - W 10th St to Griffin Rd	775,104	950,000	950,000	950,000								3,625,104
W Lake Parker/Lakeshore Trail Improvements	64,909											64,909
Landscape - US 98 - Memorial to 10th St	19,187	19,763	20,356	20,967	21,596	22,244	22,911	23,599	24,307	25,036		219,966
Landscape - US 98 - Griffin to 10th St	19,187	26,558	28,213	29,060	29,932	30,830	31,755	32,708	33,689	34,699		296,631
Landscape - Parker Street	10,331	10,641	10,960	11,289	11,628	11,977	12,336	12,706	13,087	13,480		118,435
Landscape - Ingraham Ave	12,039	12,534	12,910	13,297	13,696	14,107	14,531	14,967	15,416	15,879		139,376
Landscape - Intown Bypass Phase 1 Outparcels	10,331	10,641	10,960	11,289	11,628	11,977	12,336	12,706	13,087	13,480		118,435
E. Main Street Landscaping Maintenance	15,374	15,835	16,310	16,799	17,303	17,822	18,357	18,907	19,474	20,058		176,239
Lakeshore Aquatic Preservation	12,600	5,000	5,000	5,000								27,600
Redevelop Massachusetts Ave Properties	725,245	250,000	250,000	250,000								1,475,245
Memorial Blvd	550,000				500,000	500,000	500,000	1,000,000	1,000,000	1,000,000		5,050,000
Citrus Connection Services (LAMTD Agreement)	3,182											3,182
Five Points Roundabout	572,961	150,000										722,961
Lakeland Hills Blvd Landscape Enhancements		250,000	250,000									500,000
Hartsell Ave Sidewalk		75,000										75,000
Lakehurst Street Sidewalk			250,000									250,000
7th Street Sidewalk		115,000										115,000
Chase Street Trail				225,000								225,000
Olive Street Sidewalk	22,500											22,500
N. Scott Ave Sidewalk	235,688	75,000										310,688
Emma Street Sidewalk	200,000	75,000										275,000
Chase Street Trail	300,000											300,000
<b>Redevelopment Plan - MUAC</b>												
East Main Street Master Plan	869,314	500,000	250,000	250,000	250,000	250,000	250,000	250,000	500,000	500,000		3,869,314
<b>Total Expenses</b>	<b>13,001,438</b>	<b>9,547,271</b>	<b>8,209,779</b>	<b>8,517,944</b>	<b>8,258,517</b>	<b>8,820,825</b>	<b>9,389,946</b>	<b>11,845,957</b>	<b>12,430,698</b>	<b>11,455,675</b>		<b>101,478,050</b>
<b>Dixieland CRA</b>												
<b>Expenses</b>												
<b>Operating Expense</b>												
Community Redevelopment Agency	98,127	62,614	102,000	104,000	106,000	108,000	110,000	112,000	114,000	117,000		1,033,741
<b>Contributions to Other Funds</b>												
Florida Taxable Pension Liability Reduction Note, Series 2020	5,095											5,095
<b>Misc. Projects</b>												
Small Project Assistance	350,000	350,000	150,000	350,000	150,000	350,000	150,000	350,000	350,000	350,000		2,900,000
Landscaping Maintenance by Other City Departments	2,327	2,396	2,468	2,541	2,617	2,696	2,777	2,862	2,950	3,039		26,673
Publications and Promotions	2,500											2,500
Alley Maintenance	3,200	3,400	3,600	3,600	3,600	3,600	3,600	3,600	3,600	3,600		35,400
Arts & Entertainment	25,000	25,000	25,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000		145,000
Infill Adaptive Reuse Program	300,000											300,000
CRA Annual Report	1,505	2,069	2,131	2,194	2,260	2,327	2,397	2,468	2,542	2,617		22,510
Community Policing Innovation	7,134	7,366	7,607	7,856	8,114	8,380	8,655	8,939	9,233	9,274		82,558
Dixieland Sign Maintenance	119											119
<b>Corridor Enhancements</b>												
Alley Improvement Project	105,284	25,000	25,000	25,000	25,000	25,000	25,000	25,000	125,000	103,915		509,199
Redevelopment Plan Update		175,000						175,000				350,000
SFLA Corridor Improvements	849,455	67,500	125,000	67,500	125,000	67,500	67,500	67,500	67,500	67,500		1,571,955
Dixieland Sign Maintenance	10,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000		55,000
<b>Total Expenses</b>	<b>1,759,746</b>	<b>725,345</b>	<b>447,806</b>	<b>577,691</b>	<b>437,591</b>	<b>582,503</b>	<b>559,929</b>	<b>587,369</b>	<b>689,825</b>	<b>671,945</b>		<b>7,039,750</b>

Capital Improvement Plan

Airport

	Adjusted 2023 Budget	2024 Proposed	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	2033 Projected	Total Project Cost
<b>Expenses</b>												
<b>Capital Projects</b>												
FAA Reconstruction of TWY P	5,782,610											5,782,610
FAA/FDOT ARFF Equipment	855,000											855,000
TWY A Shoulders		955,300	3,729,000	7,994,700								12,679,000
Security Enhancements & Upgrades	280,000											280,000
AWOS Replacement	120,000											120,000
Consolidated Fuel Farm		350,000	4,649,999									4,999,999
Construct T-Hangar	191,240											191,240
FDOT Projects											1,000,000	1,000,000
Land Acquisitions 61.7 Acres					4,000,000							4,000,000
Airport Service Volume (ASV) Study		376,191										376,191
Benefit Cost Analysis Reimbursement		457,094										457,094
Terminal Area Master Plan		178,400										178,400
TWY E; Construct TWY S	5,716											5,716
<b>Airport Maintenance Projects</b>												
Miscellaneous Maintenance Projects	365,732	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	350,000	3,865,732
<b>Debt Service</b>												
ILS Upgrade to Cat III	548,939	2,500,000	2,500,000	1,197,013								6,745,952
FDOT-Airport Fuel Farm	12,183	12,183	12,182	12,183	12,182	12,183	12,183	12,196				97,475
Capital Improvement Revenue and Refunding Bonds, Series 2021A	729,300	2,684,301	2,841,100	4,343,501	1,224,500	962,000	640,500	638,500	640,750	642,000	637,250	15,983,702
Capital Improvement Revenue and Refunding Bonds, Series 2021B	698,760	1,014,600	858,800	858,601	865,351	1,131,100	1,442,850	1,447,600	1,449,850	1,444,600	1,447,600	12,659,712
Capital Improvement Revenue and Refunding Bonds, Series 2021C	1,910,450											1,910,450
<b>Total Expenses</b>	<b>11,499,930</b>	<b>8,878,069</b>	<b>14,941,081</b>	<b>14,755,998</b>	<b>6,452,033</b>	<b>2,455,283</b>	<b>2,445,533</b>	<b>2,448,296</b>	<b>2,440,600</b>	<b>2,436,600</b>	<b>3,434,850</b>	<b>72,188,273</b>

Capital Improvement Plan

Stormwater

	Adjusted 2023 Budget	2024 Proposed	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	2033 Projected	Total Project Cost
<b>Expenses</b>												
<b>Operating Expense</b>												
Lakes and Environmental	2,272,571	2,874,702	2,681,844	2,748,865	2,816,887	2,886,909	2,958,932	3,032,955	3,107,979	3,185,003	3,264,033	31,830,680
<b>Contribution to Other Funds</b>												
Lake Bonnet Drainage Improvement CBDG - MIT Grant		116,485	152,356	188,571	224,786	261,741	68,087					1,012,026
General Fund - Retiree Bonus			918		918		918		918		918	4,590
Florida Taxable Pension Liability Reduction Note, Series 2020	29,961	30,325	30,668	31,033	31,400	31,766	32,131	32,519	18,554	21,888	16,805	307,050
Radio Replacement 2011	2,251	2,251	2,251									6,753
Fleet Management Reserve Fund	254,365	45,000										299,365
<b>Lake Bonny</b>												
Lake Bonny Watershed Management Plan & Projects	362,691	150,000	250,000	250,000	50,000	50,000	10,000	10,000	50,000	50,000	50,000	1,282,691
<b>Lake Gibson</b>												
Water Quality Improvement Project	60,000	110,000	50,000	50,000	5,000	5,000	50,000	50,000	5,000	50,000	25,000	460,000
<b>Lake Hollingsworth</b>												
Lake Hollingsworth TMDL Program	679,529	300,000	200,000	50,000	100,000	50,000	50,000	50,000	50,000	100,000	50,000	1,679,529
<b>Hunter/Beulah/Wire Watershed</b>												
Lake Hunter - Watershed Management	156,171	200,000	200,000	100,000	50,000	10,000	50,000	50,000	150,000	200,000	200,000	1,366,171
<b>Lake Parker</b>												
SWFMD Lake Parker Restoration	140,619											140,619
Lake Parker TMDL Project - WQ Treatment	810,086	500,000	550,000	300,000	350,000	350,000	150,000	200,000	150,000	50,000	150,000	3,560,086
<b>Miscellaneous</b>												
Install / Maintain Pollution Control Devices	73,731	60,000	60,000	60,000	60,000	60,000	60,000	60,000	60,000	60,000	60,000	673,731
Southern Landings Repairs	10,000	10,000	10,000		10,000					10,000	10,000	60,000
Stormwater Management Master Plan	160,599	450,000							50,000			660,599
Drainage Maintenance Operations	1,220,295	957,897	860,000	860,000	910,000	910,000	920,000	970,000	970,000	970,000	1,020,000	10,568,192
Environmental Code Enforcement Officer	57,487	49,658	66,076	68,719	71,467	74,326	77,299	80,390	83,605	86,949	90,000	805,976
Highlands Hills Ditch Maintenance & Repairs	97,658											97,658
CLMP - 2016 Update							350,000					350,000
Upgrades to Office	50,000	50,000										100,000
Drainage Capital Equipment	63,442	203,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	626,442
<b>Crystal Lake</b>												
SWFMD Crystal Lake Water Quality Improvement Study Q178	75,048											75,048
Crystal Lake TMDL	431,679	100,000	150,000	10,000	10,000	10,000	15,000	20,000	15,000	10,000	10,000	781,679
<b>Lake Morton</b>												
Water Quality Improvement Project	606,051	100,000	50,000	50,000	50,000	50,000	25,000	25,000	25,000	25,000	25,000	1,031,051
<b>Lake Mirror</b>												
Water Quality Improvement Project	465,774	100,000	50,000	150,000	10,000	10,000	50,000	50,000	25,000	25,000	25,000	960,774
<b>Lake Beulah</b>												
Water Quality Improvement Project	55,000	5,000	5,000	5,000	5,000			5,000	5,000	5,000	5,000	95,000
<b>Drainage Projects</b>												
Retrofit Existing Storm Sewers	1,254,283	1,250,000	1,200,000	1,350,000	1,500,000	1,500,000	1,500,000	1,500,000	1,750,000	1,900,000	1,900,000	16,604,283
TV & Clean Storm Drain Structures	658,769	414,008	689,791	410,000	450,000	500,000	500,000	500,000	500,000	550,000	550,000	5,722,568
GIS Storm Sewer Inventory	82,364	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	832,364
Wayman St. Ditch Repairs	321,652											321,652
GIS Technician - Engineering	82,689	85,997	89,437	93,014	96,735	100,604	104,628	108,813	113,165	117,692	122,400	1,115,174
Lake Bonny Drainage Project	73,069	250,000	50,000	5,000								378,069
S. Edgewood Drive (Taft St to US 98S)	94,000											94,000
Street Sweeping Operations	1,460,922	1,677,885	1,914,336	1,919,738	1,945,648	1,972,076	2,024,819	2,052,350	2,122,467	2,196,090	2,300,000	21,586,331
Heatherpoint Stormwater Sewer Repair	20,939	20,939	20,940	20,940	20,939	20,939	20,939	20,939	5,236			172,750

**STORMWATER UTILITY FUND  
CAPITAL IMPROVEMENT PLAN**

<b>Lakes and Environmental</b>												
NPDES Permitting - Administration	39,635	42,050	40,500	41,000	41,500	42,000	42,500	43,000	43,500	44,000	44,500	464,185
Public Education Programs	86,451	65,000	60,000	60,000	60,000	50,000	50,000	50,000	50,000	50,000	60,000	641,451
General Lake Improvements	539,458	500,000	350,000	400,000	400,000	450,000	450,000	500,000	500,000	500,000	500,000	5,089,458
Lake Hollingsworth Southside Shoreline Stab	20,000					15,000						35,000
Lake Beulah Shoreline Restoration		15,000			25,000					20,000		60,000
Lake Morton Shoreline Restoration	19,057	100,000		10,000		10,000	5,000			10,000		154,057
Contribution to Florida Friendly Landscaping	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	110,000
Aquatic Plant Management Plans			5,000		5,000				5,000			15,000
Lake Bonnet Water Quality Improvement	188,725	150,000	25,000	150,000	25,000	10,000	20,000	150,000	15,000	15,000	50,000	798,725
Solid Waste/Lakes - 305 Eastside Property	22,678											22,678
Replace Jon Boat		50,000			25,000							75,000
Aquatic Harvester	982,390	292,807	201,647	208,953	216,551	223,453	222,671	240,230	246,981	254,102	258,000	3,347,785
<b>Total Expenses</b>	<b>14,092,089</b>	<b>11,413,004</b>	<b>10,140,764</b>	<b>9,715,833</b>	<b>9,691,831</b>	<b>9,778,814</b>	<b>9,932,924</b>	<b>9,926,196</b>	<b>10,242,405</b>	<b>10,630,724</b>	<b>10,911,656</b>	<b>116,476,240</b>
<b>Expenses</b>												
<b>Lakes and Environmental</b>												
Lake Bonnet Drainage Improvement CBDG-MIT Grant		116,485	152,356	188,571	224,786	261,741	6,821,313					7,765,252
Project Implementation	5,432,226											5,432,226
Phase I - Feasibility Study	1,321,000											1,321,000
Phase II - Design & Engineering	2,560,000											2,560,000
Phase III - Construction	33,673,164											33,673,164
<b>Total Expenses</b>	<b>42,986,390</b>	<b>116,485</b>	<b>152,356</b>	<b>188,571</b>	<b>224,786</b>	<b>261,741</b>	<b>6,821,313</b>					<b>50,751,642</b>



Capital Improvement Plan

Water

<b>Water T&amp;D-General</b>													
Capital Contingency		200,000	200,000	220,000	220,000	220,000	240,000	240,000	240,000	260,000	260,000	2,300,000	
Lead and Copper Rule Compliance	180,000	210,000	220,000	226,600	233,398	244,400	247,600	255,000	262,700	270,600	280,000	2,630,298	
CWE4001 Subdv. & Comm. Dev. Cap. Proj.	89,000	135,000	135,000	140,000	140,000	145,000	145,000	150,000	150,000	155,000	155,000	1,539,000	
CWD4002 New Service Connections	139,247	65,000	65,000	75,000	75,000	85,000	85,000	85,000	95,000	95,000	95,000	959,247	
CWE4004 Minor Ext & Sys Improvements (007)	220,467	320,000	325,000	330,000	330,000	335,000	335,000	335,000	340,000	340,000	340,000	3,550,467	
CWD4009 Hydrant Install-New Annex (007)	34,100											34,100	
CWD4011 City Project Support (007)	240,000	250,000	250,000	260,000	275,000	275,000	275,000	275,000	300,000	300,000	300,000	3,000,000	
CWD4018 Dist. Facilities Replacement	110,000	100,000	100,000	120,000	120,000	120,000	120,000	120,000	130,000	130,000	130,000	1,300,000	
CWD4021 New Water Meters		50,000	50,000	50,000	60,000	60,000	60,000	60,000	60,000	60,000	70,000	590,000	
CWE4022 Tools & Equip	34,337	30,000	30,000	30,000	35,000	35,000	35,000	35,000	40,000	40,000	40,000	384,337	
CRR4023 Central Controlled Irrigation	6,000											6,000	
CWD5039 Undesignated Long Term Project Support (007)	140,000	250,000	250,000	300,000	300,000	300,000	350,000	350,000	350,000	350,000	400,000	3,340,000	
CWD5067 Meter Relocation/Improvement	7,500	7,500	7,500	7,500	8,000	8,000	8,000	8,000	8,500	8,500	8,500	87,500	
CWD15100 Traffic Control Support Capital	7,500	7,500	7,500	7,500	8,000	8,000	8,000	8,000	8,000	8,500	8,500	87,000	
CWE5146 Purchase of Radios		5,200	5,200	5,200	5,200	5,200	5,200	5,200	5,200	5,200	5,200	52,000	
Transfer to Fleet - Water Vehicle Purchases	102,000	165,000	100,000									367,000	
CWD5230 SmartGrid Installation	12,134,324											12,134,324	
Maplewood Av 6" AC Replacement (Between E. Edgewood Drive and Glendale	209,456											209,456	
Redwood Av. 6" AC Replacement (Between E. Edgewood Dr. and Glendale St	191,749											191,749	
North Wabash Extension	459											459	
Scott Lake Manor 6" Fire Improvement (Martha St, Donald St & Jay St)	15											15	
Glendale St. 6" AC WM Replace (Willow to New Jersey)	35,052											35,052	
Skyview 6" Fire Protection Improv (Six Iron-Fairway Dr)			126,750									126,750	
Skyview 6" Fire Protection Improv (Watersedge Dr)			138,400									138,400	
W. Lk Parker AC W.L. Replace (Valencia to Bonaire)	258,400											258,400	
Lakeland Hills Blvd (Parkview to Granada)		4,200,000										4,200,000	
Chabett Ave. W.L Replace-6 inch-Fire Improv	145,000											145,000	
E Lk Parker AC Replace (Lk View to Idlewild)	115,000											115,000	
Tom Watson Rd 6" W.M. & Fire Protection Improvement			85,000									85,000	
Oxford Av/Warrington Av 6" Fire Protection Improvement			175,000									175,000	
Cornelia Av. 6" AC WL Repl. (W. Hickory to Dorothy)	159,579											159,579	
Lk. Hollingsworth Dr 6" AC WL Rep (Collins Ln to Crystal Lk Dr)	300,221											300,221	
Water Main Replacement Group 1	10,000											10,000	
Water Main Replacement Group 3	714,000	379,000		394,000	410,000							1,897,000	
Water Main Replacement Group 4	1,020,000	541,000		562,000	585,000							2,708,000	
Water Main Replacement Group 5	2,040,000	1,000,000		1,125,000	1,171,000	1,500,000	1,560,000	1,280,000	1,330,000			11,006,000	
N. Galloway/Sleepy Hill Roundabout 12" PVC Removal & Adj. (Polk County	2,172											2,172	
Chestnut Rd Sidewalk Improvements	420,000											420,000	
Clubhouse/Tillery Rd Relocation	40,000											40,000	
County Support Project	5,000											5,000	
Ground Penetrating Radar	21,000											21,000	
Water Main Replacement Group 8	765,000			765,000	795,000							2,325,000	
Carolina 6" AC Replacement	95,057											95,057	
Buckingham Ave 6" AC WM Replacement	150,315											150,315	
Fairway & US92 - Tie lines			120,000									120,000	
Townepark & Myrtle Hill Tie			75,000									75,000	
Modifications to Water Distribution Facility Stairwell	70,000											70,000	
LWE9592 W. Pipkin Widening (Medulla to Harden)	208,249											208,249	
12" AC replacement Chestnut St-Chestnut Hills Dr to W 10th	57,633											57,633	
Directional Boring Rig/Vacuum/Trailers			900,000									900,000	
Water Main replacement Group 6					650,000							650,000	
Water Main replacement Group 7				620,000								620,000	
<b>Water T&amp;D-Meters</b>													
Water Meter Replacement - Capital	130,000	80,000	80,000	80,000	100,000	100,000	100,000	100,000	3,000,000	3,000,000	3,000,000	9,770,000	
<b>Water T&amp;D-Cross Connection Control</b>													
CWD4010 Backflow Prevention	75,741	120,000	120,000	130,000	130,000	140,000	140,000	150,000	150,000	160,000	160,000	1,475,741	





**WASTEWATER FUND  
CAPITAL IMPROVEMENT PLAN**

	Adjusted 2023 Budget	2024 Proposed	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2030 Projected	2031 Projected	2032 Projected	2033 Projected	Total Project Cost
<b>Wastewater Renewal and Replacement</b>												
<b>Expenses</b>												
<b>Non-Departmental</b>												
Radio Replacement 2011	60,938	60,938										121,876
Capital Contingency		150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000		1,350,000
<b>Wastewater Collection Administration</b>												-
Security Enhancements	20,000	20,000	20,000	25,000	20,000	20,000	20,000	25,000	20,000	20,000	20,000	230,000
Wireless Work Order System Interface			50,000			50,000			50,000			150,000
Transfer to Fleet - Wastewater Vehicle Purchases	27,500											27,500
Wastewater Collection Vehicles GPS	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	16,500
<b>Wastewater System Administration</b>												-
Facilities Upgrades / Repairs and Replacements	49,000	55,000	55,000	55,000	55,000	55,000	55,000	55,000	55,000	55,000	55,000	599,000
Targeted Economic Opportunities - Wastewater	250,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	1,250,000
Undesignated Growth - Wastewater	185,164											185,164
Time Keeping System	50,000											50,000
<b>Glendale Sewage Treatment Plant</b>												-
Glendale Controls	61,489				100,000							161,489
Replacement of Sludge Pumping Equipment	71,816	75,000	75,000	75,000								296,816
Transfer to Fleet - Wastewater Vehicle Purchases	36,646											36,646
Capital Equipment	57,226	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	75,000	75,000	607,226
Repair and Repave Service Roads					100,000							100,000
Climber Screen Replacement						500,000						500,000
Undesignated Pumps, Motors and Controls	72,374	125,000	125,000	125,000	125,000	125,000	125,000	125,000	125,000	125,000	125,000	1,322,374
Rehab and Repair Primary Clarifiers	63,354											63,354
SCADA HACH WIMS Interface	50,000	50,000	25,000	25,000								150,000
Glendale Control Panel Upgrades	60,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	810,000
Polymer System	117,100											117,100
IMLR Pump VFD Upgrade	77,948			500,000								577,948
Grit Classifier and Pumps Upgrade	260,117											260,117
Sludge Pumping and Control Improvements	114,155											114,155
Chlorine Conversion Study	100,000											100,000
Intermediate Station Pump Replacement	68,214											68,214
Influent Pump Replacement	160,300											160,300
New Odor Control for primary clarifiers		250,000										250,000
Primary #2 Replace Clarifier Equipment at Glendale			500,000									500,000
Intermediate Pump Station Coating					400,000							400,000
Centrifuge Rebuild					200,000		200,000					400,000
Replacement of Secondary Clarifier Drive Mechanisms				475,000	475,000	475,000	475,000					1,900,000
Grit Chamber Improvement					500,000							500,000
Sludge Loading station							200,000					200,000
Replace Generator at Blower Bldg.											1,000,000	1,000,000
<b>Northside Sewage Treatment Plant</b>												-
Northside Controls	20,000	25,000		25,000		25,000		25,000				120,000
Northside Replacement of Clarifier Drive Mechanisms			350,000	350,000	350,000	350,000						1,400,000
Capital Equipment	36,540	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	30,000	201,540
Undesignated Pumps, Motors and Controls		75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	100,000	775,000
SCADA HACH WIMS Interface	30,000	50,000	25,000	25,000								130,000
Northside Internal Recycle Pump Replacement	85,845											85,845
Repair of Headworks Splitter Box	76,748											76,748
Bypass Pump Station and Valve Control	224,404											224,404
RAS Valve Controls	86,072											86,072
Grit Valves and Pump Replacements	38,695											38,695
Replacement Aerator	64,779	75,000	75,000									214,779
Northside Sludge Holding Tank Blowers and Aeration System	850,272											850,272
Bypass Pump Station Rebuild	961,442											961,442
NPW Pump Station Rehab				1,000,000								1,000,000
Secondary clarifier pressure relief valves		50,000	100,000	100,000	100,000	100,000						450,000

**WASTEWATER FUND  
CAPITAL IMPROVEMENT PLAN**

<b>Sewage Pumping Stations</b>												-
Telemetry System Upgrades	25,000	50,000		50,000	50,000	50,000	50,000	50,000	50,000	100,000	100,000	575,000
Wet Well Rehab		150,000	150,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	1,900,000
Undesignated Pump / Panel Replacements		200,000	200,000	225,000	225,000	250,000	250,000	250,000	250,000	250,000	250,000	2,350,000
Undesignated Generator Replacement		80,000	80,000	80,000	80,000	100,000	150,000	150,000	150,000	150,000	150,000	1,170,000
Transfer to Fleet - Wastewater Vehicle Purchases	99,750											99,750
Capital Equipment	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	275,000
Northside Pump Station Construction	7,432,331											7,432,331
Upgrade SW Pump Station	14,948											14,948
Pump Station ARC Flash Study	150,000	5,000	5,000	5,000	175,000	5,000	5,000	5,000	5,000	175,000	5,000	540,000
Northwest PS Rehab	156,844											156,844
VFD Conversions	10,000											10,000
Martins Landing Pumps & Panel Rehab	1,838											1,838
Undesignated Generator Installation		150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000	1,500,000
Cyanamid L6840 Rehab.	200,000	550,000										750,000
Non-Destructive FM Testing			75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	675,000
L2610 US98 South Pipe/Well Rehab	28,417											28,417
County Line L3440 Panel Replacement	200,000											200,000
Upgrade Tenth St L3310 Pump Station	200,000											200,000
L0440 Bridgefield Panel Replacement	75,000											75,000
Edgewood Ext. Rehab	482,530											482,530
Electricians Portable Generator	20,946											20,946
Airpark L3430 Fiber Install	13,722											13,722
Northside L6010 Fiber Install	36,658											36,658
Telemetry System Communication Issues	8,098											8,098
Pump Station Well Level Upgrades	50,000	20,000										70,000
L6520 Interstate Business Park II Generator Installation	55,389											55,389
L6630 Kennedy House Pump Replacements	16,736											16,736
L0790 Publix Fiber Install	1,346											1,346
L0730 Westside Fiber Install	1,462											1,462
L0410 Fire Suppression System	50,000											50,000
L4570 Swindell Rd Pumps and Panel	200,000											200,000
Portable Bypass Pump	62,000											62,000
L3440 County Line Pump Replacement	53,665											53,665
L3455 PLC Replacement	19,647											19,647
L2310 Generator Replacement	95,864											95,864
L3220 Meridian Pump Replacement	35,000											35,000
L7130 Sandpiper South Pump Replacement	18,056											18,056
Airside Master Pump Replacement	22,000											22,000
L2680 Highlands City Towncenter Pump Replacement	13,000											13,000
L4440 M&B Commercial Pump Replacement	25,000											25,000
L1410 Lake Hunter Pump Replacement	20,000											20,000
L3610 Grasslands Odor Control	33,186											33,186
L6540 Mall Hill Pump Replacements	35,000											35,000
L6805 Bridgewater II Pump Replacements	22,000											22,000
L2310 Chemical Grout Drywell	4,360											4,360
L3610 Grasslands Re-pipe	19,953											19,953
L6550 Sleepy Hill Middle School Generator Installation	80,000											80,000
L2310 Fire Suppression System		50,000										50,000
L3710 Airside Master Panel Generator		250,000		450,000								700,000
L1710 Belvedere Pump, Panel, Generator Rehab		250,000										250,000
Storage building for spare pumps, portable generators			50,000	450,000								500,000
Mission Lakes Driveway Replacement	25,000											25,000
Water Utilities Cybersecurity Vulnerability Evaluations	40,000											40,000
L7210 Eastside Village Wet Well Rehab	57,250											57,250
L7020 Socrum Loop Wet Well Rehab	57,250											57,250
L0820 Lone Palm Generator	73,950											73,950
L0730 Spare Pump for Westside Lift Station	31,500											31,500
L0210 Spare Pump for Woodlake Lift Station	31,500											31,500
Replace L0110 Bentley Shores FM						350,000						350,000
- L6820 Interstate Pump Station Pumps-Panel-Generator						400,000						400,000
L2310 Fire Suppression System			50,000									50,000
L3430 Fire Suppression System			50,000									50,000
L0360 Spring Oaks Station Rehab				200,000								200,000
L7020 Socrum Loop Station Rehab					350,000							350,000
L3410 Waring Rd Pumps Panel Generator						400,000						400,000
L6310 Providence Road Pump Station Rehab						300,000						300,000





**WASTEWATER FUND  
CAPITAL IMPROVEMENT PLAN**

<b>Wetlands Management</b>													-
FDEP-Se7en Wetlands Phase III Trail	390,778												390,778
Security Enhancements	30,000	30,000											60,000
Capital Contingency	39,600	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000		399,600
Undesignated Generator Replacement					30,000								30,000
Wetlands Gopher Tortoise Relocation	75,000	25,000			25,000				25,000			25,000	200,000
Transfer to Fleet - Wastewater Vehicle Purchases	190,000	102,000											292,000
Capital Equipment	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000		100,000
Wetlands Fiber Installation	8,752												8,752
Wetlands Park			75,000		75,000			75,000					225,000
North Boundary Fence adjacent to Eaglebrook	150,000												150,000
Upgrades to Office		30,000											30,000
Wetland Data Automation	166,384												166,384
Replacement of Control Gates	179,495		400,000										579,495
Effluent Ditch Rehabilitation		100,000											100,000
Reverse Eutrophication/Wetlands Ecosystem			90,232										90,232
Connect to Public Water Supply	35,556												35,556
Land Management	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000		300,000
Effluent Structure Rehabilitation		200,000	2,000,000										2,200,000
Dredging and Sediment Management	741,861												741,861
Wetland Renewable Energy			75,000										75,000
Se7en Wetlands Educational Center	250,000	100,000											350,000
Additional Storage for Equipment Shed	75,000												75,000
Replacement of Diffusers	30,400												30,400
Water Quality Improvements TSS		100,000											100,000
Cell 4 drainage upgrades		300,000											300,000
Replacement of Control Panels for Blowers		20,000											20,000
Additional Parking Area/Cover		200,000											200,000
Cell 3 Distribution Ditch		70,000											70,000
Cell 6 Erosion		70,000											70,000
Wetland Treatment System Assessment Update									250,000				250,000
Stability Analyses / EAP Update					150,000								150,000
Wetland Cells Restoration			300,000	200,000									500,000
Wetland Water Budget & Operating Procedures				150,000									150,000
<b>Laboratory Analysis</b>													-
WW Laboratory Renovation	108,900												108,900
Capital Equipment	20,100	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000		245,100
<b>West Lakeland Roughing Plant</b>													-
Undesignated Pumps, Motors and Controls	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	75,000	575,000
Westside Control Panel Upgrades	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	75,000	575,000
PLC Replacements	259,400												259,400
Aeration Tank Coating							1,000,000						1,000,000
Blower Replacement											250,000		250,000
<b>Wastewater Treatment Operations Support</b>													-
Capital Equipment	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000		250,000
<b>Total Expenses</b>	35,965,597	14,393,154	8,942,732	10,064,500	9,975,500	8,897,500	5,972,500	5,457,500	5,417,500	5,322,500	5,486,500		115,895,483
<b>Wastewater Impact Fees</b>													
<b>Expenses</b>													
<b>Non-Departmental</b>													
Wastewater Impact Fee Study			30,000			30,000							60,000
<b>Sewage Pumping Stations</b>													-
Southwest Pump Station Redirection	400,000												400,000
L3865 Citrus Woods Panel Upsizing	8,246												8,246
L3845 Skyview Waters Panel Upsizing	6,677												6,677
Cypress Point Repump Station Reimbursement	1,000,000												1,000,000
<b>Sewer Line Maintenance</b>													-
Force Main Parkway to Glendale	572,886												572,886
Skyview Force Main Upgrades	537,679												537,679
Southwest Lakeland Sewer Upgrade	893,170												893,170
North Wabash Extension	57,000												57,000
Western Trunk San Gully Rd Line Relocation	250,000	7,000,000											7,250,000
L0820 Lone Palm FM Extension/Upsizing	103,222												103,222
Waring Rd-Pipkin to Dranefield FM		300,000	1,700,000										2,000,000
Master Plan-Crystal Lake/Sylvester Combined					1,900,000								1,900,000
Master Plan-Waring Rd Gravity to LS3410		336,000											336,000





# Planning & Zoning Board General Application

## General Information:

<b>Project No:</b>	CUP23-010	<b>Application Date:</b>	5/1/2023		
<b>Project Name:</b>	EDGE SOLAR				
<b>Subject Property Address:</b>					
<b>Parcel ID:</b>	242722000000010000	<b>Total Acreage:</b>	2044		
<b>Applicant Name:</b>	CHARLES RYAN				
<b>Applicant Address:</b>	2800 POST OAK BLVD	HOUSTON	TX	77056	
<b>Owner Name:</b>	WILLIAMS ACQUISITION HOLDING COMPANING LLC				
<b>Owner Address:</b>	PO BOX 2400	TULSA	OK	74102-2400	

## Request:

<b>Application Type:</b>	<b>CONDITIONAL USE</b>	<b>NEW</b>
<b>Proposed</b>		<b>Current</b>
<b>Zoning:</b>	LD (Limited Development)	LD (Limited Development)
<b>Land Use:</b>	C-Conservation	Conservation (C)
<b>Context:</b>	PCR- Preservation/Conservation/Recreation	Preservation, Conservation, Recreation (PCR)
<b>Explanation of Request:</b>	Construction of solar photovoltaic energy facilities upon approximately 2044 acres of agricultural lands. The Project will consist of solar photovoltaic modules on tracking arrays, inverters, transformers, collector lines, substation(s), and at-grade access roads.	
<b>Justification:</b>	Since 1994 Lakeland Electric has been interested in utilizing alternative energy sources. Solar Panels are ideal for Florida's sunny days and can minimize customers' dependency on the main electric grid. Moving forward, Lakeland Electric plans to increase solar programs with additional solar farms and customers' personal solar panels Williams Acquisition Holding Company (Holdco) proposes to construct a solar facility directly adjacent to Lakeland's I-4 corridor. Solar Edge will generate energy for Lakeland's community and promote the city's green energy initiative.	

## Concurrency:

<b>Proposed Dwelling Units:</b>	0	<b>Project Floor Area:</b>	0	Square feet	
<b>Type of Use:</b>	Other	<b>Phase</b>	1	<b>Year</b>	2025
<b>Estimate of Public Service Demand</b>					
<b>Roadways</b>	<b>Daily Trips:</b>	0	<b>PM Peak Hour Trips:</b>	0	
<b>Potable Water</b>		GPD	<b>Wastewater</b>	GPD	<b>Solid Waste</b>
					PPD

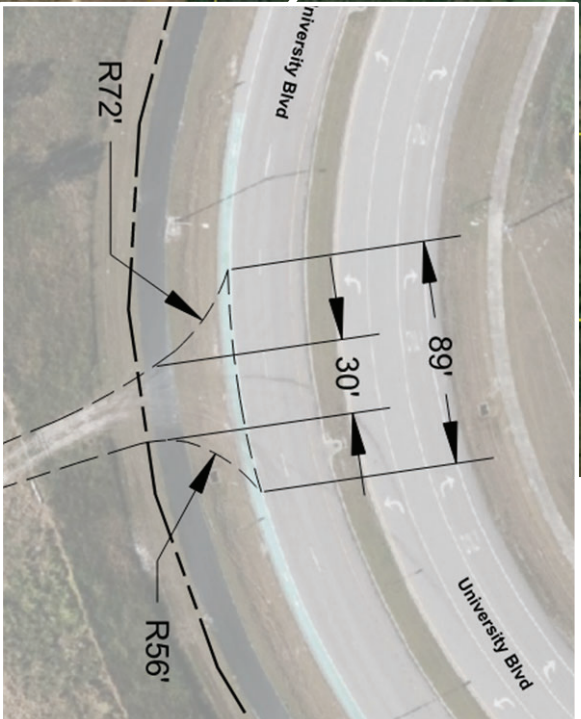
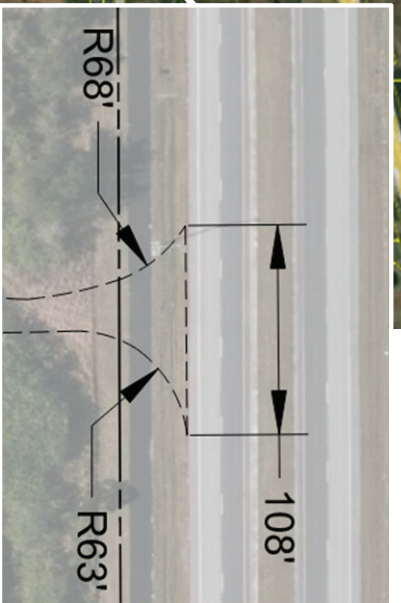
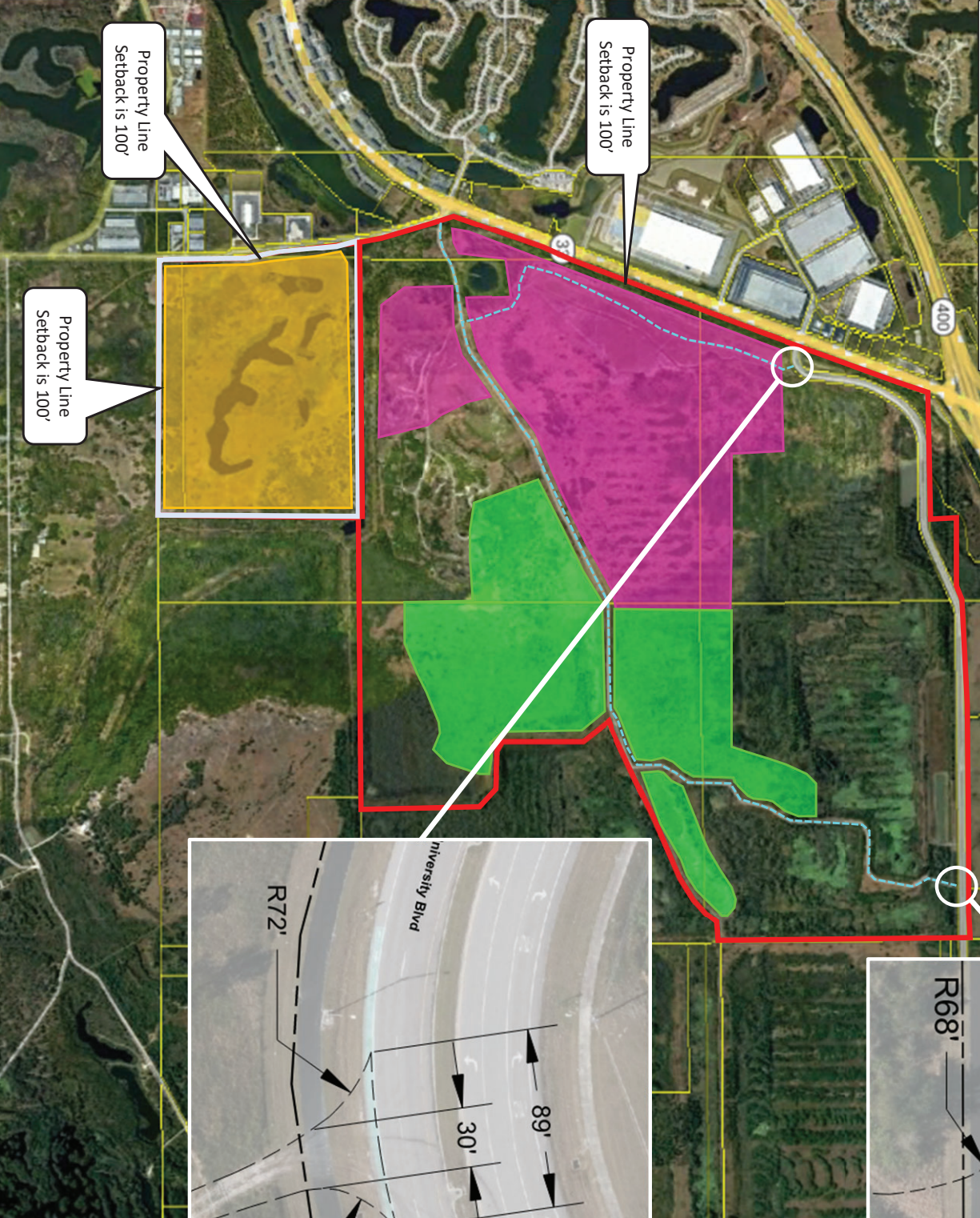


# Edge Solar Site Plan

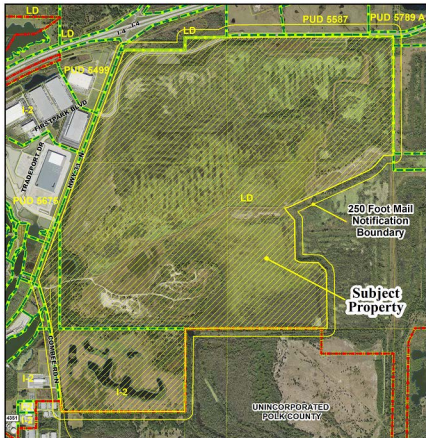
8-11-23

**Legend**

- Zoned Limited Development
- Zoned I-2
- Phase I Solar Array
- Phase II Solar Array
- Phase III Solar Array
- Private Road(s)
- Land parcels







**File Number:** CUP23-010

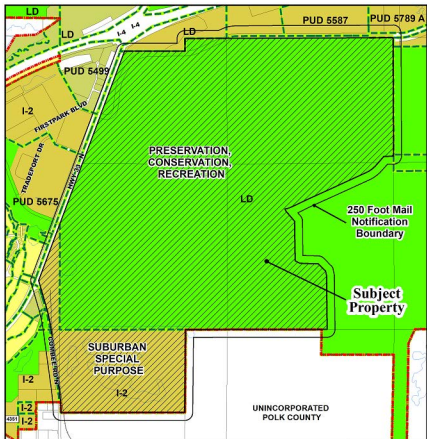
**Present Zoning:** LD and I-2  
**Present Context:** Preservation, Conservation, Recreation, and Suburban Special Purpose

**Proposed Zoning:** Conditional Use to Allow a Solar Power Generation Facility

October 2023

- Subject Property
- 250 Foot Mail Notification Boundary
- City Limits
- Zoning
- Conditional Use
- SPI
- Parcels
- Railroad
- Water Body





**PRESERVATION,  
CONSERVATION,  
RECREATION**

**250 Foot Mail  
Notification  
Boundary**

**Subject  
Property**

**SUBURBAN  
SPECIAL  
PURPOSE**

**UNINCORPORATED  
POLK COUNTY**

**File Number: CUP23-010**

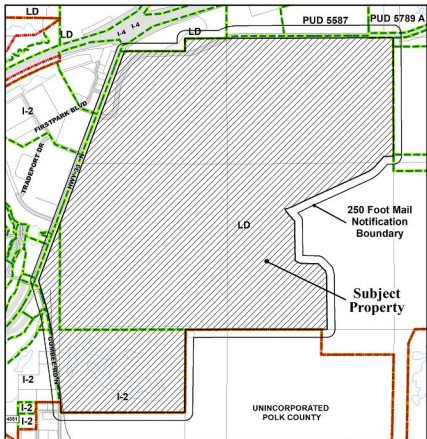
**Present Zoning: LD and I-2**  
**Present Context: Preservation, Conservation, Recreation, and Suburban Special Purpose**

**Proposed Zoning Conditional Use to Allow a Solar Power Generation Facility**

**October 2023**

-  Subject Property
-  250 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body





File Number: CUP23-010

Present Zoning: LD and I-2  
 Present Context: Preservation, Conservation, Recreation, and Suburban Special Purpose

Proposed Zoning: Conditional Use to Allow a Solar Power Generation Facility

October 2023

- Subject Property
- 250 Foot Mail Notification Boundary
- City Limits
- Zoning
- Conditional Use
- SPI
- Parcels
- Railroad
- Water Body
- Roadway/Railway





228 S Massachusetts Avenue  
Lakeland FL 33801  
[planning@lakelandgov.net](mailto:planning@lakelandgov.net)

September 29, 2023

RE: Edge Solar - Project No. CUP23-010

Dear Property Owner:

This is to advise you that Charles Ryan, Williams Acquisition Holding Company LLC, requests a conditional use to allow for the development of a solar power generation facility on approximately 2,044 acres generally located south of University Boulevard, east of N. State Road 33, and east of N. Combee Road. The property is legally described as:

AN AREA OF LAND 2041 +/- ACRES WITHIN PARCELS 24272800000011020, 24272700000013000, 242715000000020000, 242714000000020000, 242721000000012010, 242722000000010000, 242723000000011010, POLK COUNTY, FLORIDA. (A complete legal description is available in the Community & Economic Development Department.)

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, October 17, 2023**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 250 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing *or* you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the Tuesday, October 17<sup>th</sup> meeting.

**Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

PLEASE BE ADVISED in accordance with the Americans with Disabilities Act and Section 286.26, Florida Statute, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Greg James. Because providing a reasonable accommodation may require outside assistance, organizations, or resources, the City asks that any request be made with as much notice as possible, preferably 72 hours, but no later than 48 hours in advance of the event, at: (863) 834-6040, Email: [ADASpecialist@lakelandgov.net](mailto:ADASpecialist@lakelandgov.net). If hearing impaired, please contact the TDD numbers: Local – (863) 834-8333 or 1-(800) 955-8771 (TDD – Telecommunications Device for the Deaf) or the Florida Relay Service number: 1-(800) 955-8770 (VOICE), for assistance.

THIS IS A COURTESY LETTER NOT REQUIRED BY LAW



# Planning & Zoning Board General Application

## General Information:

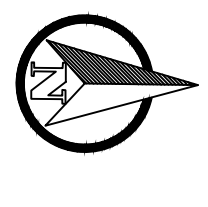
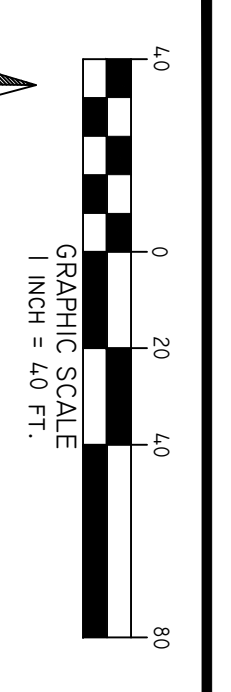
<b>Project No:</b>	CUP23-018	<b>Application Date:</b>	9/11/2023		
<b>Project Name:</b>	CHURCH_1990 PROVIDENCE RD				
<b>Subject Property Address:</b>	1990 PROVIDENCE RD				
<b>Parcel ID:</b>	232802018500000203	<b>Total Acreage:</b>	7.64		
<b>Applicant Name:</b>	STITZEL ENGINEERING & CONST				
<b>Applicant Address:</b>	ART STITZEL P.E. 50658	LAKELAND	FL	33813	
<b>Owner Name:</b>	PROVIDENCE CHURCH OF GOD INC				
<b>Owner Address:</b>	PO BOX 33	LAKELAND	FL	338020033	

## Request:

<b>Application Type:</b>	<b>CONDITIONAL USE</b>	<b>NEW</b>
<b>Proposed</b>		<b>Current</b>
<b>Zoning:</b>	RA-2 (Single-Family)	RA-2 (Single Family)
<b>Land Use:</b>	RM-Residential Medium	Residential Medium (RM)
<b>Context:</b>	Not Applicable	Urban Neighborhood (UNH)
<b>Explanation of Request:</b>	Current dedicated easement is onto Providence Road (OR BK 04820/0746. New Roadway access/easement will be Otis Av. out to R. King High Dr.. The new driveway will be through property owned by the church Parcel 232802019500000011.	
<b>Justification:</b>	Access off of Providence Road is not feasible. There is not enough room in the access easement to provide storm water treatment. The access easement is very steep and not ADA Accessible due to slopes it is not a safe access to the church.	

## Concurrency:

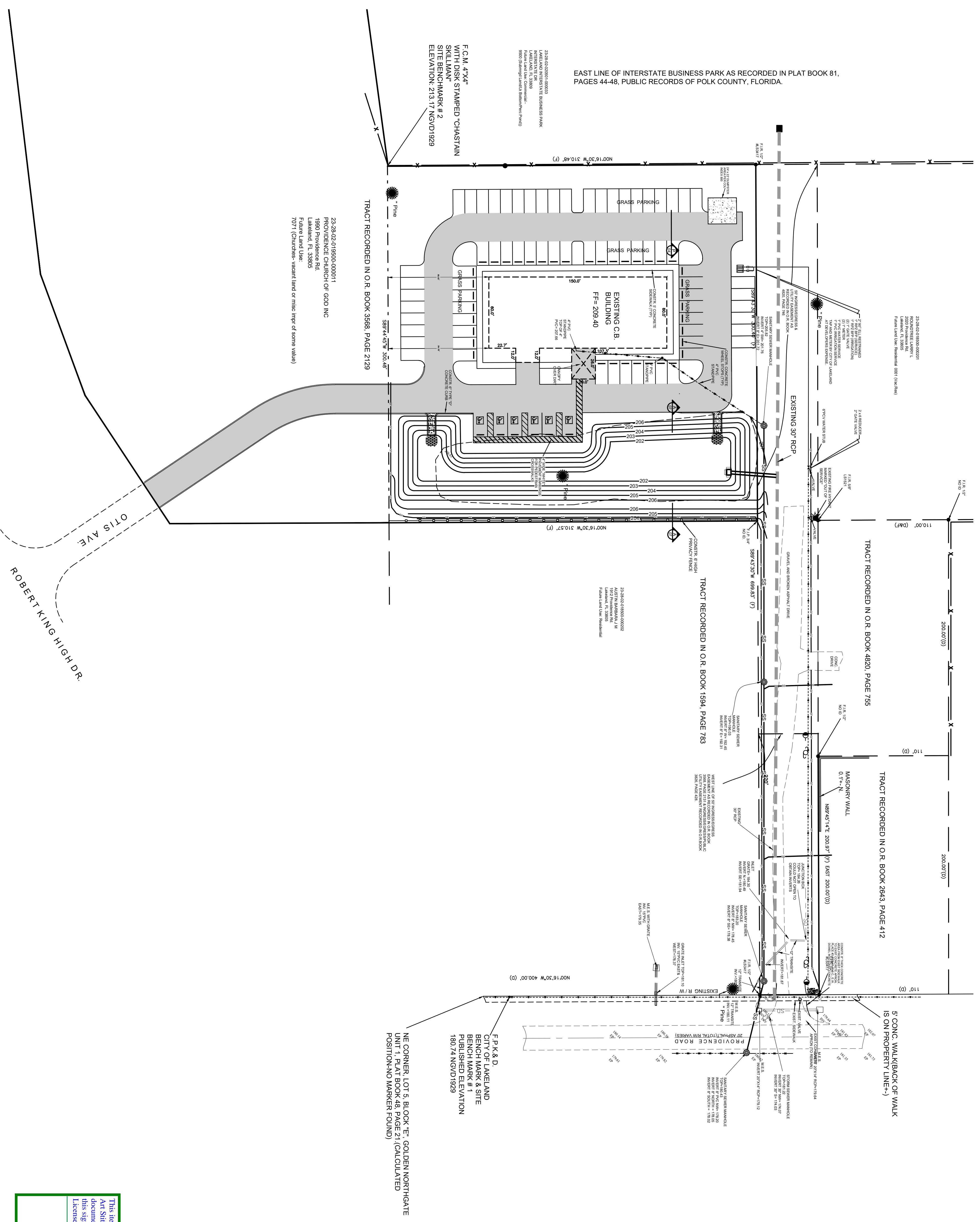
<b>Proposed Dwelling Units:</b>	0	<b>Project Floor Area:</b>	<b>9800</b>	Square feet	
<b>Type of Use:</b>	Church	<b>Phase</b>	1	<b>Year</b>	2023
<b>Estimate of Public Service Demand</b>					
<b>Roadways</b>	<b>Daily Trips:</b>	0	<b>PM Peak Hour Trips:</b>	0	
<b>Potable Water</b>		GPD	<b>Wastewater</b>	GPD	<b>Solid Waste</b>
					PPD



EAST LINE OF INTERSTATE BUSINESS PARK AS RECORDED IN PLAT BOOK 81, PAGES 44-48, PUBLIC RECORDS OF POLK COUNTY, FLORIDA.

F.C.M. 4"x4" WITH DISK STAMPED CHASTAIN SKILLMAN SITE BENCHMARK #2 ELEVATION: 213.17 (NGVD1929)

TRACT RECORDED IN O.R. BOOK 3588, PAGE 2129



F.P.K. & D. CITY OF LAKELAND BENCH MARK #1 PUBLISHED ELEVATION 180.74 (NGVD1929)

ROBERT KING HIGH DR.  
OTIS AVE.

This item has been Digitally signed and sealed by:  
Art Stitzel, P.E. on: 09/17/2023 Printed copies of this document are not considered signed and sealed and this signature must be verified on any electronic copies. License # S0658 - Certificate of Auth. 21473

OVERALL SITE PLAN  
PROPOSED SITE DEVELOPMENT:  
**Providence Rd Church of God**  
BUILDING ADDITION AND PARKING  
1990 Providence Road  
LAKELAND, FLORIDA 33805

**STITZEL Engineering & Construction, Inc.**  
317 West Highland Dr, Suite #101  
Lakeland, Florida 33815  
Tel: (863) 607-4550  
Fax: (863) 607-4550  
Phone: (863) 607-4455

THE DESIGNS SHOWN HERE ARE PROPRIETARY INFORMATION. THIS INFORMATION SHALL NOT BE COPIED, SOLD, OR DISTRIBUTED WITHOUT THE PRIOR WRITTEN PERMISSION OF STITZEL ENGINEERING & CONSTRUCTION, INC. COPYRIGHT (STITZEL ENGINEERING & CONSTRUCTION)

DESIGNED AS  
DRAWN SEG  
CHECKED AS

FILE NAME: Master File  
DATE: 07-05-2023  
PLAN SCALE NOTED

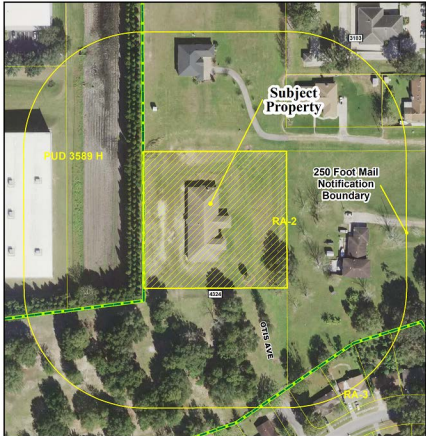
CONTRACTOR SHALL FIELD VERIFY ALL CONSTRUCTION PRIOR TO BIDDING AND IS RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITY SIZE & LOCATION. THIS PLAN MAY NOT REFLECT ALL CONSTRUCTION OBSTACLES, ACCESS, DEWATERING, LOCAL PERMITTING, ETC. THAT MAY BE REQUIRED.

NO.	REVISION	BY	DATE
1			
2			

ART STITZEL, P.E. #50658  
LAKELAND, FLORIDA  
PROFESSIONAL ENGINEER  
No. 50658  
STATE OF FLORIDA  
PROFESSIONAL SEAL

ART STITZEL, P.E. #50658 CA#2743  
Certification not valid without original signature and date.  
DATE: \_\_\_\_\_

**C3.0**



**File Number:** CUP23-018

**Present Zoning:** RA-2 with Conditional Use

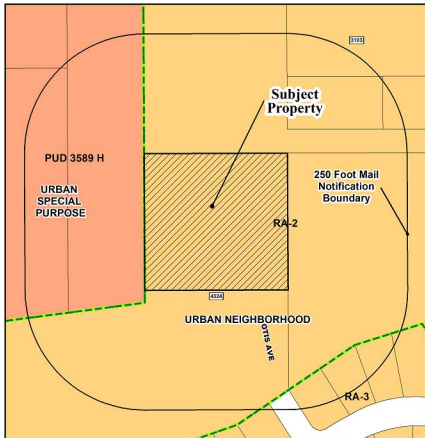
**Present Context:** Urban Neighborhood

**Proposed Zoning:** Major Modification of Conditional Use to Relocate Driveway Access to Otis Avenue

November 2023

-  Subject Property
-  250 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body





File Number: CUP23-018

Present Zoning: RA-2 with Conditional Use

Present Context: Urban Neighborhood

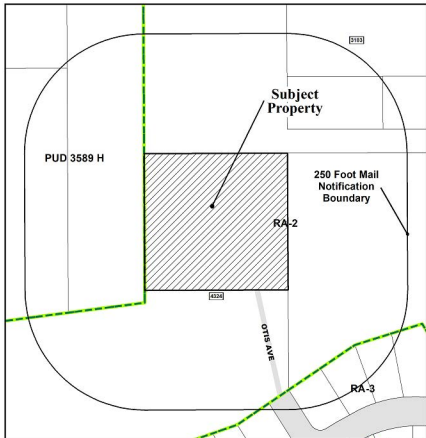
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November 2023





File Number: CUP23-018

Present Zoning: RA-2 with Conditional Use

Present Context: Urban Neighborhood

Proposed Zoning: Major Modification of Conditional Use to Relocate Driveway Access to Otis Avenue

November 2023

-  Subject Property
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-  Railroad
-  Water Body
-  Roadway/Railway





228 S Massachusetts Avenue  
Lakeland FL 33801  
[planning@lakelandgov.net](mailto:planning@lakelandgov.net)

November 3, 2023

RE: 1990 Otis Avenue - Project No. CUP23-018

Dear Property Owner:

This is to advise you that Art Stitzel, Stitzel Engineering & Construction, Inc., requests a major modification of an existing conditional use for the Providence Church of God to relocate the driveway access from Providence Road to Otis Avenue. The property is legally described as:

WEBSTER & OMOHUNDRO SUB PB 3 PG 81 LOT 2 THAT PT DESC AS: COMM AT NE COR OF LOT 5 BLK F GOLDEN NORTHGATE UNIT ONE PB 48 PG 21 RUN N 400 FT W 400 FT TO POB RUN S 493.48 FT TO N LN OF GOLDEN NORTGAGE UNIT ONE RUN S 55 DEG 54'43"W 129.73 FT S 70 DEG 42'59"W 107.80 FT RUN S 82 DEG 36'35"W 448.39 FT S 84 DEG 07'33"W 128.16 FT RUN W 129.38 FT TO E LN OF LAKELAND INTERSTATE BUSINESS PARK PB 81 PG 44 RUN N 68.12 FT N 40 DEG 21'41"E 315.35 FT N 82 DEG 37'17"E 410.16 FT N 310.06 FT E 299.74 FT TO POB LESS THAT PART LYING WITHIN TRACTS 1 THRU 4 OF SUWANNEE GROVES PB 31 PG 23. (A complete legal description is available in the Community & Economic Development Department.)

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, November 21, 2023**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 250 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing *or* you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the Tuesday, November 21<sup>st</sup> meeting.

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THIS IS A COURTESY LETTER NOT REQUIRED BY LAW



# Planning & Zoning Board General Application

## General Information:

<b>Project No:</b>	CUP23-023	<b>Application Date:</b>	9/20/2023		
<b>Project Name:</b>	706 GILMORE AV				
<b>Subject Property Address:</b>	706 GILMORE AV				
<b>Parcel ID:</b>	242818199500052050	<b>Total Acreage:</b>	0.15		
<b>Applicant Name:</b>	BRIAN LEE				
<b>Applicant Address:</b>	1043 SUCCESS AVE	LAKELAND	FL	33803	
<b>Owner Name:</b>	BRIAN LEE				
<b>Owner Address:</b>	1043 SUCCESS AVE	LAKELAND	FL	33803	

## Request:

<b>Application Type:</b>	<b>CONDITIONAL USE</b>	<b>NEW</b>
<b>Proposed</b>		<b>Current</b>
<b>Zoning:</b>	Not Applicable	RA-4 (Single Family)
<b>Land Use:</b>	Not Applicable	Residential High (RH)
<b>Context:</b>	Not Applicable	Urban Neighborhood (UNH)
<b>Explanation of Request:</b>	We wish to construct a 450 sq ft detached dwelling to accommodate our friends and aging family.	
<b>Justification:</b>	Land use for ADU in accordance with Parker Street SPI	

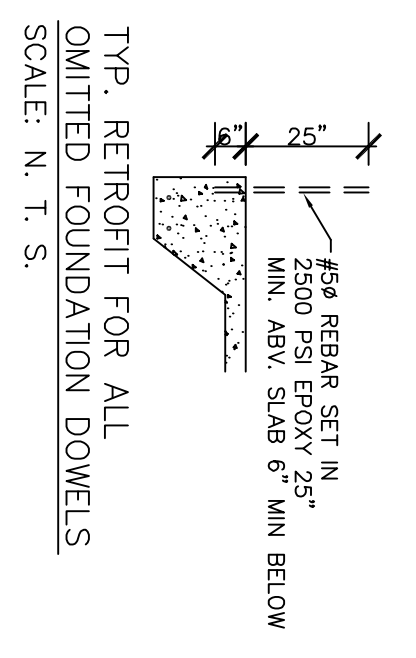
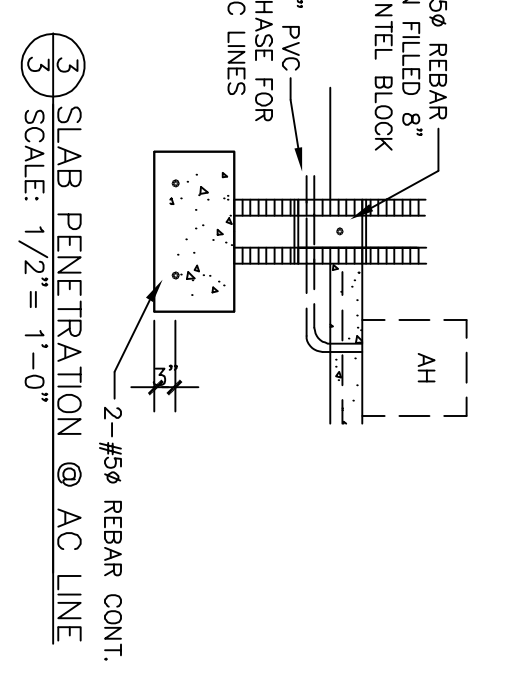
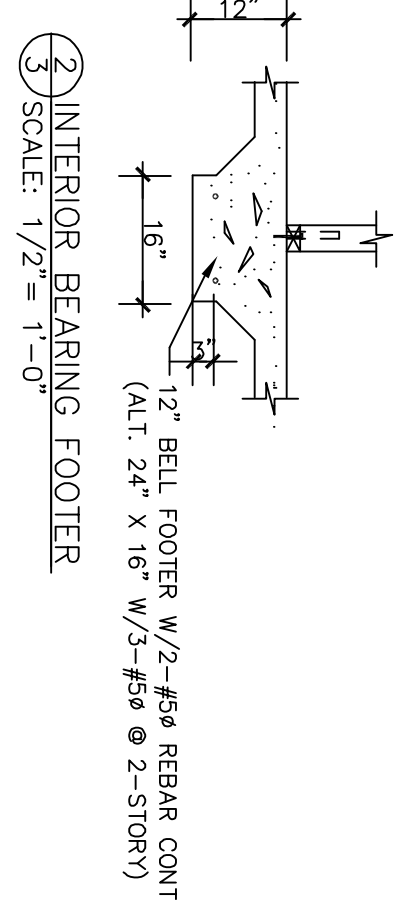
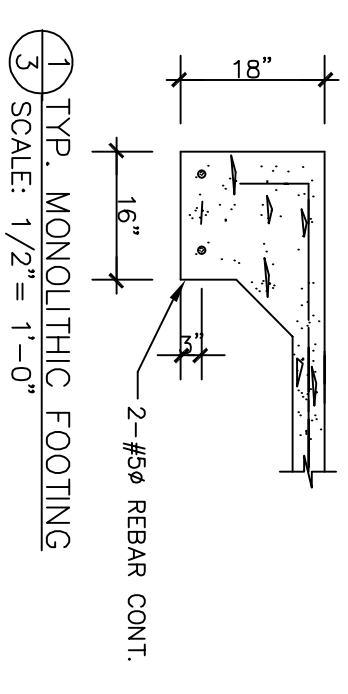
## Concurrency:

<b>Proposed Dwelling Units:</b>	1	<b>Project Floor Area:</b>	450	Square feet	
<b>Type of Use:</b>	Other	<b>Phase</b>	N/A	<b>Year</b>	N/A
<b>Estimate of Public Service Demand</b>					
<b>Roadways</b>	<b>Daily Trips:</b>	0	<b>PM Peak Hour Trips:</b>	0	
<b>Potable Water</b>		GPD	<b>Wastewater</b>	GPD	<b>Solid Waste</b> PPD





**FOUNDATION PLAN DETAILS**



**FOUNDATION GENERAL NOTES**

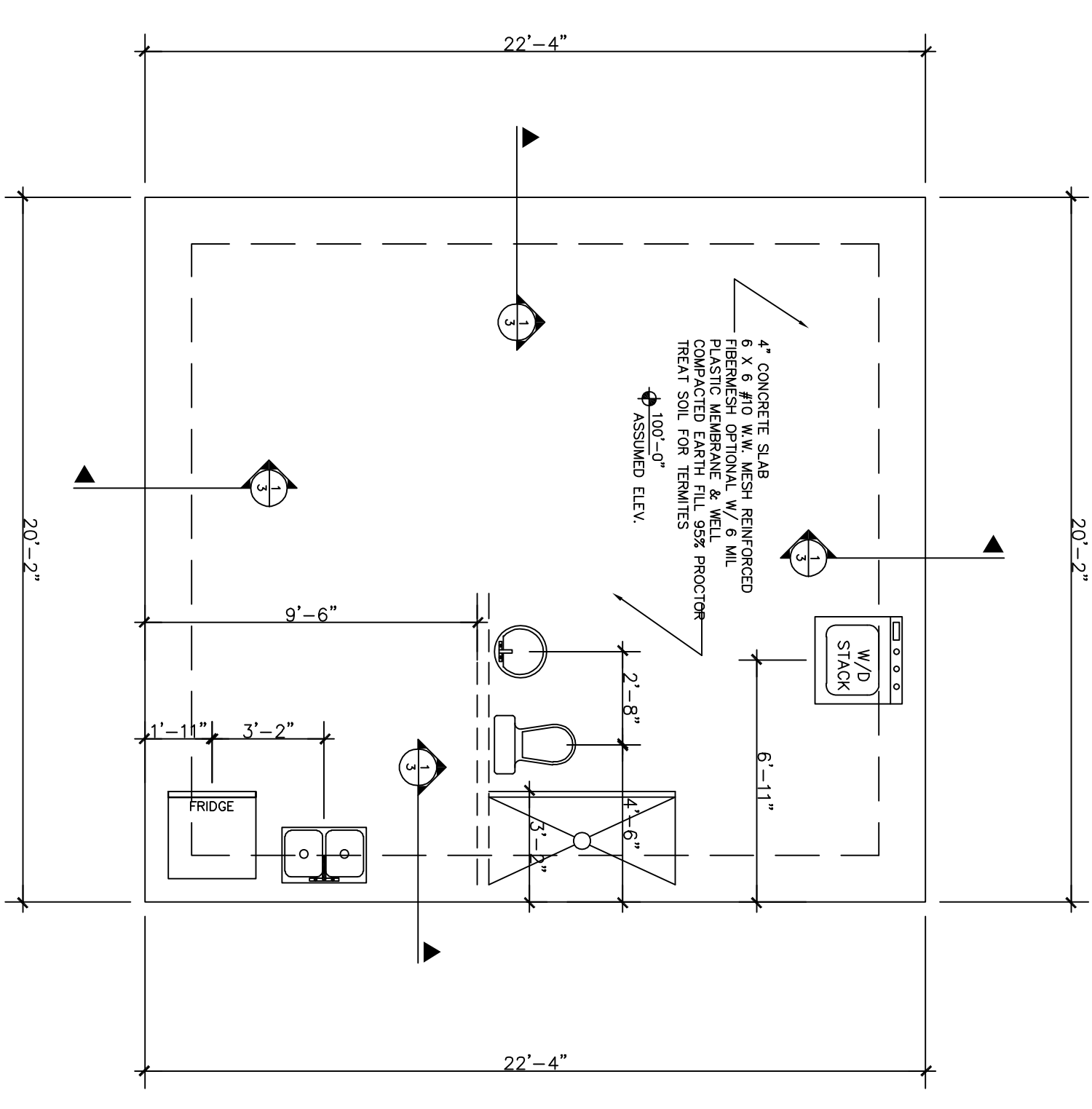
1. INSTALL CLEAN SAND FILL IN MAX. 12" COMPACTED LIFTS
2. STEM WALLS TO BE 8" CMU - GROUT SOLID - SEEN PLAN FOR DOWEL LOCATIONS
3. SAW CUT SLAB 1/4" X 1" WHERE SHOWN ON PLAN - ALL SLABS TO BE SEALED
4. REBAR REINFORCED CONCRETE SLAB NATURAL COLOR - CURE AND SEAL FINISH TO BE APPLIED TO ALL EXPOSED SURFACES. REINFORCEMENT SHALL BE SEaled
5. PERMITS MUST BE 12" BELOW FINISH GRADE OR COMPACTION TEST IS REQUIRED
6. NOTICE OF REME PROTECTION SHALL BE PERMANENT SIGN THAT IDENTIFIES PROVIDER AND SERVICE AREA.

**TERMITTE SPECIFICATIONS**

R318.1  
TERMITTE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITTODES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITTE PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF NEW CONSTRUCTION. SEE SECTION 202, "REGISTERED TERMITTODE TREATMENT." A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE CONTRACTOR UPON COMPLETION OF THE APPLICATION OF THE TERMITTE PROTECTIVE TREATMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF TERMITTE TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS CONTAINED IN THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A TERMITTE TREATMENT IN ACCORDANCE WITH RULES AND LAWS CONTAINED IN CHAPTER 626, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

**LEGEND**

- (1) #5 REBAR AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS & AT 6'-0" MAX. TYP. PROVIDE #5 BELOW SILL FOR OPENINGS GREATER THAN 6'-0" W.
- (2) #5 REBAR OR (1) #7 FOR OPENINGS 16'-0" OR LARGER TYP.



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**GENERAL PLAN NOTES**

WINDOW GRILLS ARE OPTIONAL - PER OWNER.  
ALL UNDIMENSIONED PARTITIONS ARE 4" ROUGH.  
ALL ANGLED PARTITIONS ARE 45° UNLESS OTHERWISE NOTED.  
ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.  
ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GORER TRUSSES UNLESS OTHERWISE NOTED. (TRUSS ENGINEERING BY OTHERS - TRUSS MANUFACTURER TO SIZE MEMBERS, FASTENERS, HANGERS, & AND SET SPACING FOR ALL TRUSSES.  
PROVIDE FIRESTOPPING EVERY 8'-0" VERTICALLY IN FRAME WALLS > 8'-1".  
ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECTIVE AND SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTORS AND TO VERIFY.  
EXTERIOR FEATURES PORTRAYED ON THESE PLANS SUCH AS PORGYRAME COATING, DECORATIVE BANDING, DECORATIVE LOUVERS, & SILING TYPE ARE SUGGESTIVE ONLY AND SUBJECT TO CHANGE PER OWNERS SPECIFICATIONS.  
BATHROOM EXHAUST FANS MUST VENT TO THE EXTERIOR OF THE BUILDING.  
EXHAUST TO ATTIC SPACE AND SOFFITS IS NOT ACCEPTABLE.  
ALL WINDOWS WITHIN 24" OF DOORS AND IN SHOWER OR TUB AREAS WILL BE SAFELY TEMPERED GLASS.  
ALL DOOR AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO A POOL, SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH UL 2020.  
LAUNDRY NOTE: UNLESS OTHERWISE NOTED, PROVIDE DRYER VENT THRU ROOF MAX LENGTH 35'. WASHER AND DRYER UNIT W/HANSON BOX @ 36" A.F.F.  
ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (E. ATTICS OR CRAWLSPACE SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIV. TO THE INSULATION ON THE SURROUNDING SURFACES.  
DOOR FROM GARAGE INTO HOUSE MUST BE A MINIMUM 1-3/8" SOLID WOOD DOOR, SOLID OR HONEYCOMB STEEL DOOR, OR 20 MINUTE FIRE RATED ANY ACCESSIBLE SPACE BENEATH A STARWAY SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD.

**GENERAL CONSTRUCTION NOTES**

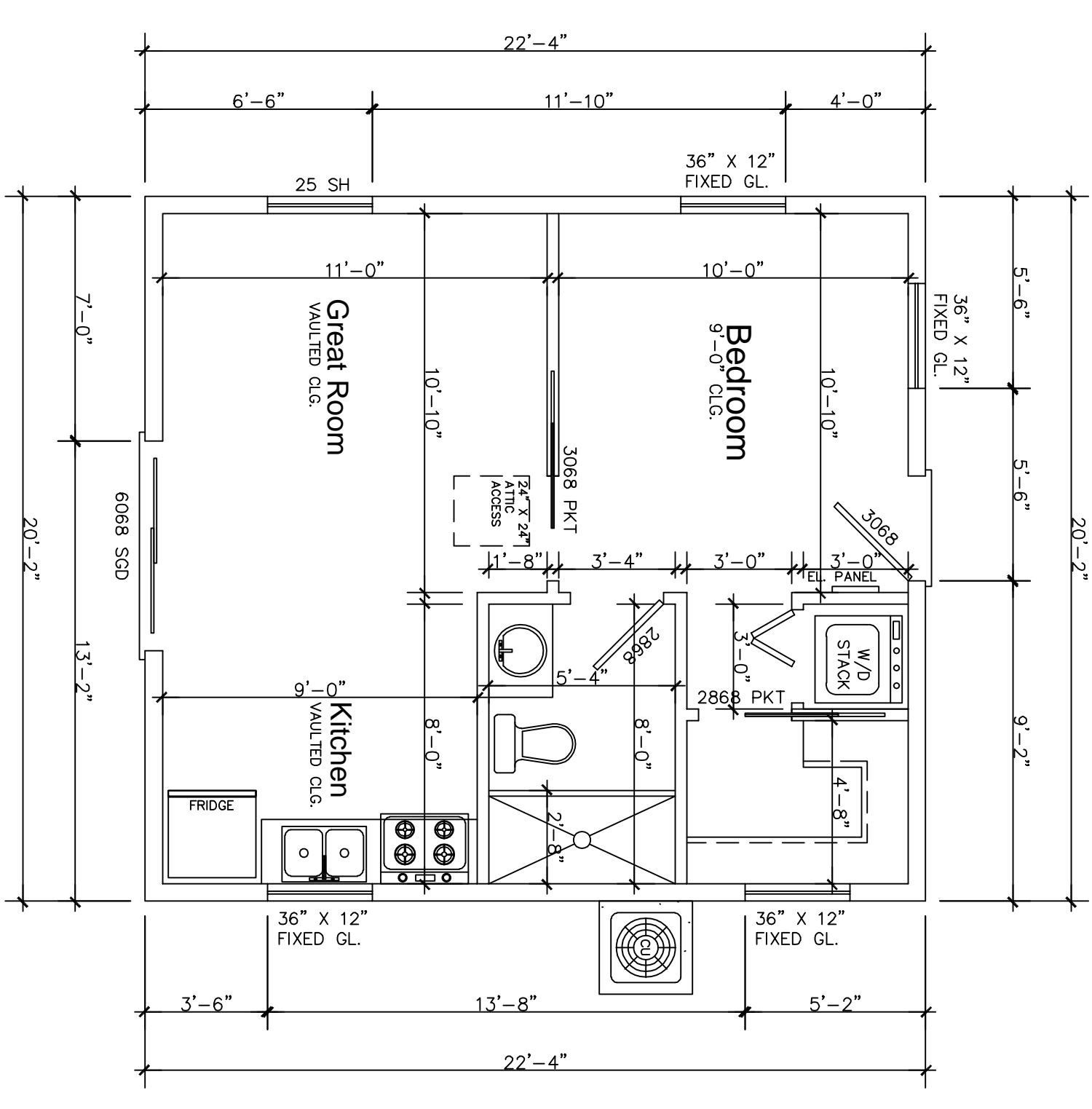
SINCE SITE VISITATION IS NOT ALWAYS FEASIBLE OR NECESSARY, IT IS ASSUMED THAT THE SITE IS FLAT UNLESS A TOPOGRAPHY SURVEY IS FURNISHING SHOWING INFORMATION TO THE CONTRARY.  
ANY SPECIAL STRUCTURAL DESIGN REQUIRED, NOT SHOWN BY THE DRAFTSMAN SHALL BE DONE BY A QUALIFIED STRUCTURAL ENGINEER OR LICENSED ARCHITECT.  
ONLY WORK SHOWN ON THIS DRAWING IS CERTIFIED BY THE ENGINEER OR ARCHITECT ON FILE.  
VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. ASSUMED SOIL BEARING PRESSURE: MIN. 2000 PSF.  
BACK FILLING BEHIND CONCRETE WALLS TO BE DONE IN 6" TO 12" LAYERS TAMPED.  
ALL CONCRETE 3000 PSI IN 28 DAYS LOCKED IN PLACE.  
ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CONFORM TO ALL STATE AND LOCAL CODES APPLICABLE TO THEIR TRADES.  
CONTRACTOR RESPONSIBLE FOR SUPERVISION OF CONSTRUCTION, SITE ENGINEERING, BUILDING PLACEMENT, SOIL ANALYSIS & TOPOGRAPHIC WORK SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING UTILITIES NOT CONSISTANT WITH PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTSMAN IN WRITING.  
TO THE BEST OF THE DRAFTSMAN'S KNOWLEDGE, THESE CONSTRUCTION DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION OR OCCUPANCY.  
ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY WITH AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION, REQUIREMENTS AND GOVERNING REGULATIONS.  
THE GENERAL CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DOCUMENTS, AND NOTIFY THE DRAFTSMAN OF ANY ERRORS, OMISSIONS, DISCREPANCIES AND/OR INCONSISTENCIES PRIOR TO THE START OF ANY PORTION OF THE PROPOSED WORK. THE DRAFTSMAN SHALL REVIEW THE PROPOSED WORK FOR CONFORMANCE WITH THE BUILDING CODES AND DISCOVERY OF DISCREPANCIES AND/OR CONFLICTS AFTER THE START OF WORK SHALL BE THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REPAIR OR REPLACE.  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING WORK AND MATERIALS FURNISHED BY SUB-CONTRACTORS AND VENDORS.  
DEVIATIONS FROM THESE DOCUMENTS IN CONSTRUCTION SHALL BE REVIEWED BY THE DRAFTSMAN AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.  
SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER A SEPARATE AGREEMENT.  
TRUSS ENGINEERING IS PERFORMED BY OTHERS. TRUSS MANUFACTURER TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.  
WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO BE 20" X 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.

**AREA SPECIFICATIONS**

LIVING AREA 450 SQ. FT.

**LEGEND**

- TYP. 8" CMU WALL
- TYP. 2X STUD WALL
- NOTE: ALL WALLS ARE DESIGNED AS SHEARWALLS
- (1) #5 REBAR AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS & AT 6'-0" MAX. TYP. PROVIDE #5 BELOW SILL FOR OPENINGS GREATER THAN 6'-0" W.
- (2) #5 REBAR OR (1) #7 FOR OPENINGS 16'-0" OR LARGER TYP.
- (1) #5 REBAR BELOW SLAB (IN STEINWALL)
- (1) #5 REBAR RETROFIT (FOR RENOVATION)
- 5/8" X 6" LONG TIEB HD W/3"x3"x1/8" WASHER @ 18" O.C. ON BOTTOM FLAT, 6'-12" FROM END WALLS



**FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**NOTES:**

- PRELIMINARY: 8/4/2023
- BID SET: 8/31/2023
- REVISED: 9/6/2023

**Drafting Design Service, Inc.**  
Since 1975  
3035 Cypress Gardens Rd  
Winter Haven, FL 33884  
(863) 324-4657  
Draftingdesignservice.com

**Brian Lee**  
706 Gilmore Ave  
Lakeland, FL

**INTENT**

**BBD**  
Professional Engineer  
1602 6th Street S.E. - Winter Haven, FL 33880  
Phone: 888.875.6622 Fax: 888.828.6648  
www.BBDEngineering.com

DRAWING NO. 223184  
DATE: August, 2023  
Foundation & Floor Plan

SHEET 3 OF 5

CONTRACTOR TO VERIFY ALL AREA CALCULATIONS AND DIMENSIONS BEFORE STARTING CONSTRUCTION.  
NOTE: WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO VERIFY DIMENSIONS AND OTHER DETAILS ON THE PLANS AND NOTIFY DESIGNER OF ANY ERRORS OR OMISSIONS BEFORE STARTING CONSTRUCTION.



File Number: CUP23-023

Present Zoning: RA-4 with SPI

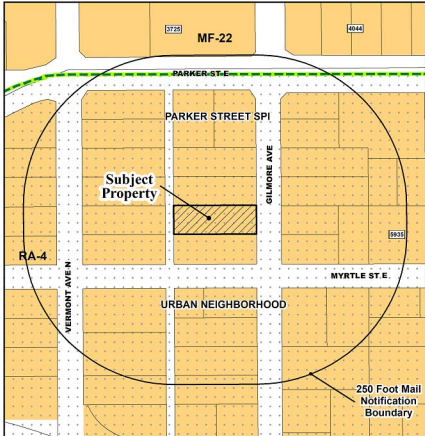
Present Context: Urban Neighborhood

Proposed Zoning: Conditional Use to Allow an Accessory Dwelling Unit

November 2023

-  Subject Property
-  250 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body

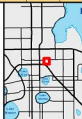




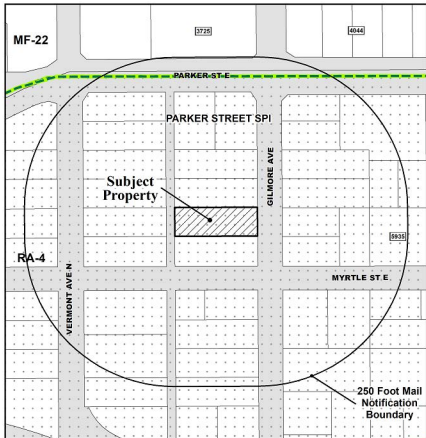
File Number: CUP23-023  
 Present Zoning: RA-4 with SPI  
 Present Context: Urban Neighborhood  
 Proposed Zoning: Conditional Use to Allow an Accessory Dwelling Unit

November 2023

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-  SPI
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**File Number:** CUP23-023

**Present Zoning:** RA-4 with SPI

**Present Context:** Urban Neighborhood

**Proposed Zoning:** Conditional Use to Allow an Accessory Dwelling Unit

**November 2023**

-  Subject Property
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-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body
-  Roadway/Railway





228 S Massachusetts Avenue  
Lakeland FL 33801  
[planning@lakelandgov.net](mailto:planning@lakelandgov.net)

November 3, 2023

RE: 706 Gilmore Avenue - Project No. CUP23-023

Dear Property Owner:

This is to advise you that Brian Lee requests a conditional use to allow for the construction of an accessory dwelling unit on property located 706 Gilmore Avenue. The property is legally described as:

BROWNS H L SUB RESUB OF GILMORE ADDITION PB 4 PG 73 BLK 52 LOT 5.  
(A complete legal description is available in the Community & Economic Development Department.)

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, November 21, 2023**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 250 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing *or* you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the Tuesday, November 21<sup>st</sup> meeting.

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# Planning & Zoning Board General Application

## General Information:

<b>Project No:</b>	CUP23-024	<b>Application Date:</b>	9/20/2023		
<b>Project Name:</b>	719 E ORANGE ST. - PARKING				
<b>Subject Property Address:</b>	719 E ORANGE ST				
<b>Parcel ID:</b>	242818205000023032	<b>Total Acreage:</b>	0.23		
<b>Applicant Name:</b>	JASON LEWIS				
<b>Applicant Address:</b>	705 N LAKE PARKER AVE	LAKELAND	FL	33801	
<b>Owner Name:</b>	JASON LEWIS				
<b>Owner Address:</b>	705 N LAKE PARKER AVE.	LAKELAND	FL	33801	

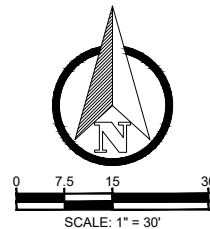
## Request:

<b>Application Type:</b>	<b>CONDITIONAL USE</b>	<b>NEW</b>
<b>Proposed</b>		<b>Current</b>
<b>Zoning:</b>	MF-22 (Multi-Family)	MF-22 (Multi Family)
<b>Land Use:</b>	Not Applicable	Residential High (RH)
<b>Context:</b>	Not Applicable	Urban Neighborhood (UNH)
<b>Explanation of Request:</b>	I'm requesting a conditional use for parking behind the existing structure on the property for additional parking for the apartments we are building on the adjacent parcel. This parking area will not be paved. It will likely remain grass or we might add rock. There will be concrete parking bumpers. I plan to remodel the house on the property and rent it according to the allowable uses based on the zoning.	
<b>Justification:</b>	<p>There are currently at least three other parcels in the neighborhood with a similar use. In 2017, HPB and the City approved a conditional use permit for 938 E Lime St. to accommodate overflow parking for the Florida Southern College Garden Apartments. The Compass property located at 705 E Orange St. has around 10 parking spaces next to the building and visible from the street. My neighbor directly behind me at 718 E Lime St has a large carport at the back of his property for similar use.</p> <p>In addition, we are adding and paying for the construction of 8 public parking spaces along Orange St which cannot be dedicated to the apartments</p>	

## Concurrency:

<b>Proposed Dwelling Units:</b>	0	<b>Project Floor Area:</b>	0	Square feet	
<b>Type of Use:</b>	Other	<b>Phase</b>	NA	<b>Year</b>	NA
<b>Estimate of Public Service Demand</b>					
<b>Roadways</b>	<b>Daily Trips:</b>	0	<b>PM Peak Hour Trips:</b>	0	
<b>Potable Water</b>		GPD	<b>Wastewater</b>	GPD	<b>Solid Waste</b> PPD

E ORANGE STREET



ONE STORY  
BLOCK  
STRUCTURE

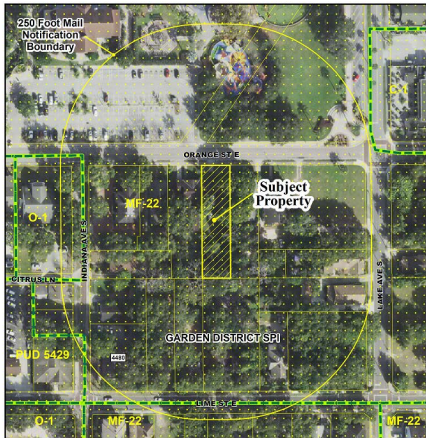
PROPERTY  
BOUNDARY

NEW PARKING

PARCEL ID# 242818-205000-023032

719 E Orange St  
Lakeland, FL 33801

Conceptual Site Plan



**File Number:** CUP23-024  
**Present Zoning:** MF-22 with SPI  
**Present Context:** Urban Neighborhood  
**Proposed Zoning:** Conditional Use to Allow  
 Off-Street Parking to Serve  
 Adjacent Multi-Family  
 Residential Use

-  Subject Property
-  250 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body

November 2023





File Number: CUP23-024

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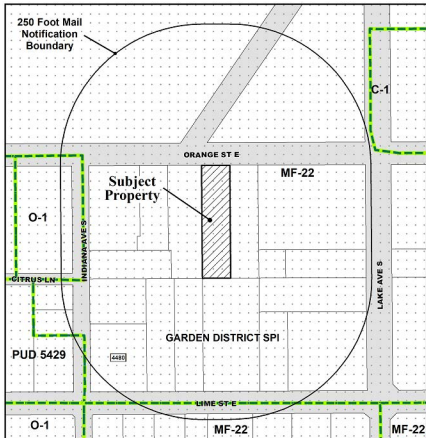
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Proposed Zoning: Conditional Use to Allow Off-Street Parking to Serve Adjacent Multi-Family Residential Use

-  Subject Property
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November 2023



File Number: CUP23-024

Present Zoning: MF-22 with SPI

Present Context: Urban Neighborhood

Proposed Zoning: Conditional Use to Allow Off-Street Parking to Serve Adjacent Multi-Family Residential Use

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November 2023





228 S Massachusetts Avenue  
Lakeland FL 33801  
[planning@lakelandgov.net](mailto:planning@lakelandgov.net)

November 3, 2023

RE: 719 E. Orange Steet - Project No. CUP23-024

Dear Property Owner:

This is to advise you that Jason Lewis requests a conditional use to allow for off-street parking as a principal use on property located at 719 E. Orange Street. The property is legally described as:

The West 1/2 of Lot 3, Block W, MAP OF MORTON'S SUBDIVISION, according to plat thereof as recorded in Plat Book Q, Page 79, of the Public Records of Polk County, Florida. (A complete legal description is available in the Community & Economic Development Department.)

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, November 21, 2023**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 250 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing *or* you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the Tuesday, November 21<sup>st</sup> meeting.

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# Planning & Zoning Board General Application

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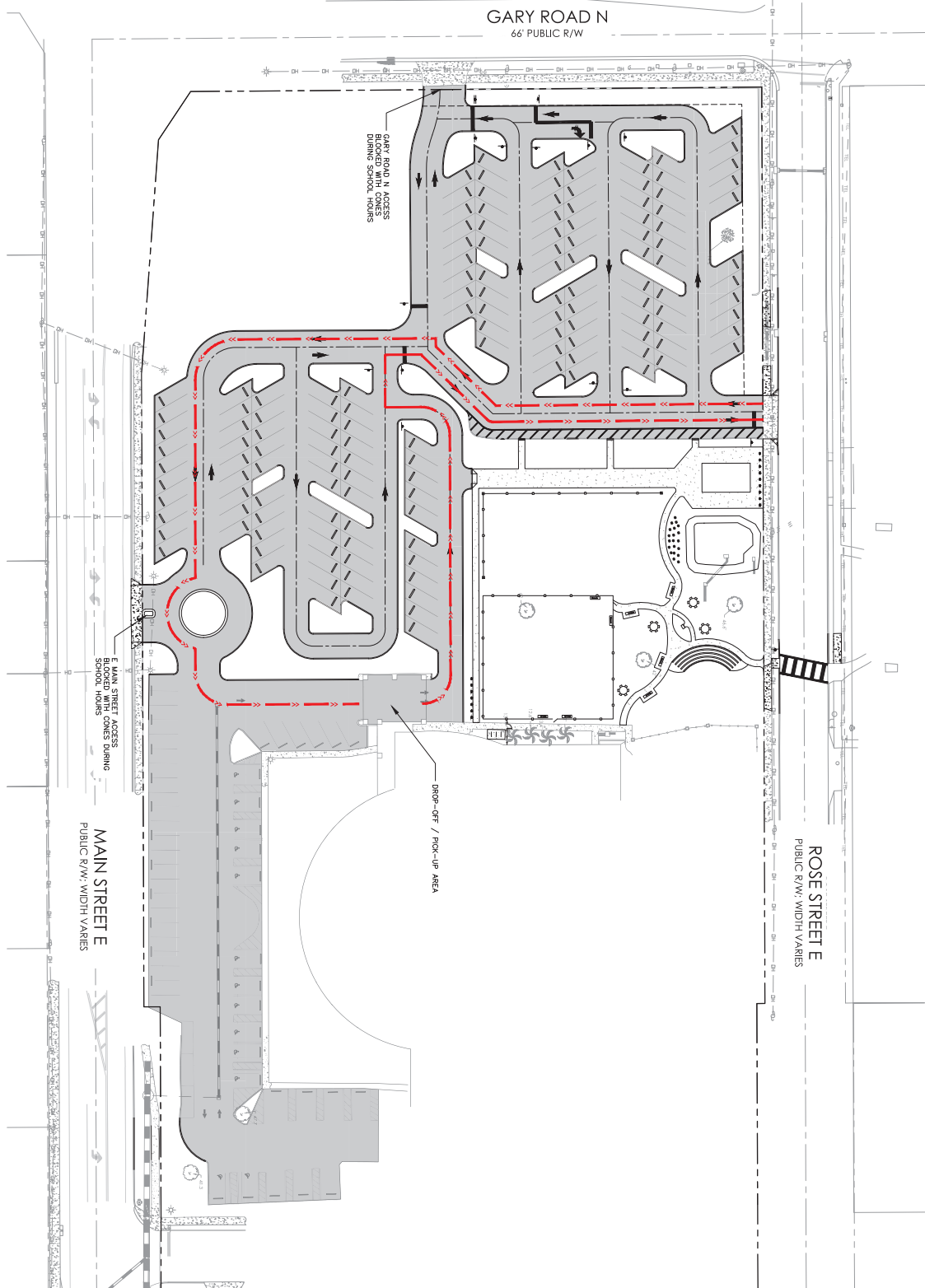
<b>Project No:</b>	CUP23-026	<b>Application Date:</b>	10/19/2023		
<b>Project Name:</b>	FAMILY WORSHIP CENTER CUP MINOR MODIFICATION				
<b>Subject Property Address:</b>	1350 E MAIN ST				
<b>Parcel ID:</b>	242817000000043030	<b>Total Acreage:</b>	8.01		
<b>Applicant Name:</b>	KIMLEY-HORN AND ASSOCIATES, IN				
<b>Applicant Address:</b>	109 S. KENTUCKY AVE.	LAKELAND	FL	33801	
<b>Owner Name:</b>	FAMILY WORSHIP CENTER CHURCHES				
<b>Owner Address:</b>	1350 E MAIN ST	LAKELAND	FL	338015715	

## Request:

<b>Application Type:</b>	<b>CONDITIONAL USE</b>	<b>MINOR MODIFICATION</b>
<b>Proposed</b>		<b>Current</b>
<b>Zoning:</b>	O-1 (Low Impact Office)	(RA-4) Single Family, (O-1) Low Impact Office
<b>Land Use:</b>	RM-Residential Medium	Residential Medium (RM)
<b>Context:</b>	UCO-Urban Corridor	Urban Corridor (UCO), Urban Neighborhood (UNH)
<b>Explanation of Request:</b>	Request to modify the site plan associated with ORD 5981 detailing the drop-off/pick-up traffic circulation within the parking lot due to a proposed parking lot re-design.	
<b>Justification:</b>	The proposed parking lot re-design is associated with an expansion of the playground area for the church. The ingress/egress for day care drop-off/pick-up will still be from Rose St. with the driveways @Gary Rd and Main St. still being blocked off as is currently stipulated in the CUP Ordinance. With this change the proposed queue length for the circulation route has increase.	

## Concurrency:

<b>Proposed Dwelling Units:</b>	0	<b>Project Floor Area:</b>	0	Square feet	
<b>Type of Use:</b>	Day Care	<b>Phase</b>	1	<b>Year</b>	2024
<b>Estimate of Public Service Demand</b>					
<b>Roadways</b>	<b>Daily Trips:</b>	0	<b>PM Peak Hour Trips:</b>	0	
<b>Potable Water</b>	GPD	<b>Wastewater</b>	GPD	<b>Solid Waste</b>	PPD



CALL 2 BUSINESS  
DAYS BEFORE  
7:00 PM  
811  
Know what's below.  
Dig right.  
1350 E. MAIN STREET  
LAKELAND, FL 33801

**FAMILY WORSHIP  
CENTER PARKING**  
 PREPARED FOR  
**ARTISTIC HOSPITALITY AND  
RESORTS CONSTRUCTION, INC.**  
 LAKELAND FLORIDA

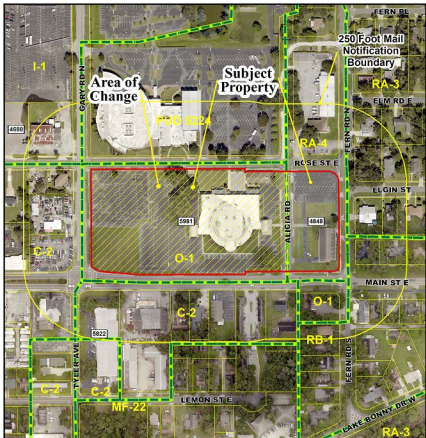
**SITE DEVELOPMENT  
PLAN LAYOUT**

KHA PROJECT  
046459000  
DATE  
OCTOBER 2023  
SCALE AS SHOWN  
DESIGNED BY  
DRAWN BY  
CHECKED BY

**Kimley»Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 109 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801  
 PHONE: 863-701-8702  
 WWW.KIMLEY-HORN.COM CA 00006696

No.	REVISIONS	DATE	BY

SHEET NUMBER  
**EX-1**



**File Number:** CUP23-026

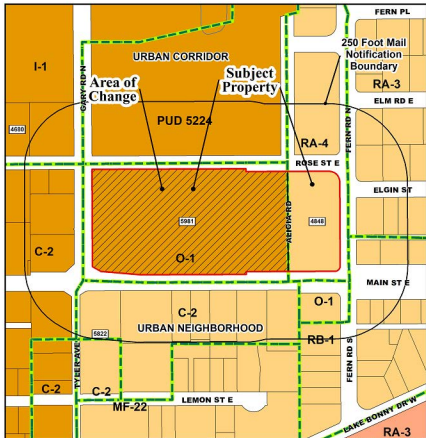
**Present Zoning:** O-1 and RA-4 with Conditional Use

**Present Context:** Urban Neighborhood and Urban Corridor

**Proposed Zoning:** Minor Modification of Conditional Use to Adopt a New Site Plan for Church Daycare Use

- Subject Property
- Area of Change
- 250 Foot Mail Notification Boundary
- City Limits
- Zoning
- Conditional Use
- SPI
- Parcels
- Railroad
- Water Body
- Roadway/Railway





**File Number:** CUP23-026

**Present Zoning:** O-1 and RA-4 with Conditional Use

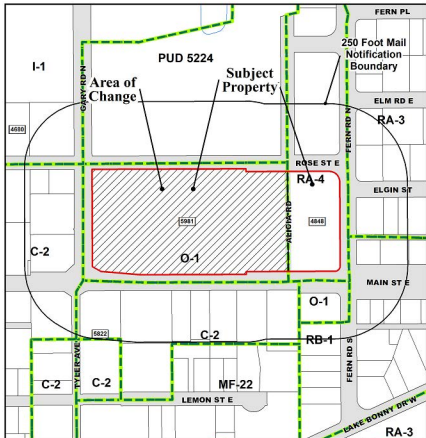
**Present Context:** Urban Neighborhood and Urban Corridor

**Proposed Zoning:** Minor Modification of Conditional Use to Adopt a New Site Plan for Church Daycare Use

November 2023

-  Subject Property
-  Area of Change
-  250 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body
-  Roadway/Railway





- Subject Property
- Area of Change
- 250 Foot Mail Notification Boundary
- City Limits
- Zoning
- Conditional Use
- SPI
- Parcels
- Railroad
- Water Body
- Roadway/Railway





228 S Massachusetts Avenue  
Lakeland FL 33801  
[planning@lakelandgov.net](mailto:planning@lakelandgov.net)

November 3, 2023

RE: 1350 E. Main Street - Project No. CUP23-026

Dear Property Owner:

This is to advise you that Richard Mills, Kimley-Horn and Associates, Inc. requests a minor modification of an existing conditional use to adopt a new parking circulation plan for a previously approved child daycare center. The property is legally described as:

BEG SE COR OF NW1/4 OF SW1/4 RUN W 195 FT N21.93 FT FOR POB CONT N 390 FT W 569.6 FT S359.75 FT S56-30-25E 36.13 FT S85-57-27E 145.71 FTE 393 FT TO POB & REPLAT OF LAKE BONNY VIEW PB30 PG 48 A LOT B & THAT PART OF VACATED ALICIA RDFKA BONNY AVE LYING E OF & ADJACENT TO LOT B & SHORE ACRES PB 7 PG 15 BLK 4 LOTS 1 THRU 14. (A complete legal description is available in the Community & Economic Development Department.)

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, November 21, 2023**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 250 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing *or* you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the Tuesday, November 21<sup>st</sup> meeting.

**Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: [ADASpecialist@lakelandgov.net](mailto:ADASpecialist@lakelandgov.net). If hearing impaired, please contact the TDD numbers: Local – (863) 834-8333 or 1-800-955- 8771 (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number 1-800-955-8770 (VOICE), for assistance.

THIS IS A COURTESY LETTER NOT REQUIRED BY LAW



# City Initiated Comprehensive Plan Text Amendment

## General Information:

<b>Project No:</b>	CPA23-004	<b>Application Date:</b>	10/1/2023		
<b>Project Name:</b>	Proposed text amendment to the Lakeland Comprehensive Plan and corresponding amendments to Article 1 of the Land Development Code to expand the Transit Oriented Corridors (TOC) within the City's Central City Transit Supportive Area and revise the definition of TOC designations.				
<b>Applicant Name:</b>	City of Lakeland				
<b>Applicant Address:</b>	228 S. Massachusetts Ave	Lakeland	FL	33801	

## Request:

<b>Application Type:</b>	<b>COMP PLAN TEXT AMENDMENT</b>				
<b>Sub Type:</b>	TEXT AMENDMENT				
<b>Summary of Amendment:</b>	Amendment to MAP FLU-7 (Transit-Oriented Corridors) within Chapter 2: Vibrant and Inclusive Community (Future Land Use Element) expands Transit-Oriented Corridor designation along several streets west of Downtown Lakeland, including Main Street, George Jenkins Boulevard, Wabash Avenue, Ariana Street, State Road 563/Sikes Boulevard, Hartsell Avenue and Lime Street.				
<b>Justification:</b>	Expansion of TOC designation to these corridors will allow increased residential densities within the Downtown West area and other corridors where substantial investments are being made in transit services and bicycle/pedestrian infrastructure.				
<b>State Review:</b>	No				



# Planning & Zoning Board General Application City Initiated

## General Information:

<b>Project No:</b>	LDC23-002	<b>Application Date:</b>	9/27/2023		
<b>Project Name:</b>	Transit Oriented Corridors				
<b>Applicant Name:</b>	City of Lakeland				
<b>Applicant Address:</b>	228 S. Massachusetts Ave	Lakeland	FL	33801	

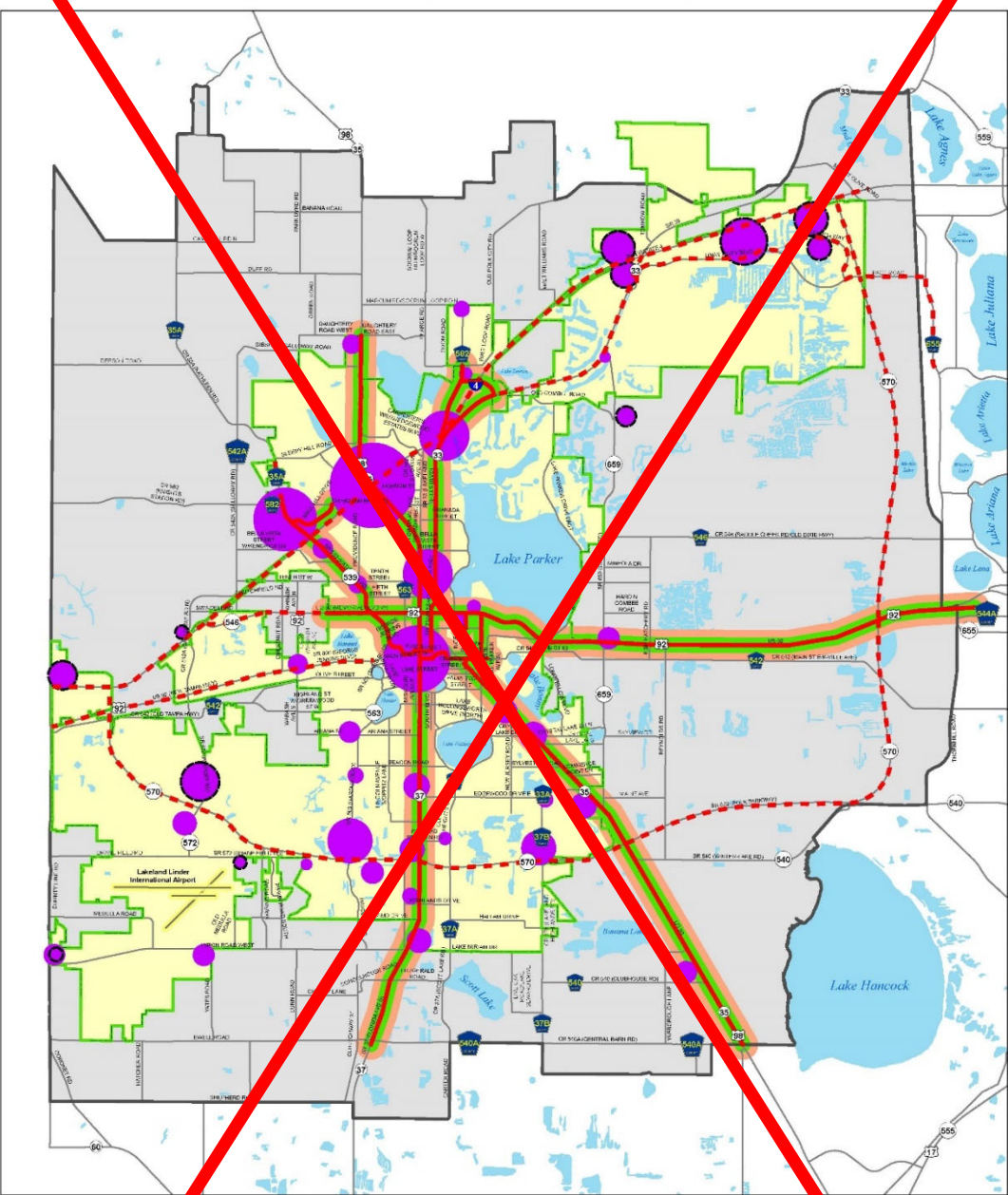
## Request:

<b>Application Type:</b>	<b>LAND DEVELOPMENT CODE TEXT AMENDMENT</b>
--------------------------	---

Proposed text amendment to Article 1 of the Land Development Code to expand the Transit Oriented Corridors (TOC) within the City's Central City Transit Supportive Area and revise the definition of TOC designations.



# MAP FLU-7 TRANSIT-ORIENTED CORRIDORS



**LEGEND**

Lakeland City Limits (February 2021)	Interstate Highways	<b>Transit Oriented Corridors</b>
DULA Area	U.S. Highways	Transit Oriented Corridors
Lakeland Planning Area	State Roads	Long Term Potential Transit Oriented Corridors
Water Bodies	County Roads	TOC_eightMile_Buffer
L. Airport		TOC_QuarterMile_Buffer
		<b>Activity Centers</b>
		Current
		Future

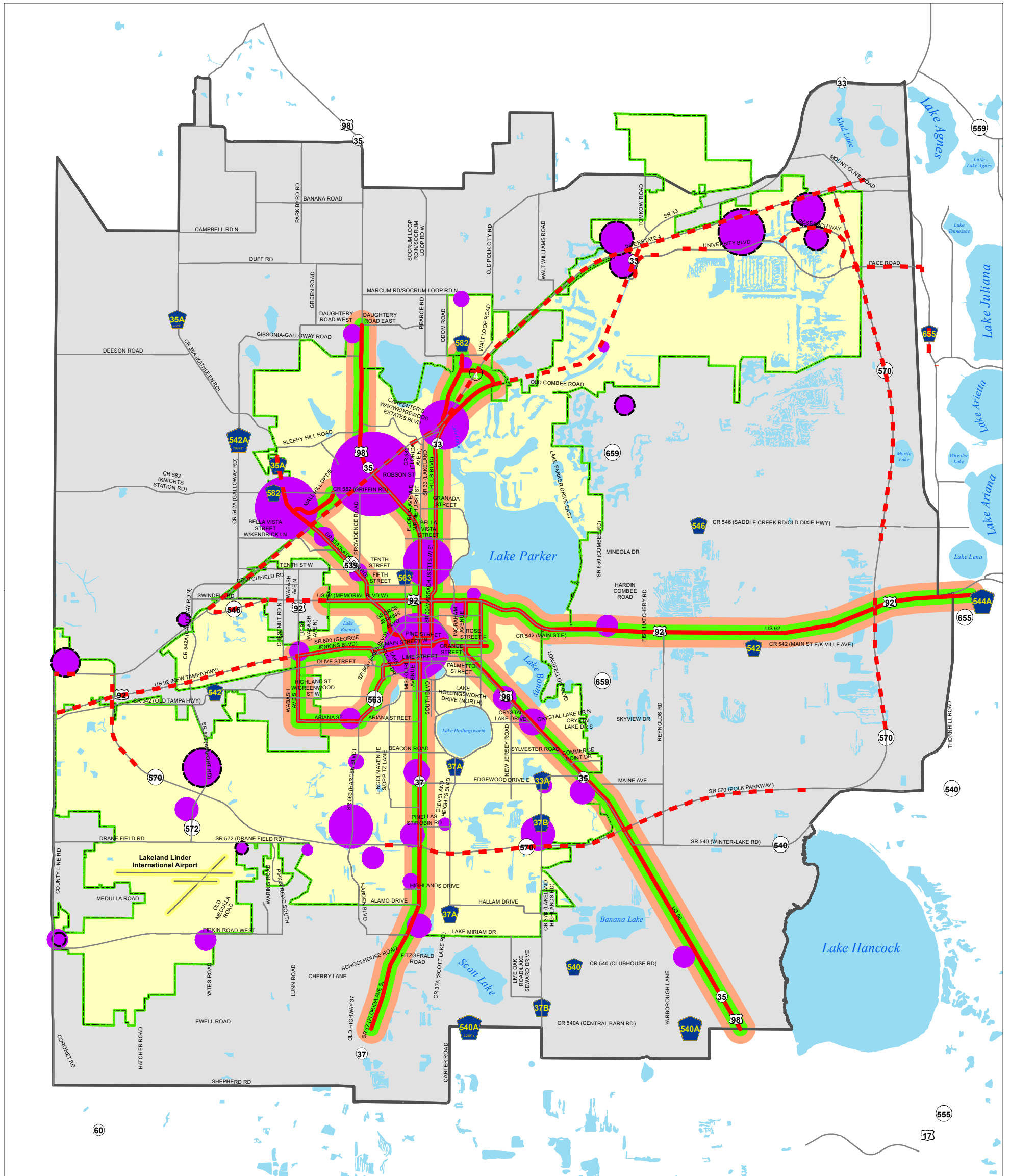
0 1/2 1 2  
Miles

**DISCLAIMER:**  
The information on this map should be considered conceptual and subject to change. This map is not a survey.

**Data Sources:**  
Central Florida Regional Planning Council  
Florida Department of Transportation  
Polk County Transportation Planning Organization  
Polk County Property Appraiser  
City of Lakeland

Map Created:  
February 2021

# MAP FLU-7 TRANSIT-ORIENTED CORRIDORS



## LEGEND

- Lakeland City Limits (February 2021)
- DULA Area
- Lakeland Planning Area
- Water Bodies
- LAL Airport

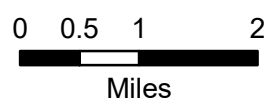
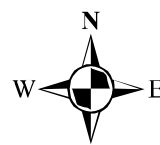
- Interstate Highways
- U.S. Highways
- State Roads
- County Roads

### Transit Oriented Corridors

- Transit Oriented Corridors
- Long Term Potential Transit Oriented Corridors
- TOC\_eightMile\_Buffer
- TOC\_QuarterMile\_Buffer

### Activity Centers

- Current
- Future

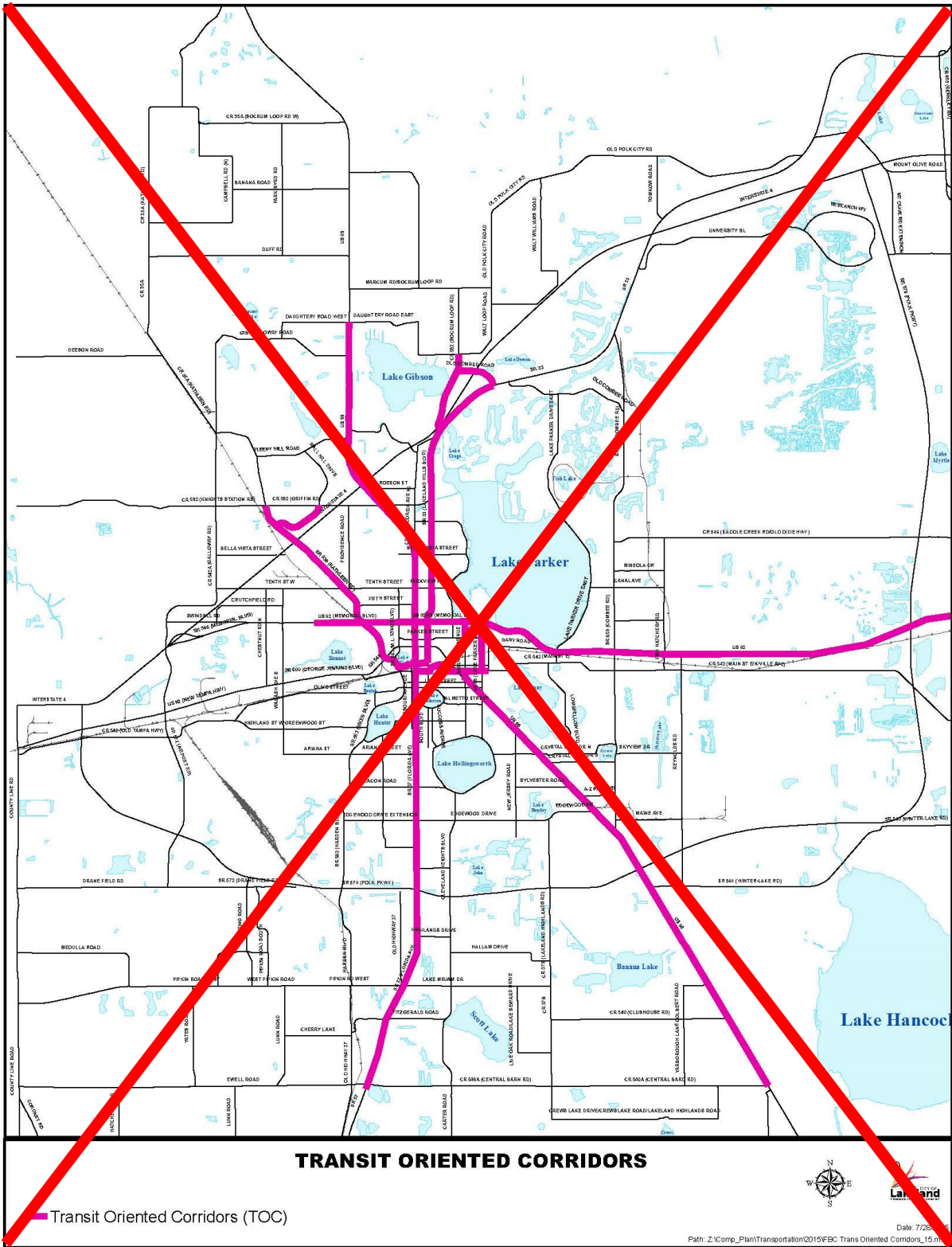


Map Created:  
February 2021

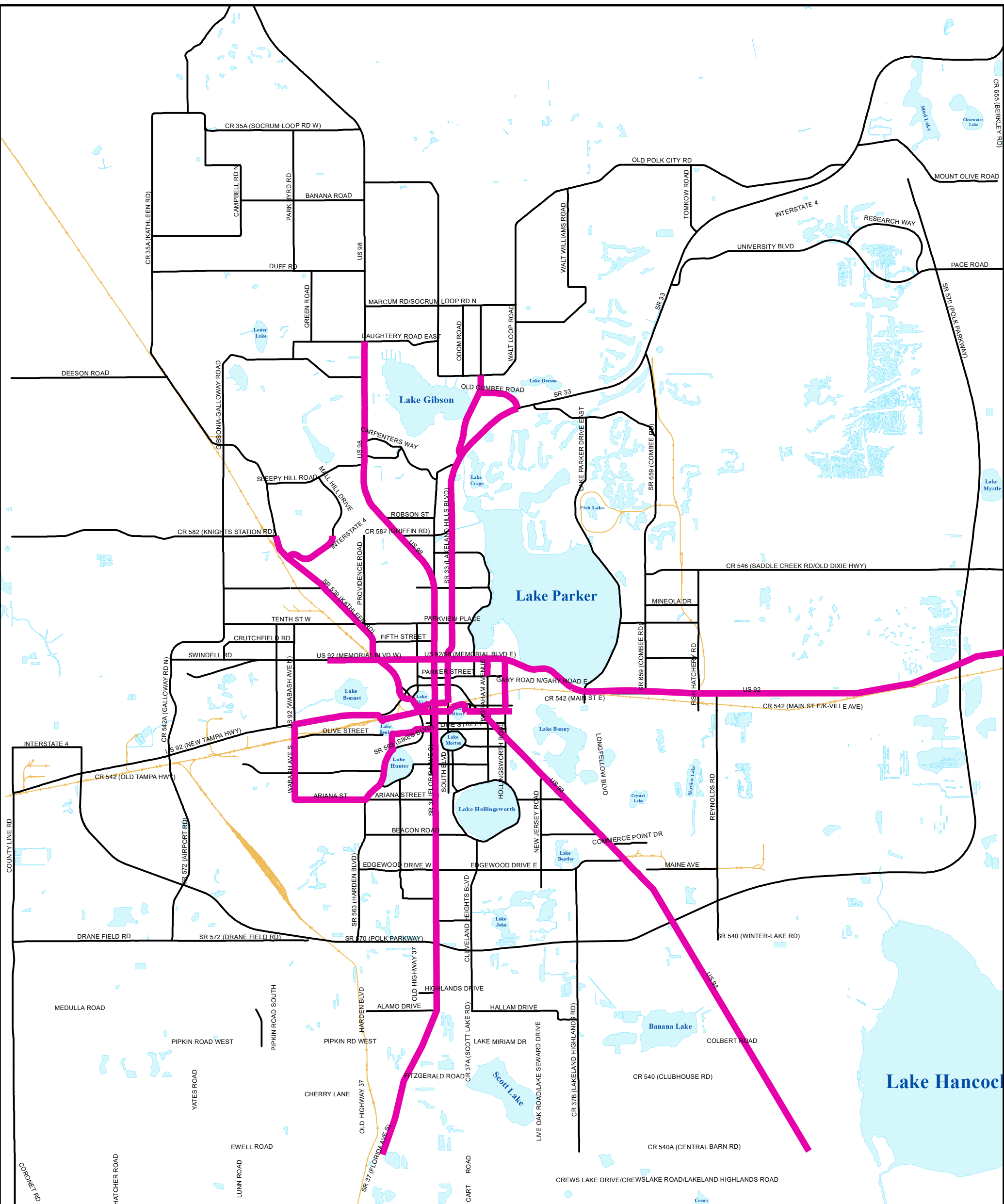


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Data Sources:  
City of Lakeland  
Florida Department of Transportation  
Polk County Transportation Planning Organization  
Polk County Property Appraiser  
Central Florida Regional Planning Council



(Ord. No. 5559, 01-19-16)



# TRANSIT ORIENTED CORRIDORS

— Transit Oriented Corridors (TOC)



Date: 9/29/2023

Path: Z:\Comp\_Plan\Transportation\2015\FBC Trans Oriented Corridors\_15.mxd

- 
- For purposes of this Code, streets are further defined in Section 3.3. Unless the context indicates otherwise, the term street shall also include road, roadway, lane, avenue, boulevard or highway and vice versa.

**Street Grade, Established:** The elevation of the centerline of the streets as officially established by the City Engineer.

**Street Line:** The lines that form the boundaries of a right-of-way.

**Structural Alteration:** Any change in either the supporting members of a building or a structure, such as bearing walls, columns, beams and girders, or in the dimensions or configurations of the roof or exterior walls of a building.

**Structure:** That which is built or constructed on, above, or below the surface of land or water.

**Subdivider:** Any person having an interest in land that is the subject of an application for subdivision.

**Subdivision:**

- A. Land, improved or unimproved, divided into three or more lots, parcels, tracts, or other portions, for the purpose of transfer of ownership whether immediately or in the future;
- B. Land divided in any manner, if the establishment of a new street or alley is involved (See also Right-of-Way Subdivision); and
- C. Land which is resubdivided. Resubdivide shall mean the further division of a parcel created by a previous subdivision into three or more contiguous lots or parcels.

**Survey:** The process of precisely ascertaining the area, dimensions and location of a piece of land.

**Temporary Use:** A use established for a fixed period of time with the intent to discontinue such use upon the expiration of the time period.

**Tenant:** An occupant of land or premises who occupies, uses, and enjoys real property for a fixed time, usually through a lease arrangement with the property owner and with the owner's consent.

**Tiny Home:** A small single-family dwelling constructed on a permanent towable trailer chassis that is intended for long-term living accommodations and licensed and registered as an RV under Florida Law.

**Traffic Control Devices:** All street name signs, traffic control signs, pavement markings and traffic signals installed either within the right-of-way or on private property.

**Transit Oriented Corridors (TOC):** Transit Oriented Corridors (TOC): Corridors centered on certain streets identified in the Comprehensive Plan and illustrated in Figure 1.4-1 within which higher development densities are allowed due to existing and planned premium transit services including 30-minute frequencies, circulator routes with 30- or 60-minute frequencies, planned bus rapid transit services and/or connections to intermodal facilities such as bus terminals, train stations and park-and-ride lots. ~~and~~ Roadway level-of-service standards are less stringent due to the presence of an extensive bicycle and pedestrian network, public transit service with frequencies generally 30 minutes or less and transit facilities.

**Urban Form:** The physical layout and design of the city. The essential elements of urban form include blocks, lots and parcels, streets and other transportation corridors, buildings and structures, open spaces and landscaping.

**Use:** The purpose or activity for which land or buildings are designed, arranged, or intended, or for which land or buildings are occupied or maintained.

**Variance:** Permission granted by the Zoning Board of Adjustments and Appeals to depart from the literal requirements of this Code.

**Vehicle Use Area:** Any surface area, whether pervious or impervious, used for the off-street parking, storage or display of vehicles; the off-street movement of vehicles such as driveways and drive aisles; the off-street loading



# Planning & Zoning Board General Application

## General Information:

<b>Project No:</b>	CUP23-025	<b>Application Date:</b>	10/2/2023		
<b>Project Name:</b>	BAPTIST CHURCH_4210 LAKELAND HIGHLANDS RD				
<b>Subject Property Address:</b>	4210 LAKELAND HIGHLANDS RD				
<b>Parcel ID:</b>	242904273500000251	<b>Total Acreage:</b>	7.35		
<b>Applicant Name:</b>	JSK CONSULTING				
<b>Applicant Address:</b>	5904 HILLSIDE HEIGHTS DR	LAKELAND	FL	33812	
<b>Owner Name:</b>	PARKWAY BAPTIST CHURCH OF LAKE				
<b>Owner Address:</b>	4210 LAKELAND HIGHLANDS RD	LAKELAND	FL	338133113	

## Request:

<b>Application Type:</b>	<b>CONDITIONAL USE</b>	<b>MAJOR MODIFICATION</b>
<b>Proposed</b>		<b>Current</b>
<b>Zoning:</b>	RA-3 (Single-Family)	RA-3 (Single Family)
<b>Land Use:</b>	RM-Residential Medium	Residential Medium (RM)
<b>Context:</b>	SNH-Suburban Neighborhood	Suburban Neighborhood (SNH)
<b>Explanation of Request:</b>	We are proposing adding 2 new portable classrooms in the back southeast corner of the property. This will not disturb traffic flow as it is out of the way and can only be accessed on foot.	
<b>Justification:</b>	The two new classrooms will allow the school to be able to enroll more students than they can currently facilitate. The school is growing quickly, and the staff expect enrollment to be at 500 in the next few years.	

## Concurrency:

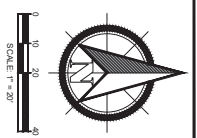
<b>Proposed Dwelling Units:</b>	0	<b>Project Floor Area:</b>	1920	Square feet	
<b>Type of Use:</b>	Church	<b>Phase</b>	1	<b>Year</b>	2023
<b>Estimate of Public Service Demand</b>					
<b>Roadways</b>	<b>Daily Trips:</b>	0	<b>PM Peak Hour Trips:</b>	0	
<b>Potable Water</b>	GPD	<b>Wastewater</b>	GPD	<b>Solid Waste</b>	PPD

PRELIMINARY LAYOUT  
 Preliminary Layout is Subject to Final Topographic and  
 Boundary Survey, Engineering and Approval by  
 Governmental Agencies



PARCEL  
 242904273500-000391  
 OWNER  
 ECLIPSE OPS RE HIGHLANDS LLC  
 OWNER ADDRESS  
 4240 LAKELAND HIGHLANDS RD  
 LAKELAND, FL 33811

PROJECT AREA  
 1.00 AC



**NOT FOR CONSTRUCTION**

SHEET NUMBER  
**C000**

PARKWAY BAPTIST  
 PARKWAY BAPTIST CHURCH OF LAKELAND INC  
**CONCEPTUAL PLAN**  
 4210 LAKELAND HIGHLANDS RD, LAKELAND, FL 33813

**USK CONSULTING**  
 Engineers, Land Planners  
 Construction Managers

5904 Hillside Heights Drive  
 Lakeland, Florida 33812  
 Phone: (863) 618-6124  
 Fax: (863) 618-6123  
 Certificate of Authorization No. 26932  
 www.usk-consulting.com

CREATING • IMPLEMENTING • SOLVING

DESIGNED BY:	JH	DATE	Jun 16, 2023
DRAFTED BY:	BJ	DATE	
CHECKED BY:	MJ	JOB NO.	1156.21B
NO.	DATE	DESCRIPTION	
1			
2			
3			
4			



**File Number:** CUP23-025

**Present Zoning:** RA-4 with Conditional Use

**Present Context:** Urban Neighborhood

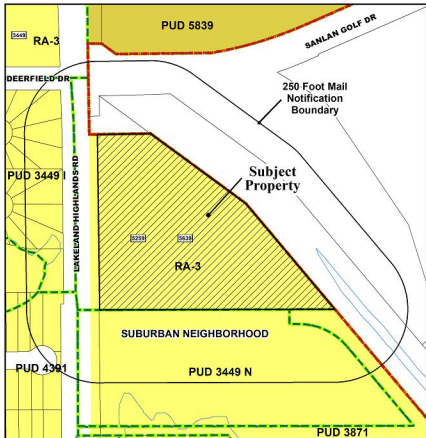
**Proposed Zoning:** Major Modification of Conditional Use to Allow Temporary Use of Two Portable Classrooms and Increase Maximum School Enrollment from 225 to 500 Students

-  Subject Property
-  250 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body



November 2023





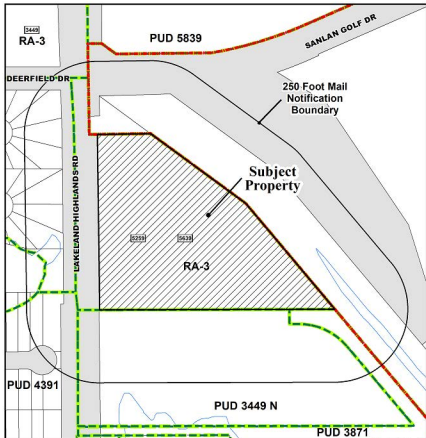
File Number: CUP23-025

Present Zoning: RA-4 with Conditional Use  
 Present Context: Urban Neighborhood  
 Proposed Zoning: Major Modification of Conditional Use to Allow Temporary Use of Two Portable Classrooms and Increase Maximum School Enrollment from 225 to 500 Students

November 2023

-  Subject Property
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-  Conditional Use
-  SPI
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File Number: CUP23-025

Present Zoning: RA-4 with Conditional Use  
 Present Context: Urban Neighborhood  
 Proposed Zoning: Major Modification of Conditional Use to Allow Temporary Use of Two Portable Classrooms and Increase Maximum School Enrollment from 225 to 500 Students

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-  Railroad
-  Water Body
-  Roadway/Railway





228 S Massachusetts Avenue  
Lakeland FL 33801  
[planning@lakelandgov.net](mailto:planning@lakelandgov.net)

November 3, 2023

RE: 4210 Lakeland Highlands Road - Project No. CUP23-025

Dear Property Owner:

This is to advise you that Lanieve Imig, JSK Consulting of Lakeland, Inc., requests a major modification of an existing conditional use for Parkway Baptist Church to allow for the placement of two modular classroom buildings as a temporary use and increase the maximum school enrollment from 225 to 500 students on property located at 4210 Lakeland Highlands Road. The property is legally described as:

A PORTION OF LAND IN THE WEST QUARTER OF SECTION 4, TOWNSHIP 29 S, RANGE 24 E, FURTHER DEFINED AS PARCEL 242904-273500-000251. (A complete legal description is available in the Community & Economic Development Department.)

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, November 21, 2023**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 250 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing *or* you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the Tuesday, November 21<sup>st</sup> meeting.

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THIS IS A COURTESY LETTER NOT REQUIRED BY LAW



# Planning & Zoning Board General Application

## General Information:

<b>Project No:</b>	PUD23-020	<b>Application Date:</b>	9/19/2023		
<b>Project Name:</b>	1015 SIKES BL_ONE MORE CHILD				
<b>Subject Property Address:</b>	1015 SIKES BL				
<b>Parcel ID:</b>	232824000000043010	<b>Total Acreage:</b>	28.29		
<b>Applicant Name:</b>	DAVID HOLDEN				
<b>Applicant Address:</b>	600 NORTH BROADWAY AVENUE, SUITE 301	BARTOW	FL	33830	
<b>Owner Name:</b>	FBCH LAND HOLDINGS INC				
<b>Owner Address:</b>	1015 SIKES BLVD	LAKELAND	FL	338154499	

## Request:

<b>Application Type:</b>	<b>PLANNED UNIT DEVELOPMENT</b>	<b>MAJOR MODIFICATION</b>
<b>Proposed</b>		<b>Current</b>
<b>Zoning:</b>	PUD (Planned Unit Development)	PUD 4850, (Planned Unit Development) MF-12 (Multi Family), RA-3 (Single Family)
<b>Land Use:</b>	RM-Residential Medium	Residential Medium (RM)
<b>Context:</b>	UNH-Urban Neighborhood	Urban Neighborhood (UNH)
<b>Explanation of Request:</b>	Concept Review/DRT process determined a PUD Major Mod was required (CPT22-095 1015 SIKES BL).	
<b>Justification:</b>	<p>Relevant to the current request, is the existence of Ordinance 4850, as amended in 2015, submitted as part of Concept Review. To serve OMC's needs, One More Child seeks approval for a PUD MajMod for their updated masterplan with anticipated buildout of three phases by 2030.</p> <p>Project buildout is planned in three Phases. There have been minor revisions to phasing since Concept Review.</p> <p>The project intends to request abandonment of existing platted Bennet Drive. Phase 1 includes demolishing 4 existing dormitory buildings.</p> <p>Please refer to the property survey, performed after the Concept Review, and included with the submission, which also includes existing trees.</p>	

## Concurrency:

<b>Proposed Dwelling Units:</b>	30	<b>Project Floor Area:</b>	92109	Square feet	
<b>Type of Use:</b>	Other	<b>Phase</b>	1	<b>Year</b>	2024-2026
<b>Estimate of Public Service Demand</b>					
<b>Roadways</b>	<b>Daily Trips:</b>	0	<b>PM Peak Hour Trips:</b>	0	
<b>Potable Water</b>		GPD	<b>Wastewater</b>	GPD	<b>Solid Waste</b> PPD

## PROJECT NARRATIVE for Requested PUD MAJOR MODIFICATION

eTRAKiT: CPT22-095 1015 SIKES BL  
Prepared: 12 August 2022, rev 9/13/2023 (for PUD Major Mod submittal)  
Property: 1015 Sikes Boulevard; Lakeland, Florida;  
Parcel Id# 232824-000000-043010.  
Description: One More Child PUD Headquarters, in the City of Lakeland, is seeking a PUD MODIFICATION for master plan complex improvements that includes various facilities and residences indicated below.

Relevant to the current request, is the existence of Ordinance 4850, as amended in 2015, submitted as part of Concept Review.

Project buildout is planned in three Phases. There have been minor revisions to phasing since Concept Review.

The project intends to request abandonment of existing platted Bennet Drive.

Phase 1 includes demolishing 4 existing dormitory buildings.

Please refer to the property survey, performed after the Concept Review, and included with the submission.

One More Child (OMC) seeks approval for the following:

<b>SITE AREA (estimated)</b>	<b>28.29 AC</b>
------------------------------	-----------------

<b>PROPOSED BUILDINGS:</b>		
Grounds for Grace Center (2 Floors; 1st@17,345 SF + 2nd @ 4030 SF)	Building to host events and meetings	21,375 SF
Warehouse (Adjacent To Harold Clark Simmons Compassion Center)	Increase existing building storage	3,750 SF
Climate Controlled Storage	Storage to serve new residents	5,000 SF
Family Resource Center	Offices for family support services	8,250 SF
Intern Building (2 Floors @ 3,900 SF); 4 apartments for interns; includes assigned parking in own lot	Quarters for interns	7,800 SF
<b>TOTAL AREA</b>		<b>46,175 SF</b>

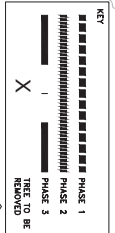
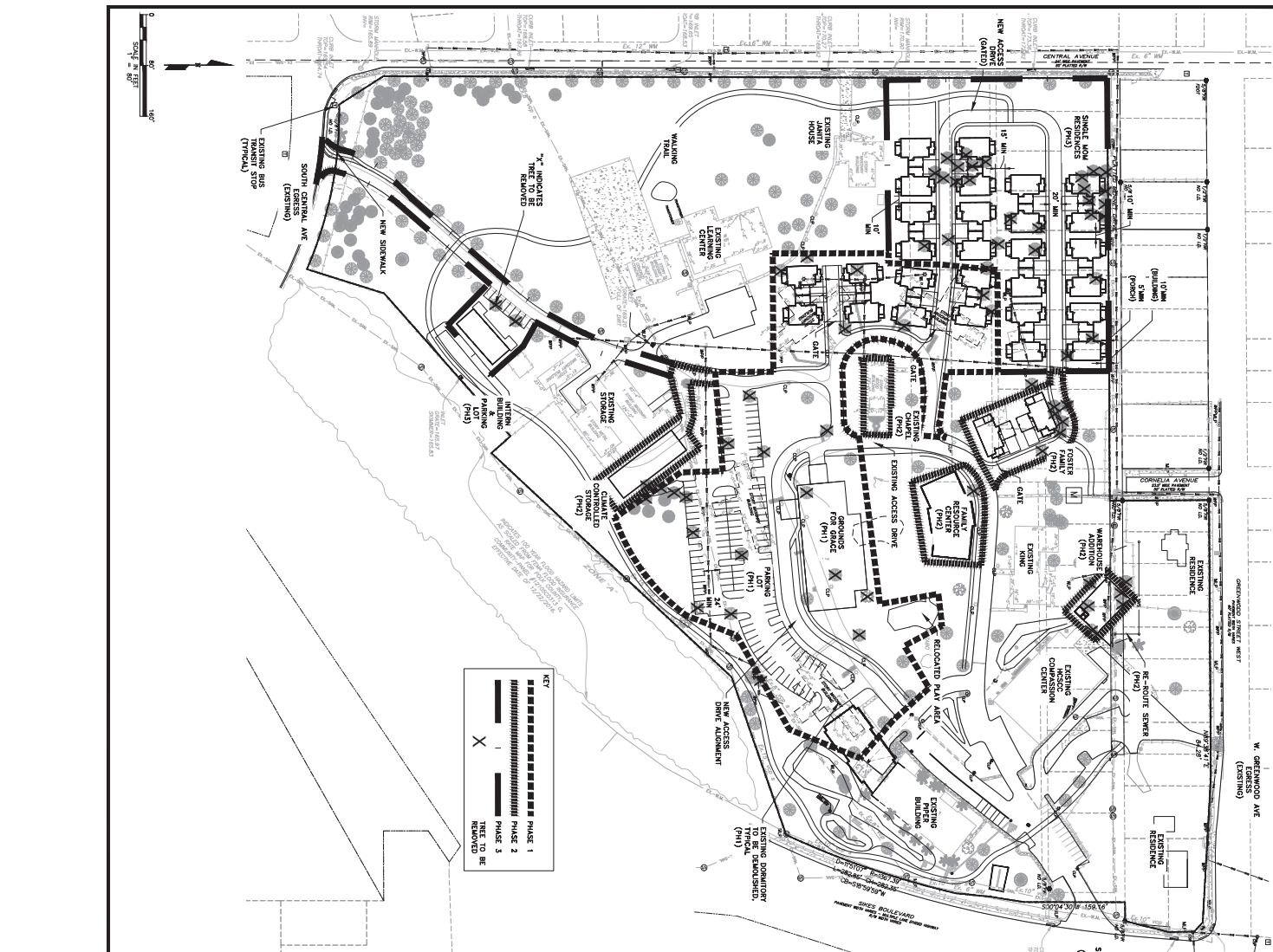
<b>NON-RESIDENT PARKING:</b>	
Existing Parking Spaces (Excludes Residences and Incidental Spaces at Maintenance/Warehouses)	113
Proposed Parking Spaces (New Parking Lot PH1)	109
Proposed Overflow Special Event Lawn Parking	242
<b>TOTAL NON-RESIDENT PARKING SPACES</b>	<b>435</b>

<b>PROPOSED RESIDENCES:</b>		
Single Mom Residence (8 Units @ 1,415 SF) Gross A/C Area (Phase 1)	Single Mother Residential Housing	11,320 SF
Foster Family Residence (2 Units @ 3,157 SF) Gross A/C Area (Phase 2)	Foster Family Residential Housing	6,314 SF
Single Mom Residence (20 Units @ 1,415 SF) Gross A/C Area (Phase 3)	Single Mother Residential Housing	28,300 SF
<b>TOTAL AREA</b>		<b>45,934 SF</b>
<b>TOTAL FOSTER FAMILY RESIDENCE</b> (2 Units @ 3,157 SF) Gross A/C Area		6,314 SF
<b>TOTAL SINGLE MOM RESIDENCE</b> (28 Units @ 1,415 SF) Gross A/C Area		39,620 SF
<b>TOTAL DWELLING UNITS</b>		<b>30 DU</b>

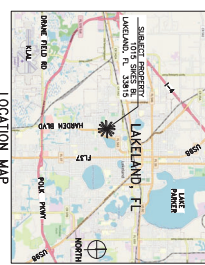
<b>PROPOSED RESIDENT ASSIGNED PARKING:</b>		
	Required Spaces	Provided Spaces
Single Mom Residences (Phase 1) 8 Units @2PS*/DU (1 carport PS + 1 driveway PS)	16	16
Foster Family Residences 2 Units @4PS/DU (2 carport PS + 2 driveway PS)	4	8
Single Mom Residence (Phase 3) 20 Units @2PS/DU (1 carport PS + 1 driveway PS)	40	40
<b>TOTAL RESIDENT PARKING SPACES</b>	<b>60</b>	<b>64</b>

\*PS = PARKING SPACE

(end)



LAND/CONCEPT REVIEW PROJECT INFO	
OWNER	FIELD LAND HOLDINGS INC
SITE ADDRESS	1015 SIKES BLVD, LAKELAND, FL 33802
PROJECT NUMBER	238242000001-04-0110
CURRENT ZONING	PUD4850
PROPOSED ZONING	PUD4850
CONTRACT AREA SUB AREA	URBAN NEIGHBORHOOD CONTRACT DISTRICT
PARENT USE	ONE MORE CHILD CAMPUS
FLOOD ZONE	ZONE 'X' (SPECIAL FLOOD HAZARD)
BUILDING HEIGHT	(REFER TO ARCHITECTURE)
BUILDING SETBACKS	FRONT: 30 FT MIN SIDE TO SIDE: 10 FT MIN REAR: 35 FT MIN DISTANCE TO EAST BENTLEY DR ROW: 10 FT MIN (MINIMUM TO BENTLEY DR ROW) TYPE 'X' BETWEEN MP AND S. CENTRAL AVE.
LANDSCAPE BUFFER	(REFER TO TABLE)
TREE MITIGATION	(REFER TO TABLE)
PARKING SPACES	INTERNAL ROADWAYS WIDTH: 240 FT MIN NEW PARKING ASSES WIDTH: 24 FT MIN TOTAL PARKING SPACES: 1097 X 20 FT



PROPOSED BUILDINGS	
Ground for Office Center (2 Floors, 100,000 SF + 4nd @ 200 SF)	21,375 SF
Warehouse (2 Floors, 100,000 SF + 4nd @ 200 SF)	3,750 SF
Warehouse to be Relocated (2 Floors, 100,000 SF)	5,000 SF
Climate Controlled Storage	8,250 SF
Family Resource Center (Single Building)	7,200 SF
Includes outdoor parking @ 200 sq ft	46,375 SF
<b>TOTAL AREA</b>	<b>112,675 SF</b>

PROPOSED RESIDENCES	
Single Home Residence (8 Units @ 1,415 SF Gross A/C Area Phase 1)	11,320 SF
Foster Family Residence (2 Units @ 3,125 SF Gross A/C Area Phase 2)	6,250 SF
Single Home Residence (20 Units @ 2,515 SF Gross A/C Area Phase 3)	50,300 SF
<b>TOTAL AREA</b>	<b>67,870 SF</b>

NON-RESIDENT PARKING	
Existing Parking Spaces (Excludes Residences and Incidental Spaces at Warehouse/Warehouse)	110
Proposed Parking Spaces (New Parking @ 200 SF)	282
<b>TOTAL NON-RESIDENT PARKING SPACES</b>	<b>452</b>

PROPOSED RESIDENT ASSIGNED PARKING	
Single Home Residence (Phase 1)	Required Spaces: 8
Foster Family Residence (Phase 2)	Required Spaces: 4
Single Home Residence (Phase 3)	Required Spaces: 40
<b>TOTAL RESIDENT ASSIGNED PARKING</b>	<b>52</b>

TOTAL DWELLING UNITS	
PROPOSED RESIDENT ASSIGNED PARKING	52
PROPOSED NON-RESIDENT PARKING	452
<b>TOTAL DWELLING UNITS</b>	<b>504</b>

PHASE	SITING SURVEY & FIELD ASSESSMENT		EVALUATION		RECOMMENDATIONS		REMARKS/NOTES		TOTAL	
	NO. OF LOTS	NO. OF LOTS WITH DEFICIENCIES	NO. OF LOTS WITH DEFICIENCIES	NO. OF LOTS WITH DEFICIENCIES	NO. OF LOTS WITH DEFICIENCIES	NO. OF LOTS WITH DEFICIENCIES	NO. OF LOTS WITH DEFICIENCIES	NO. OF LOTS WITH DEFICIENCIES	NO. OF LOTS WITH DEFICIENCIES	NO. OF LOTS WITH DEFICIENCIES
PHASE 1 TOTALS	659	154	154	20	16	0	16	498	498	512
PHASE 2 TOTALS	298	29	29	0	0	0	0	269	269	312
PHASE 3 TOTALS	298	29	29	0	0	0	0	269	269	312
<b>TOTALS FOR PHASES 1, 2, &amp; 3</b>	<b>1,255</b>	<b>212</b>	<b>212</b>	<b>0</b>	<b>16</b>	<b>0</b>	<b>16</b>	<b>1,036</b>	<b>1,036</b>	<b>1,136</b>

ONE MORE CHILD MASTER PLAN (MAJOR MOD TO PUD 4850)  
1015 SIKES BLVD, LAKELAND, FLORIDA  
SECTION 24, TWP 28S, RNG 23E POLK COUNTY, FL

REVISIONS

DATE	NO.	DESCRIPTION	NAME

PRELIMINARY

DAVID BOONER P.E. 7/8188 DATE

CA#: 30924

700 N BROADWAY AVE, STE. 301  
BARTOW, FL 33830  
863-422-5517  
www.quiggengineering.com

SHEET NUMBER

3.0

SITE PLAN

QUIGG ENGINEERING INC





File Number: PUD23-020

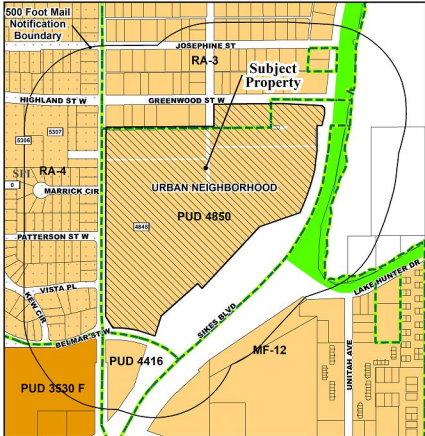
Present Zoning: PUD 4850 with  
Conditional Use

Present Context: Urban Neighborhood  
Proposed Zoning: Major Modification of  
PUD Zoning to Update  
Master Plan for Florida  
Baptist Children's Homes

-  Subject Property
-  500 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body



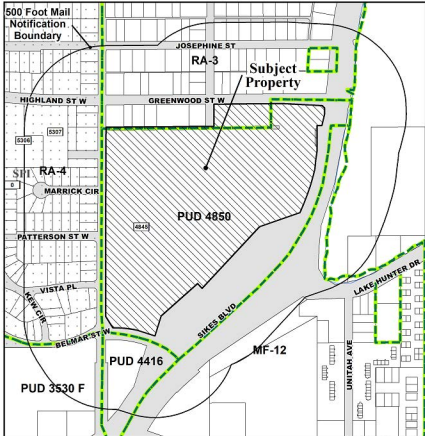
November 2023



File Number: PUD23-020  
 Present Zoning: PUD 4850 with Conditional Use  
 Present Context: Urban Neighborhood  
 Proposed Zoning: Major Modification of PUD Zoning to Update Master Plan for Florida Baptist Children's Homes

-  Subject Property
-  500 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body





File Number: PUD23-020

Present Zoning: PUD 4850 with Conditional Use

Present Context: Urban Neighborhood  
 Proposed Zoning: Major Modification of PUD Zoning to Update Master Plan for Florida Baptist Children's Homes

November 2023

-  Subject Property
-  500 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body
-  Roadway/Railway





228 S MASSACHUSETTS AVE  
LAKELAND, FLORIDA 33801  
PLANNING@LAKELANDGOV.NET

November 3, 2023

RE: 1015 Sikes Boulevard - Project No. PUD23-020

Dear Property Owner:

This is to advise you that David Holden, Quigg Engineering Inc., requests a major modification of PUD (Planned Unit Development Zoning) for Florida Baptist Children's Homes to adopt a new master plan to allow for the construction of a two-story, 21,375 sq. ft. meeting/event space, a 3,750 sq. ft. warehouse, a 5,000 sq. ft. climate-controlled storage building, an 8,250 sq. ft. Family Resource Center, a two-story, 7,800 sq. ft. building with four dwelling units for interns, 28 single mother residential housing dwelling units, two foster family residential housing units, and 109 new off-street parking spaces on property located at 1015 Sikes Boulevard. The subject property is legally described as:

A PORTION OF LAND IN THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 28 S, RANGE 24 E, BOUND BY GREENWOOD ST W TO THE NORTH, SIKES BLVD TO THE EAST, CENTRAL AVE S TO THE SOUTH AND WEST, LESS BLOCK D SUNNYMEDE SUBDIVISION. (A complete legal description is available in the Community & Economic Development Department.)

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, November 21, 2023**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 500 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing or you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the Tuesday, November 21<sup>st</sup> meeting.

**Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Lakeland ADA Specialist, Kristin Meador, no later than 48 hours prior to the proceeding, at (863) 834-8444, Email: [ADASpecialist@lakelandgov.net](mailto:ADASpecialist@lakelandgov.net). If hearing impaired, please contact the TDD numbers: Local – (863) 834-8333 or 1-800-955-8771 (TDD-Telecommunications Device for the Deaf) or the Florida Relay Service Number 1-800-955-8770 (VOICE), for assistance.

THIS IS A COURTESY LETTER NOT REQUIRED BY LAW



# Planning & Zoning Board General Application

## General Information:

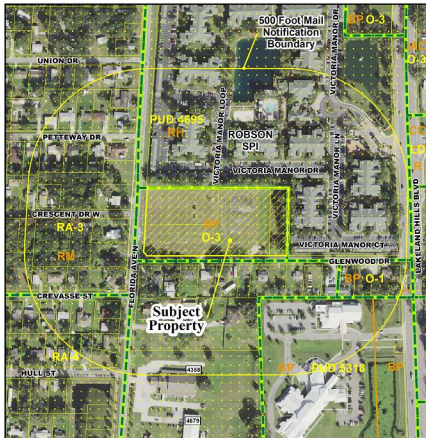
<b>Project No:</b>	LUS23-002 ZON23-010/ZON23-011	<b>Application Date:</b>	10/2/2023		
<b>Project Name:</b>	GLENWOOD APTS_3601 N FLORIDA AV				
<b>Subject Property Address:</b>	3601 N FLORIDA AV				
<b>Parcel ID:</b>	242731164500011110	<b>Total Acreage:</b>	4		
<b>Applicant Name:</b>	THE LUNZ GROUP(AR94778)				
<b>Applicant Address:</b>	58 LAKE MORTON DR	LAKELAND	FL	33801	
<b>Owner Name:</b>	SUMNER FRED				
<b>Owner Address:</b>	2298 LAKELAND HILLS BLVD	LAKELAND	FL	338052908	

## Request:

<b>Application Type:</b>	<b>LAND USE MAP AMEND SM</b>				
<b>Proposed</b>			<b>Current</b>		
<b>Zoning:</b>	MF-22 (Multi-Family)		O-3 (Moderate Impact Office)		
<b>Land Use:</b>	RH-Residential High		Business Park (BP)		
<b>Context:</b>	USP-Urban Special Purpose		Urban Special Purpose (USP)		
<b>Explanation of Request:</b>	This is for the change request for three parcels ( 3601 N Florida Ave N Parcel number 242731164500011110 , 0 Hermosa Dr Parcel Number 242731164500011141, and 0 Hermosa Dr Parcel Number 242731164500011100 ) to be updated from BP to MF-22, in order to develop approximately 150+ Multifamily Units.				
<b>Justification:</b>	A small-scale land use and zoning change are needed since the current Business Park future land use and Office zoning do not allow for the higher density residential use. However, since the request is for standard zoning, a site plan is not needed to apply for these changes.				

## Concurrency:

<b>Proposed Dwelling Units:</b>	150	<b>Project Floor Area:</b>	50000	Square feet	
<b>Type of Use:</b>	Apartment	<b>Phase</b>	1	<b>Year</b>	2024
<b>Estimate of Public Service Demand</b>					
<b>Roadways</b>	<b>Daily Trips:</b>	0	<b>PM Peak Hour Trips:</b>	0	
<b>Potable Water</b>		GPD	<b>Wastewater</b>	GPD	<b>Solid Waste</b> PPD

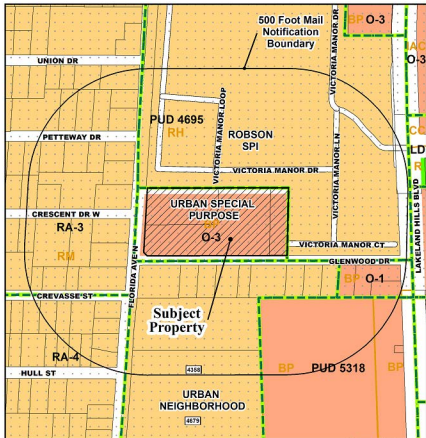


**File Number:** LUS23-002 ZON23-010  
 ZON23-011  
**Present Zoning:** O-3 with SPI  
**Present Land Use:** BP (3.90 AC +/-)  
**Present Context:** Urban Special Purpose  
 and None  
**Proposed Zoning:** MF-22  
**Proposed Land Use:** RH (3.90 AC +/-)  
**Proposed Context:** Urban Neighborhood

- Subject Property
- 500 Foot Mail Notification Boundary
- City Limits
- Zoning
- Conditional Use
- SPI
- Parcels
- Railroad
- Water Body



November 2023



**File Number:** LUS23-002 ZON23-010  
**Present Zoning:** ZON23-011  
**Present Land Use:** O-3 with SPI  
**Present Land Use:** BP (3.90 AC+/-)  
**Present Context:** Urban Special Purpose and None  
**Proposed Zoning:** MF-22  
**Proposed Land Use:** RH (3.90 AC+/-)  
**Proposed Context:** Urban Neighborhood

-  Subject Property
-  500 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body



November 2023



File Number: LUS23-002 ZON23-010  
 ZON23-011  
 Present Zoning: O-3 with SPI  
 Present Land Use: BP (3.90 AC+/-)  
 Present Context: Urban Special Purpose  
 and None  
 Proposed Zoning: MF-22  
 Proposed Land Use: RH (3.90 AC+/-)  
 Proposed Context: Urban Neighborhood

-  Subject Property
-  500 Foot Mail Notification Boundary
-  City Limits
-  Zoning
-  Conditional Use
-  SPI
-  Parcels
-  Railroad
-  Water Body
-  Roadway/Railway



November 2023





228 S Massachusetts Avenue  
Lakeland FL 33801  
[planning@lakelandgov.net](mailto:planning@lakelandgov.net)

November 3, 2023

RE: 3601 N. Florida Avenue - Project No. LUS23-002/ZON23-010/ ZON23-011

Dear Property Owner:

This letter is to advise you that The Lunz Group requests a small-scale land use amendment, to change the future land use designation from Business Park (BP) to Residential High (RH), and a change in zoning, from O-3 (Moderate Impact Office) to MF-22 (Multi-Family Residential), concurrent with a City-initiated application to change to context sub-district designation from Urban Special Purpose (USP) to Urban Neighborhood (UNH), on approximately 3.9 acres located at the northeast corner of N. Florida Avenue and Glenwood Drive. The subject property is legally described as:

Legal Description for Parcel 242731164500011141: LAKE HILLS COURT PB 15 PG 12 BLK K LOTS 14 N1/2 & 18 & THAT PART OF HERMOSA DR LYING N OF SAME LESS ADDNL R/W AS PER OR 7825 PG 1458. Legal Description for Parcel 242731164500011110: LAKE HILLS COURT PB 15 PG 12 BLK K LOTS 11 THRU 13 S1/2 14 & 15 & THAT PART OF VACATED HERMOSA DR LYING N OF LOTS 11 THRU 13 LESS ADDNL R/W AS PER OR 7825 PG 1458. Legal Description for Parcel 242731164500011100: LAKE HILLS COURT PB 15 PG 12 BLK K LOTS 10 & THAT PT OF VACATED HERMOSA DR LYING N OF SAME. (A complete legal description is available in the Community & Economic Development Department.)

The public hearing to consider this request will be held before the Lakeland Planning and Zoning Board at **8:30 a.m., on Tuesday, November 21, 2023**, in the City Commission Room, City Hall, 228 S. Massachusetts Avenue. As an owner of property within 500 feet of this request, as indicated on the attached map, you will be given an opportunity to express your opinion at the public hearing *or* you may submit your views to the Community Development Department, 863-834-6011 or [planning@lakelandgov.net](mailto:planning@lakelandgov.net), prior to the Tuesday, November 21<sup>st</sup> meeting.

**Anyone deciding to appeal a decision by the Board on any matter considered at this or any subsequent meeting will need a record of the proceedings, and for purposes of that appeal, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

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THIS IS A COURTESY LETTER NOT REQUIRED BY LAW

## MINUTES

Planning & Zoning Board

City Commission Chambers

Tuesday, October 17, 2023

8:30 a.m.

The City of Lakeland Planning and Zoning Board met in Regular Session. Board Members, Joseph Lauk, Leigh Ann Lunz, Lyle Philipson, Veronica Rountree and Susan Seitz were present. Community & Economic Development staff Chuck Barmby, Urban Planner & Transportation Manager; Phillip Searce, Urban Planner Supervisor; Audrey McGuire, Urban Planner; Damaris Stull, Urban Planner; Todd Vargo, Urban Planner and Christelle Burrola, Planning Assistant, were present. City Attorney Palmer Davis was also present.

## PUBLIC HEARING

**ITEM 1:** Compatibility review to allow for the construction of an accessory dwelling unit, as a second-story addition to an existing detached garage, on property located at 1928 Shawnee Trail. Owner: Roy Hunter Short II. Applicant: Dan Fowler. (ADU23-012)

Damaris Stull stated the request is for compatibility review to allow for the construction of an accessory dwelling unit. The subject property is located within the Beacon Hill Historic District. At the rear of the subject property is a one-story, detached garage. The Applicant requests to construct a second story ADU on top of the garage. Ms. Stull stated the request will be reviewed by the Historic Preservation Board Design Review Committee.

Ms. Stull also stated staff did not receive any public comment in regard to the request.

Dan Fowler, 2621 Berkeley Avenue, the applicant, was present in support of the request.

Ms. Stull presented the recommended conditions for approval.

Susan Seitz made a motion for approval of staff's recommendation. Leigh Ann Lunz seconded the motion. The motion passed 5—0.

**ITEM 2:** Conditional use to allow for the development of a solar power generation facility on approximately 2,044 acres generally located south of University Boulevard, east of N. State Road 33, and east of N. Combee Road. Owner: Williams Acquisition Holding Company LLC. Applicant: Charles Ryan. (CUP23-010)

Phillip Searce stated the applicant requests a one-month continuance.

Lyle Philipson made a motion for approval of a one-month continuance. Susan Seitz seconded the motion and it passed 5—0.

**ITEM 3:** Major modification of PUD (Planned Unit Development) zoning to increase the maximum number of dwelling units from 125 to 150 to allow for the development of a new five-story multi-family (senior independent living) building on property located at 810 E. Bella Vista Street. Owner: Mainstay Healthcare Bella Vista LLC. Applicant: Jason Alligood, Kimley-Horn and Associates, Inc. (PUD23-016)

Audrey McGuire stated the applicant has revised the requested increase units downward from 150 to 146. The subject property is approximately 3.16 acres in area and currently developed as a senior independent living facility (Osprey Manor). The purpose of the request is to increase the maximum number of dwelling units from 125 to 146 to allow for the construction of a new five-story multi-family residential building on the subject property. To support the increase in the maximum number of dwelling

units from 125 to 146, a minimum of 73 off-street parking spaces will be required. As shown on the site plan, the additional parking will be provided on the first floor of the proposed five-story building and improvements will be required for existing parking areas to ensure the minimum parking ratios can be met.

Ms. McGuire stated staff did not receive any public comment in regard to the request.

Jason Alligood, 109 S. Kentucky Avenue, the applicant, was present in support of the request.

In response to Joseph Lauk, Mr. Alligood stated currently there are 96 dwelling units.

In response to Mr. Lauk, Mr. Alligood stated there are no other future development plans for the parcel.

Dana Mercaldi, 5535 Harrells Nursery Road, stated the model of the senior living facility will not be changing.

In response to Chuck Barmby, Ms. Mercaldi stated only about 10% of the residents drive their own transportation.

In response to Mr. Barmby, Ms. Mercaldi stated there will only be about 2 or 3 new employees who handle housekeeping, maintenance and food services. Office personnel will remain the same.

**ITEM 4:** Change in zoning from I-1 (Light Industrial-Limited Commercial) to PUD (Planned Unit Development) to allow for the development of a zero-lot-line subdivision for I-1 warehouse, office and flex space uses on property located at 1530 and 1543 Kendrick Lane. Owner: G4L Lakeland One LLC. Applicant: Timothy Campbell, Clark, Campbell, Lancaster, Workman & Airth, P.A. (PUD23-019)

Todd Vargo stated the subject property is located on the east side of Kathleen Road, north and south of Kendrick Lane. The subject property has a future land use designation of Interchange Activity Center (IAC) and is zoned I-1 (Light Industrial/Limited Commercial). The purpose of this request is to rezone the property to allow for the development of a zero-lot-line subdivision I-1 warehouse, office and flex space uses. The requested PUD zoning is necessary to allow for the development of attached warehouse, office, and flex space uses as fee simple units which can be bought and sold individually.

Mr. Vargo stated staff did not receive any public comment in regard to the request.

In response to Leigh Ann Lutz, Mr. Vargo stated the purpose of the zero-lot-line subdivision is to allow for fee simple ownership of individual units including the land beneath.

Tim Campbell, 500 S. Florida Avenue, the applicant, provided an overview of the proposed development.

Beverly Kioko, 614 Ponderosa Drive W, stated she is concerned with the increase of traffic and impacts on the neighborhood that is adjacent to the subject property.

Mr. Campbell stated the layout provides a design that is aesthetically pleasing consistent with the USP context sub-district while buffering the vehicle use and loading areas from the residential uses located on the west side of Kathleen Road.

Mr. Barmby stated in addition to the multi-modal transportation concurrency review, City and Florida Department of Transportation staff will review the crash history at the Kathleen Road/Kendrick Lane intersection and any countermeasures that may be required as part of the site permitting process. Primary access to both parcels will be from Kathleen Road via Kendrick Lane. Buildings will be oriented such that the parking and vehicle loading areas are located to the side and rear.

Discussion ensued.

## GENERAL MEETING

**ITEM 5:** Review minutes of the September meeting.

Lyle Philipson made a motion for approval of the minutes from the previous meeting. Veronica Rountree seconded the motion and it passed 5—0.

**ITEM 6:** Major modification of PUD (Planned Unit Development) zoning to allow Motor Vehicle Fuel Sales, Major, within Tract A, and Motor Vehicle Service & Repair Uses, Minor, within Tract B of the Cypress Point at Lake Parker subdivision. The subject property is located north of U.S. Highway 92 East, east of Lake Parker Drive, and west of Fairway Avenue (2150 E. Road 92). Owner: Cypress Point Commercial LLC. Applicant: Sarah Case, Next Level Planning & Permitting. (PUD23-011) **Note: Staff requests an additional one-month continuance.**

Leigh Ann Lunz recused herself from the vote for this item.

Phillip Scarce stated staff requests a one-month continuance.

Susan Seitz made a motion for approval of a one-month continuance. Lyle Philipson seconded the motion and it passed 4—0.

**ITEM 7:** Change in zoning from C-2 (Highway Commercial District) to I-2 (Medium Industrial District), concurrent with a City-initiated application to change the context sub-district designation from Suburban Corridor (SCO) to Suburban Special Purpose (SSP), on approximately 0.46 acres located at 3070 New Tampa Highway. Owner: Lakeland Storage 1 LLC. Applicant: Michael Morcos. (ZON23-007/ZON23-008)

Damaris Stull stated the subject property, approximately 0.46 acres in area. The purpose of this request is to rezone the subject property from C-2 (Highway Commercial) to I-2 (Medium Industrial). Concurrent with the request, the City requests a change in context sub-district designation from Suburban Corridor (SCO) to Suburban Special Purpose (SSP). If approved by the City Commission, the applicant intends to combine the subject property with the adjacent parcels to the south and redevelop the entire property for I-2 industrial uses. The US 92/New Tampa Highway corridor is defined by a mixture of light and medium industrial uses with a limited amount of office and commercial uses. The corridor also contains several older residential uses such as single-family dwellings and mobile home parks which were established decades ago prior to annexation to the City.

Ms. Stull stated the current owner, Lakeland Storage 1 LLC, plans to redevelop the entire property for a wood truss manufacturing facility. The building on the subject property used to be a bar. The former bar building will be repurposed as an office, assembly area, and showroom.

Ms. Stull stated staff recommends approval.

In response to Joseph Lauk, Ms. Stull stated that the request is strictly just a zoning change.

Leigh Ann Lunz made a motion to approve staff's recommendation. Susan Seitz seconded the motion. The motion passed 5—0.

**ITEM 8:** Report of City Commission action on Planning and Zoning Board recommendations along with Planning & Transportation Manager's Report.

Chuck Barmby reviewed the recent actions of the City Commission. Mr. Barmby also reviewed the new cases for the November hearing.

**ITEM 9:** Audience.

There were no comments from the audience.

**ITEM 10:** Adjourn.

There being no further discussion, the meeting was adjourned at 9:32 AM.

Respectfully Submitted,

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Joseph Lauk, Chair

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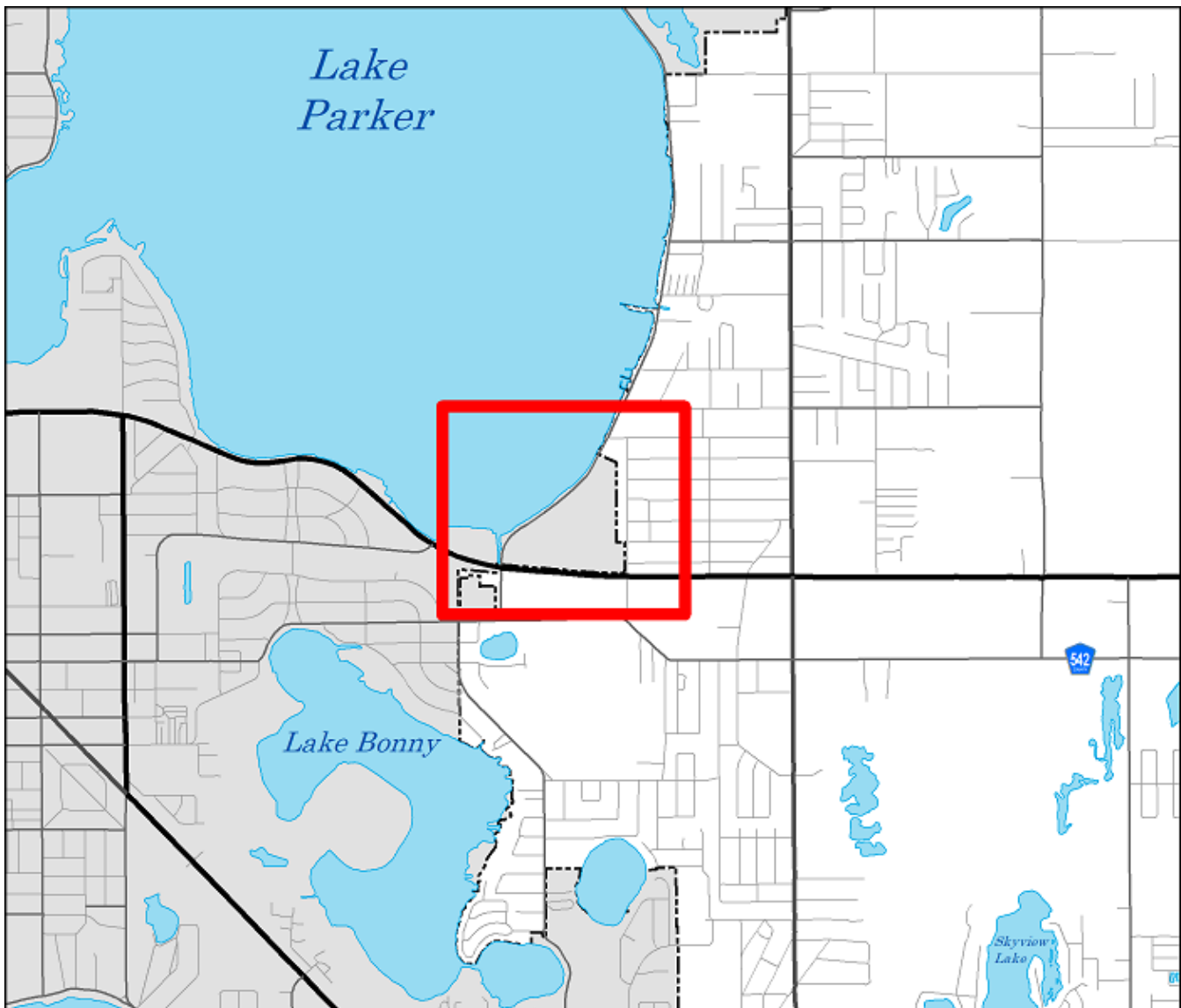
Leigh Ann Lunz, Acting Secretary



# Community & Economic Development Staff Recommendation

Date:	October 17, 2023	Reviewer:	Phillip Searce
Project No:	PUD23-011	Location:	2150 E. Road 92
Owner:	Cypress Point Commercial, LLC.		
Applicant:	Sarah Case, Next Level Planning & Permitting		
Current Zoning:	PUD (Planned Unit Development) 5875	Future Land Use:	Mixed Commercial Corridor (MCC)/ Residential Medium (RM)
Context District:	SCO (Suburban Corridor)		
P&Z Hearing:	August 15, 2023	P&Z Final Decision:	November 21, 2023
Request:	Major modification of PUD (Planned Unit Development) zoning to allow Motor Vehicle Fuel Sales, Major, within Tract A, and Motor Vehicle Service & Repair Uses, Minor, within Tract B of the Cypress Point at Lake Parker subdivision. The subject property is located north of U.S. Highway 92 East, east of Lake Parker Drive, and west of Fairway Avenue (2150 E. Road 92).		

## 1.0 Location Maps





## 2.0 Background

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### 2.1 Summary

Sarah Case, Next Level Planning & Permitting, requests a major modification of PUD (Planned Unit Development) zoning to allow Motor Vehicle Fuel Sales, Major, within Tract A, and Motor Vehicle Service & Repair Uses, Minor, within Tract B of the Cypress Point at Lake Parker subdivision. The subject property is located north of U.S. Highway 92 East, east of Lake Parker Drive, and west of Fairway Avenue (2150 E. Road 92). A map of the subject property is included as Attachment “B.”

### 2.2 Subject Property

The subject property, located on the southeastern shore of Lake Parker, is approximately 46.1 acres in area. First developed as the Lakeland Country Club and Golf Course in the 1920s when the area was a popular spot for boating and fishing, the most recent use of the property was for mobile home and storage shed sales, a liquor store, and an outdoor advertising structure (billboard). All these uses have since terminated and all associated structures removed. The subject property is bounded by Lakeland Electric’s Larsen natural gas power plant to the west and the City limits on the east and south. Surrounding uses include a mix of industrial uses to the south and west, retail commercial uses to the southeast, and single-family residential uses to the east within unincorporated Polk County.

On June 18, 2012, the subject property was voluntarily annexed into the City of Lakeland. On January 22, 2013, through a large-scale map amendment, the following future land use designations were applied to the property: 12.03 acres of Mixed Commercial Corridor (MCC) along the frontage of U.S. Highway 92 East, 9.76 acres of Conservation (C) along the shore of Lake Parker, and 34.98 acres of Residential Medium (RM) east of Lake Parker Drive. The property owner sought the future land use designations at the time with the intent of marketing the property and as such zoning was not requested until several years later when a portion of the subject property was proposed to be developed as an affordable housing development. In 2015, MF-12 (Multi-Family) zoning was applied to a 10-acre tract located on the north side of the property to allow for development of either townhomes or apartments. The balance of the subject property remained without zoning until 2021.

On June 21, 2021, through a small-scale land use amendment and zoning action, 8.12 acres located along the frontage of U.S. Highway 92 East was changed from Mixed Commercial Corridor (MCC) to Residential Medium (RM) and PUD zoning was applied to the entire 46.1-acre tract. As specified by Ordinance 5875, the PUD zoning allows for 199 single-family dwellings and two commercial nodes (Tracts A and B). Tract A, which is 2.69 acres in area, is located at the northeast corner of U.S. Highway 92 East and E. Lake Parker Drive. Tract B, which is 1.55 acres in area, is located at the northwest corner of U.S. Highway 92 East and Fairway Avenue. Under the current PUD zoning, a range of C-2 (Highway Commercial) zoning uses are permitted within the commercial tracts with certain intense commercial uses prohibited, two of which include Motor Vehicle Service and Repair and Motor Vehicle Fuel Sales, Minor and Major. While both commercial nodes are currently vacant and undeveloped, the single-family residential portion of the project is currently under construction.

### 2.3 Project Background

The purpose of the request as originally submitted and presented during the public hearing on August 15, 2023 is to amend the PUD zoning to allow Motor Vehicle Fuel Sales, Major, within Tract A and Motor Vehicle Service & Repair Uses, Minor within Tract B. The adopted site development plan which shows the location of both Tracts is included as Attachment “C.” However, the applicant has since modified the request to remove Tract B from consideration, and instead of major fuel sales for Tract A, the applicant now requests minor fuel sales with a commercial component. The revised request is further described in the discussion section below.



## 2.4 Existing Uses of Adjacent Properties

Boundary	Existing Land Use	FLUM	Zoning	Context
North	Lake Parker	N/A	N/A	N/A
South	Light Manufacturing	County LCC & RL-3	N/A	UCO
East	Single-Family Residential & Commercial	County I	N/A	USP
West	Utility & Essential Service Facilities	I	I-3	SSP

## 2.5 Attachments

Attachment A: Legal Description

Attachment B: Base Map of Subject Property

Attachment C: Approved PUD Site Plan

Attachment D: Site Plan for Tract A, Motor Vehicle Fuel Sales, Minor

## 3.0 Discussion

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The existing PUD zoning was approved by the Planning and Zoning Board in May 2021, and ultimately adopted by the City Commission only after the initial PUD proposal was denied (without prejudice) by the Board. The Board initially denied the development program based on several factors making it inconsistent with the Land Development Code, specifically the internal design (block/Tract typology), a large number of 40-foot-wide lots, and nonconformity with the Suburban Neighborhood (SNH) context sub-district standards. A revised site plan and amended conditions reflecting a reduction in the total unit count, from 209 to 199, a mix of 40-foot and 50-foot lot sizes, and a new overall layout were ultimately approved by the Board and City Commission. The two commercial nodes on Tracts A and B were approved with a range of C-2 (Highway Commercial) but exclude certain more intense uses to ensure compatibility with adjacent residential uses. Included in the list of prohibited uses are Motor Vehicle Fuel Sales, Major, and Motor Vehicle Service & Repair Uses, Minor.

The applicant's initial major modification request was to allow Motor Vehicle Fuel Sales, Major, on the 2.69-acre Tract A, located at the northeast corner of U.S. Highway 92 and E. Lake Parker Drive and to allow Motor Vehicle Service & Repair, Minor on Tract B, the 1.55-acre parcel located at the northwest corner of U.S. Highway 92 East and Fairway Avenue.

Since the initial public hearing on August 15th, the applicant has revised the PUD modification request. The applicant now proposes to remove Tract B from consideration for Motor Vehicle Service & Repair Uses, Minor, leaving the original range of limited C-2 permitted uses. With respect to the larger Tract A, the applicant has modified the request from Motor Vehicle Fuel Sales, Major, to Motor Vehicle Fuel Sales, Minor fuel sales along with the addition of retail/office uses acting as buffer for the adjacent single-family residential uses that are currently under construction. As defined in the Master Use List, Motor Vehicle Fuel Sales, Minor, allows for the retail sale and dispensing of vehicular fuels, as a principal or accessory use, with no more than six pumps/twelve fueling positions.

One of staff's initial concerns with the original request was its speculative nature and the lack of a site plan with development and mitigation details to address impacts. In response, the applicant has submitted a basic "bubble" site plan for Tract A, which is included as Attachment "D" of the report. Since an end user for Tract A has not been identified at this time, the applicant is unable to provide a

more detailed site plan with specific site layout and development details. The new site plan, however, divides the tract into two areas with the motor vehicle fuel sales use located on the western half of the parcel, farther away from the residential uses, and an office/retail component acting as a buffer between the two uses. The proposed site plan along with the inclusion of recommended conditions for approval, addresses staff's concerns pertaining to scale and compatibility.

Given the conceptual nature of the proposed site development plan, further refinement of the development details will be addressed during the staff level commercial site plan review and in accordance with the Land Development Code. Additional details to be determined include access, on-site circulation, and an internal pedestrian connection with the adjacent subdivision that is currently under construction. It's also important to note that, unlike Motor Vehicle Fuel Sales, Major, the Land Development Code does not require a distance buffer for minor fuel sales from residential districts. The applicant will be required to address adherence to the adopted PUD conditions as well as the Land Development Code requirements including the context design requirements (Section 3.4.7) and the General Site Development Standards contained within Article 4.

With respect to Tract B, no changes will be made to the existing list of permitted and prohibited uses. As outlined previously by staff, this site was very sensitive due to Tract B's proximity to an existing motor vehicle service use and numerous residential lots within the Cypress Point subdivision. Because of the nature of this existing service use, located within unincorporated Polk County, it poses several compatibility nuisance issues including noises associated with outdoor service bays and outdoor storage. Staff had previously concluded that adding another vehicle service use on Tract B would compound the impacts to the adjacent residential uses. The applicant has acknowledged staff objections and has removed any changes to Tract B from the request.

### **3.1 Transportation and Concurrency**

The City of Lakeland is a designated Transportation Concurrency Exception Area (TCEA) with locally adopted level-of-service and transportation mitigation standards. The development site is located within the Urban Development Area and fronts U.S. Highway 92 East (E. Memorial Boulevard), a principal arterial State Highway with an annual average daily volume of 34,800 vehicles as shown in the Polk Transportation Planning Organization's 2023 Roadway Network Database (RND) for the segment between North Lake Parker Avenue and State Road 659 (Combee Road). During the peak-hour, this segment operates at and acceptable LOS "C", with a two-hour average volume of 1,265 eastbound and 1,215 westbound vehicles. On the west, the layout plan proposes three access points on East Lake Parker Drive (two street connections for the residential subdivision and one driveway for Tract A), an urban collector roadway operated by Polk County. Per the TPO's RND, the E. Lake Parker Drive/Canal Avenue/Idlewild Street corridor carries 6,500 vehicles per day, operating at LOS "C" during the peak-hour with a two-hour average volume of 298 northbound and 287 southbound vehicles.

The Lakeland Comprehensive Plan designates E. Lake Parker Drive as a Proposed Priority Pathways corridor, highlighting the intent of this corridor to be a premier bicycle/pedestrian area that connects to the remainder of the area's trail network and to enhance adjacent properties and residential neighborhoods. The eastern boundary of the site fronts Fairway Avenue, a local street operated by Polk County. One street connection is being provided for the residential subdivision and one driveway is currently allowed for Tract B. The E. Lake Parker Drive-Canal Road and Fairway Avenue intersections at U.S. Highway 92 are signalized. Traffic calming has been installed by Polk County on Fairway Avenue and Lakeview Street. Northbound fixed-route transit service is available to the site via the Citrus Connection's Orange Line, which currently has 60-minute frequencies. Both U.S. Highway 92 and E. Lake Parker Drive adjacent to the development site have a posted speed limit of 45 mph.

Binding concurrency determinations will not be made until the time of subdivision plat approval for the on-going residential phase and site plan approval for future commercial uses on Tracts A and B. Depending on the specific non-residential uses that are constructed within this development, a higher-level of “internal capture” between the residential and commercial uses could lower the overall impact to the transportation system from a capacity standpoint. Depending on the amount of “pass-by capture” from the surrounding public street system that is attracted by the commercial uses, driveway volumes on U.S. Highway 92, E. Lake Parker Drive, and Fairway Avenue could increase, which while potentially reducing some traffic concurrency concerns, would increase turning movements at the site driveways and adjacent intersections. Higher volumes immediately adjacent to the site increase access and operational concerns for the City, County, and FDOT requiring turn lane improvements on the surrounding streets.

The 199-lot single-family subdivision approved through the PUD is currently under construction. As part of the subdivision construction plan review process, the applicant submitted a revised Major Traffic Study prepared by Turgut Dervish, P.E. with Traffic Planning and Design, Inc, signed and sealed on May 10, 2022. The development program upon which the traffic study was based contained 199 single-family detached dwelling units (Institute of Transportation Engineers Land Use Code 210) and 29,864 square feet of Strip Retail Plaza uses (< 40,000 square feet, Land Use Code 822) distributed between Tract A (21,864 square feet) and Tract B (8,000 square feet). The cumulative total Daily trips (without reductions for “pass-by” capture) for this development program is an estimated 3,619 vehicles and a P.M. Peak Hour (4 PM to 6 PM) volume of 387 vehicles. Once pass-by capture of traffic already on the adjacent roadway frontages is taken into consideration, the cumulative number of Net New/External Trips are estimated at 2,931 Daily and 308 PM Peak Hour (4 PM-6 PM) vehicles. Based on the currently approved development program, no concurrency failures are expected on roadway segments and intersections where the trip generation is expected to consume five percent or more of the adopted service volume (capacity); however, the northbound and southbound approaches to the E. Lake Parker Drive-Canal Road and Fairway Avenue intersections with U.S. Highway 92 are expected to operate at Level-of-Service (LOS) “E”.

With a development program on Tract A consisting of a convenience store/gas station (Land Use Code 945, 2-4k Gross Floor Area) with six pumps/12 fueling positions, the cumulative Daily trip generation (without pass-by capture) for the PUD would be expected to increase from 3,619 to between 6,158 and 6,589 vehicles. PM Peak Hour trip generation (without pass-by capture) would be expected to increase from an estimated 387 vehicles to 582 vehicles. Refined transportation analyses and binding concurrency determinations would be required with site plan submittal. The site driveway configurations would be required to comply with all Florida Department of Transportation (US 92) and Polk County (E. Lake Parker Drive) permitting requirements.

Comprehensive Plan Policy 4C states that the City will reduce roadway deficiencies by maximizing operational functions, access, and demand management strategies, adding lanes, constructing new roadways, and providing facilities for alternative transportation modes including transit, bicycle and pedestrian. Policy 4D states that the City’s access management standards will be utilized in review of all new developments or redeveloped parcels in the City in order to maintain operating speed and preserve capacity on arterials and collectors by minimizing driveway and median cuts. Where driveway access must be approved by the County or FDOT, coordination shall occur to ensure maximum acceptable access controls. Policy 4A.4 states that transit-related improvements must be approved by the applicable transit authority or transit director; however, City engineering standards and building code shall be followed for construction of proposed transit shelters within the City and coordination shall occur for shelters placed within the maintenance jurisdiction of either FDOT or Polk County.

It should be noted that within the City’s Transportation Concurrency Exception Area (TCEA), operational and safety-related mitigation may be required of development projects to ensure continued

safety mobility within the transportation network. Improvements needed for development or redevelopment may need to address any combination of the following: coordinated access, signalization, turn lanes, bus pull-out lanes and/or geometric improvements to the same.

The proposed alternative layout for Tract A as shown in Attachment “D”, with a revised development program of minor fuel sales and a retail plaza, better balances the applicant’s request with future residents’ needs for local services that can be easily accessed via bicycle and pedestrian routes that remain conditions of approval. Additional concurrency and/or operational mitigation requirements that are determined at the time of site plan approval will address the additional traffic that is expected to be generated by a minor fuel sales operation on Tract A. The applicant is no longer requesting changes to Tract B; therefore, trip generation isn’t expected to significantly increase beyond what is already included in the 2022 Major Traffic Study.

### **3.2 Comprehensive Plan Compliance**

The Community and Economic Development Department reviewed the revised request for compliance with the Lakeland Comprehensive Plan: Our Community 2030, and it is our opinion that the request, with the inclusion of Attachment “D” including the addition of retail and office uses within Tract A, the request is consistent with the Comprehensive Plan and the Transit Oriented Corridor policies listed below:

The subject tracts are located on U.S. Highway 92 which is designated as a Transit Oriented Corridor (TOC). Staff finds the applicant’s revised development program for Tract A better complies with the following Transit Oriented Corridor (TOC) policies of the City’s Comprehensive Plan.

- Policy 1.4A Transit Oriented Corridors shall encourage a mix of complementary land uses with medium to high residential densities along key designated existing or planned fixed route transit corridors. All new or redevelopment within a TOC shall be designed with pedestrian, bike, and transit friendly site design. All new or redevelopment within a TOC shall be designed with pedestrian, bike, and transit friendly site design.
- Policy FLU-1.4E: Both new development and redevelopment within the TOC shall be designed with primary focus on safe, attractive, and functional access for the pedestrian, with secondary focus on the vehicle.

## 4.0 Recommendation

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### 4.1 Community and Economic Development Staff

The Community and Economic Development Department reviewed the revised request and recommends approval of the major modification to PUD zoning. Letters of notification were mailed to 98 property owners within 500 feet of the subject property. Staff received two calls in opposition to the original PUD modification.

### 4.2 The Planning & Zoning Board

It is recommended that the request for major modification of PUD (Planned Unit Development) zoning as described in Attachments “A,” “B,” “C” and “D,” to allow Motor Vehicle Fuel Sales, Minor, within Tract A of the Cypress Point at Lake Parker subdivision be approved.

A. Permitted Uses:

1. Tracts A and B: Those uses permitted by right within the C-2 zoning districts, except for the following uses which shall be prohibited.
  - Motor Vehicle Sales, New or Used
  - Motor Vehicle Service and Repair, Minor and Major
  - Motor Vehicle Fuel Sales, Minor and Major (except as specified below)
  - Payday Loan/Title Loan/Check Cashing
  - Liquor Stores
  - Outdoor Sales, New or Used
  - Pawn Shops
  - Rent to Own Stores
  - Thrift/Second Hand Stores
  - Tobacco/Vape Shops
  - Marine Uses
  - Outdoor Storage
  - Bars and lounges
  - Recycle collection center
  - Blood bank and plasma collection
  - Tattoo parlors
  - a. Motor Vehicle Fuel Sales, Minor, shall be permitted within Tract A in substantial accordance with Attachment “D” with retail and office uses buffering the motor vehicle fuel sales use.
  - b. Tract A retains the ability to develop entirely with the permitted uses of the C-2 zoning district with the exception of those uses currently prohibited.
2. Cypress Point Single-Family Subdivision: Single family detached dwellings and accessory uses such as mail kiosks, guest parking, and a recreational trail along the frontage of E. Lake Parker Drive plus the following uses, as illustrated in Attachment “C.”
  - a. Tracts C, D and E: Storm water retention
  - b. Tracts F, H and K: Open space
  - c. Tract G: Active recreation space

- d. Tract I: Perimeter buffer/landscaping
- e. Tract J: Conservation Area, which may be used for recreational purposes for a single, private fishing dock as shown in Attachment "C."

B. Maximum Number of Dwelling Units: 199

C. Development Standards:

- 1. Tracts A & B: In accordance with the C-2/Suburban Corridor context sub-district standards.
- 2. Single-Family Detached Dwellings: In accordance with the RA-4/Suburban Neighborhood context sub-district, excepts as follows.

a. 40-foot lots:

Minimum Lot Width (Interior):	40 feet
Minimum Lot Width (Corner)	50 feet
Minimum Lot Area:	4,800 sq. ft.
Minimum Front Yard Setback:	22 feet
Minimum Street Side Setback:	15 feet
Minimum Interior Side Yard Setback:	5 feet
Minimum Rear Yard Setback:	15 feet

b. 50-foot lots:

Minimum Lot Width (Interior):	50 feet
Minimum Lot Width (Corner)	60 feet
Minimum Lot Area:	6,000 sq. ft.
Minimum Front Yard Setback:	22 feet
Minimum Street Side Setback:	15 feet
Minimum Interior Side Yard Setback:	5 feet
Minimum Rear Yard Setback:	15 feet

D. Lot Mix: A minimum of thirty-five percent (35%) of the single-family detached residential lots shall meet the minimum dimensional requirements for 50-foot lots specified in Condition C.2.b., Development Standards.

E. Front-Loaded Garages on Single-Family Detached Dwellings:

- 1. Front-loaded garages shall project no further than 16 feet from the front façade of the principal structure, measured from either the living area and/or the entrance feature.
- 2. For single-family detached dwellings constructed on 40-foot lots, front-loaded garages shall be limited to no more than seventy percent (71%) of the overall width of the front elevation of each dwelling unit.

F. Landscaping & Buffering: In accordance with the Land Development Code, except as follows.

- 1. Adjacent to the single-family lots abutting the large retention area along E. Lake Parker Drive (Tract D), a buffer consisting of a six-foot high fence or wall shall be constructed by the developer. Maintenance of the fence or wall shall be the responsibility of either a homeowners' association (HOA) or property owners' association (POA). The fence or wall shall be constructed such that it is of uniform design/materials and located within

either a common area owned by the HOA or POA, or in a recorded easement in the rear yard area of individual lots.

2. Adjacent to the single-family lots abutting E. Memorial Blvd/U.S. Highway 92 (Tract I), a buffer consisting of an eight-foot-high pre-cast concrete wall with double staggered rows of landscaping shall be constructed by the developer. The landscape buffer shall be a minimum of 12 feet in width with each row of plantings consisting of a minimum of three "B" trees and 16 shrubs per 100 lineal feet of buffer length or fraction thereof. All landscaping shall be planted on the outside of the wall facing towards either adjacent commercial parcels (Tracts A and B) or E. Memorial Blvd/U.S. Highway 92. Maintenance of the buffer shall be the responsibility of either a homeowners' association (HOA) or property owners' association (POA).

G. Site Development Plan: The project shall be developed in general accordance with the conceptual site development plan included as Attachments "C" and "D". At the discretion of the Director of Community & Economic Development, minor changes may be made to the lot arrangement at the time of subdivision plat review without requiring a modification to the PUD.

H. Transportation Conditions

1. A Binding Concurrency Determination for the Cypress Point Single-Family Subdivision shall be made prior to final subdivision plat approval. Binding Concurrency Determinations for Tracts A and B shall be made prior to each site plan approval.
2. Allowed Access Points
  - a. Access to East Lake Parker Drive and Fairway Avenue shall be limited to those street connections shown on Attachment C.
  - b. Access to Tract A shall be limited to a full-movement driveway on East Lake Parker Drive and a right-in only driveway from US 92.
  - c. Access to Tract B shall be restricted to one full-movement driveway on Fairway Avenue that is aligned with Peachtree Street.
  - d. All access points on East Lake Parker Drive and Fairway Avenue shall comply with Polk County permitting requirements.
  - e. The proposed right-in only driveway to Tract A on US 92 shall comply with all Florida Department of Transportation (FDOT) requirements.
  - f. All retired driveway aprons along the US 92 project frontage shall be removed and restored with sidewalk, curbing and sod as required by FDOT.
3. Access Mitigation Requirements:
  - a. Prior to issuance of the first Certificate of Occupancy for the single-family subdivision:
    - i. a dedicated southbound right-turn lane shall be constructed on East Lake Parker Drive at US 92.
    - ii. the westbound left-turn lane on US 92 at East Lake Parker Drive (Canal Avenue) shall be extended to comply with FDOT requirements.

- iii. the eastbound left-turn lane on US 92 at East Lake Parker Drive shall be extended through modification of pavement markings to comply with FDOT requirements.
      - iv. a dedicated southbound left-turn lane shall be constructed on Fairway Avenue at US 92.
      - v. the eastbound left-turn lane on US 92 at Fairway Avenue shall be extended to comply with all FDOT requirements.
    - b. Prior to first Certificate of Occupancy issuance for Tract A, a dedicated westbound right-turn lane shall be constructed on US 92 at East Lake Parker Drive and comply with all FDOT requirements.
4. Bicycle and Pedestrian Facilities
- a. ADA-compliant sidewalks shall be constructed on both sides of all internal streets within the Cypress Point single-family subdivision. These sidewalks shall be connected to the East Lake Parker frontage trail and the Fairway Avenue sidewalk.
  - b. Concurrent with the on-site infrastructure for the single-family subdivision, an ADA-compliant 12-foot wide asphalt trail shall be constructed along East Lake Parker Drive between the northern property boundary and US 92, to be included within dedicated right-of-way.
  - c. A five-foot wide sidewalk shall be constructed between Tract G and the private fishing dock in Tract J. This sidewalk shall be placed within a separate 20-foot wide tract that is dedicated to the Homeowners Association. A marked crosswalk shall be constructed across East Lake Parker Drive with rapid flashing beacons to increase motorist compliance. This pedestrian route shall be ADA-compliant.
  - d. ADA-compliant five-foot wide sidewalks shall be constructed between the single-family subdivision and principal customer entrances in Tracts A and B. These sidewalks shall be located in separate tracts owned by the Homeowners Association.
  - e. Tract H shall be connected to Road 1 via an ADA-compliant marked crosswalk.
  - f. An ADA-compliant sidewalk shall be constructed along the development's Fairway Avenue frontage.
  - g. ADA-compliant pedestrian routes shall be constructed between the principal buildings in Tracts A and B and adjacent multi-use trail on East Lake Parker Drive and sidewalk along Fairway Avenue.
5. Transit Mitigation Requirements
- a. Prior to the first Certificate of Occupancy for the single-family subdivision, a transit shelter shall be constructed along the development's East Lake Parker Drive frontage at a location that is acceptable to the Lakeland Area Mass Transit District (LAMTD). If located outside of public right-of-way, the transit shelter site shall be located within an easement dedicated to LAMTD. The transit shelter site and structure shall be permitted through the City Building Division.



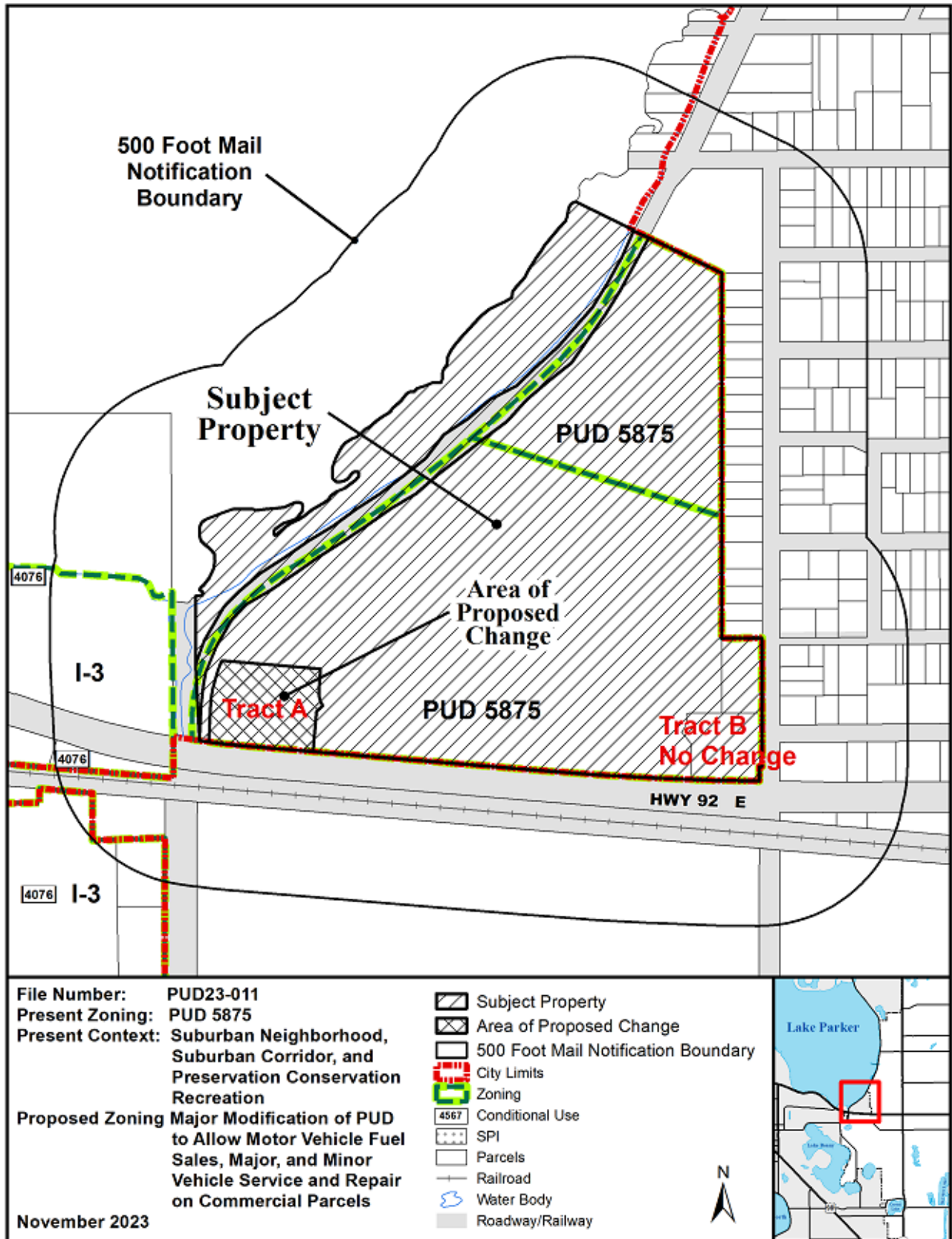
- b. Prior to first subdivision or site plan submittal, the site shall be subject to the ad valorem tax levied in the LAMTD boundaries.
- 6. Right-of-Way Dedications: Sufficient right-of-way shall be dedicated to Polk County and FDOT as appropriate to accommodate required turn lane, sidewalk and frontage multi-use mitigation measures required through this ordinance.
- 7. Railroad Agreement: Prior to approval of the single-family residential subdivision plat, an agreement with the City shall be executed acknowledging the proximity of the new community to an active rail line operated by CSX Transportation and rail the crossings at Fairway Avenue and Canal Avenue. The purpose of this agreement is to provide notice of the noise and vibrations associated with rail operations. The executed agreement shall be recorded with the Polk County Clerk of Courts and included on the recorded subdivision plat.
- 8. If any of the above transportation conditions are found to be in conflict with the requirements of the lead agency having jurisdiction over the subject facility, the permitting requirements of that agency shall prevail based upon a traffic study submitted by the developer at the time of subdivision plan review and/or commercial site plan review. This study shall evaluate the cumulative impacts of the entire development program and shall include both an operational analysis and transit stop evaluation.

ATTACHMENT "A"

PARCEL 24-28-16-000000-034010 – TRACT A

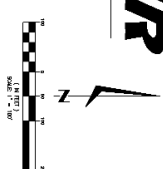
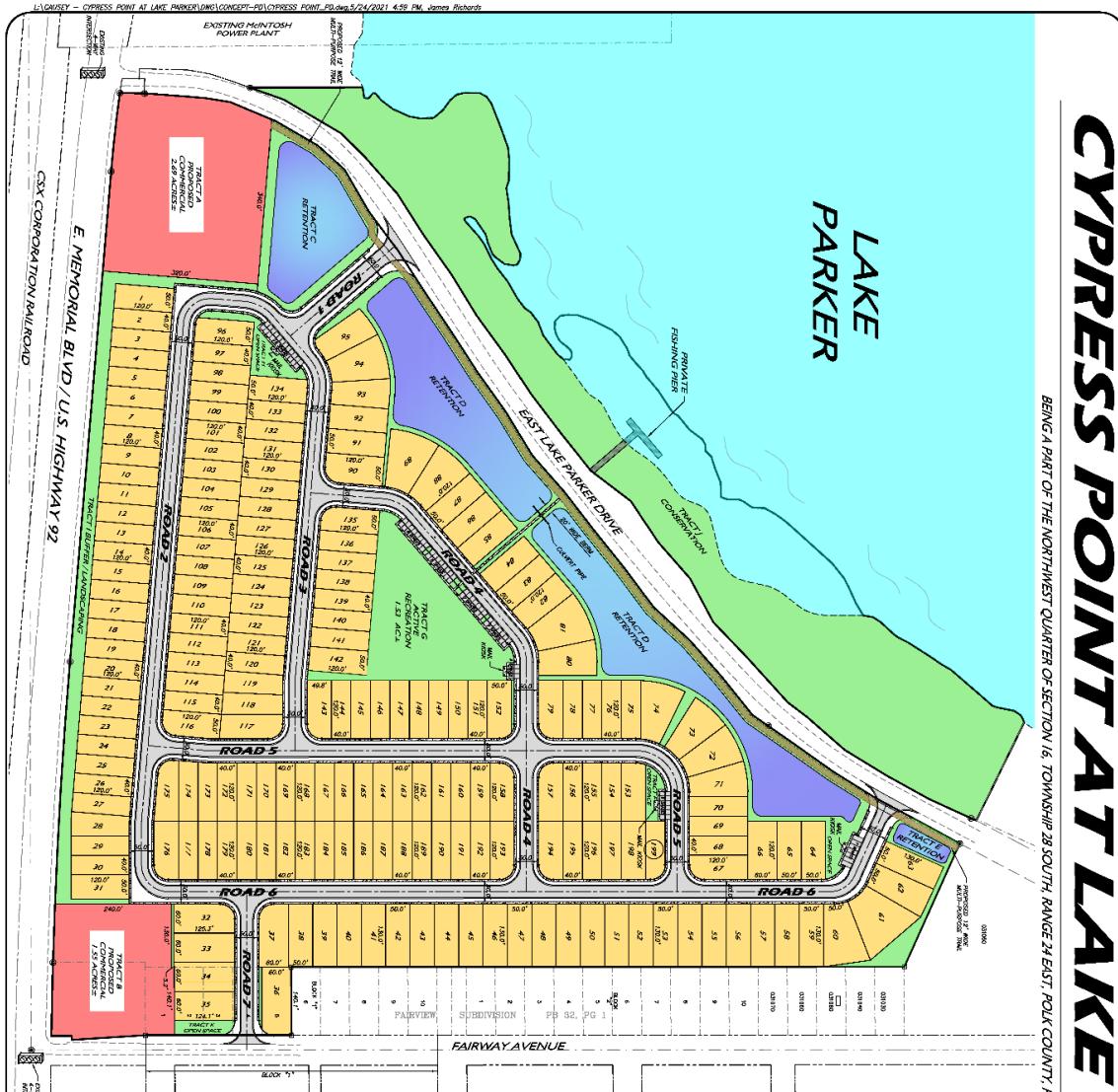
COMM SE COR OF SE1/4 OF NW1/4 OF SEC N0-01-29W 72.95 FT N89-02-56W 34.54 FT TO N  
R/W OF US HWY 92 NWLY ALONG CURVE 764.02 FT N85-12-16W 783.19 FT TO POB N85-12-  
16W 228.64 FT NWLY ALONG CURVE 132.28 FT N2-12-39E 122.34 FT NELY ALONG CURVE  
122.31 FT NELY ALONG COMPOUND CURVE 40.33 FT S85- 12-16E 341.46 FT S4-47-44W 77.16  
FT SELY ALONG CURVE 53.94 FT S49-42-55W 29.14 FT S4-47-44W 137.8 FT TO POB

ATTACHMENT "B"



# CYPRESS POINT AT LAKE PARKER

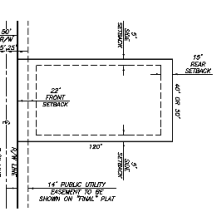
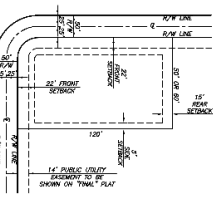
BEING A PART OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 28 SOUTH, RANGE 24 EAST, POLK COUNTY, FLORIDA



**NOTE:**  
A MINIMUM OF 25 FEET IS TO BE MAINTAINED FROM THE PROPERTY LINE TO THE PROPERTY LINE.

**OWNERS:**  
JOHN A. GILBERT/INVESTMENT TRUST  
3180 US HIGHWAY 92 E  
LAKELAND, FLORIDA 32809

**CONTACT:**  
JOHN C. MCMILLAN, JERRY GAGE  
ECON SOLUTIONS, LLC  
5075 W. UNIVERSITY AVENUE  
SUITE 1000 (LAKELAND, FLORIDA 32812)  
(850) 866-0544



**TYPICAL TRACT SUMMARY**

TRACT	DESCRIPTION	AREA (AC.)	REMARKS
1	TRACT C ACTIVE RECREATIONAL	1.33	1.33 AC.
2	TRACT D ACTIVE RECREATIONAL	1.33	1.33 AC.
3	TRACT E ACTIVE RECREATIONAL	1.33	1.33 AC.

**UTILITY PROVIDERS:**

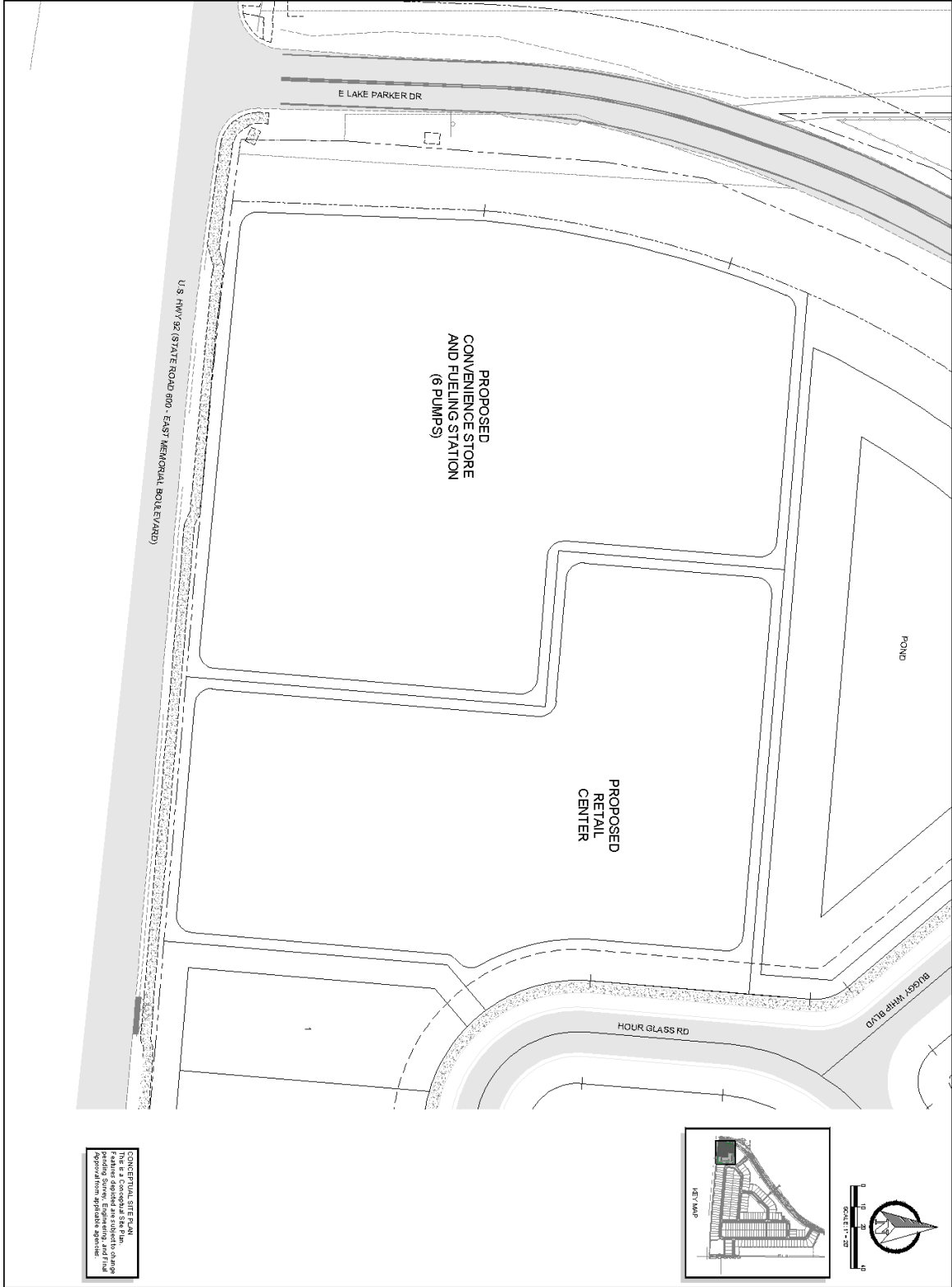
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- SEWER = CITY OF LAKELAND
- TELEPHONE = FRONTIER COMMUNICATIONS
- CABLE = FRONTIER COMMUNICATIONS
- ELECTRIC = LAKELAND ELECTRIC

**NOTE:** NOTES 1 THRU 21, INCLUSIVE, SHALL BE SINGLE STORY RESIDENCES ONLY.

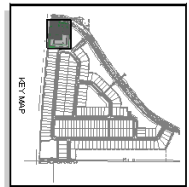
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 24-28-16-000000-03 TO 16  
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 24-28-16-000000-98 TO 16  
 24-28-16-000000-99 TO 16  
 24-28-16-000000-100 TO 16

# ATTACHMENT "D"



CONCEPTUAL SITE PLAN  
 This site plan is a conceptual plan and is not to be used for any regulatory or construction purposes. It is intended to provide a general overview of the proposed development and is subject to change without notice.



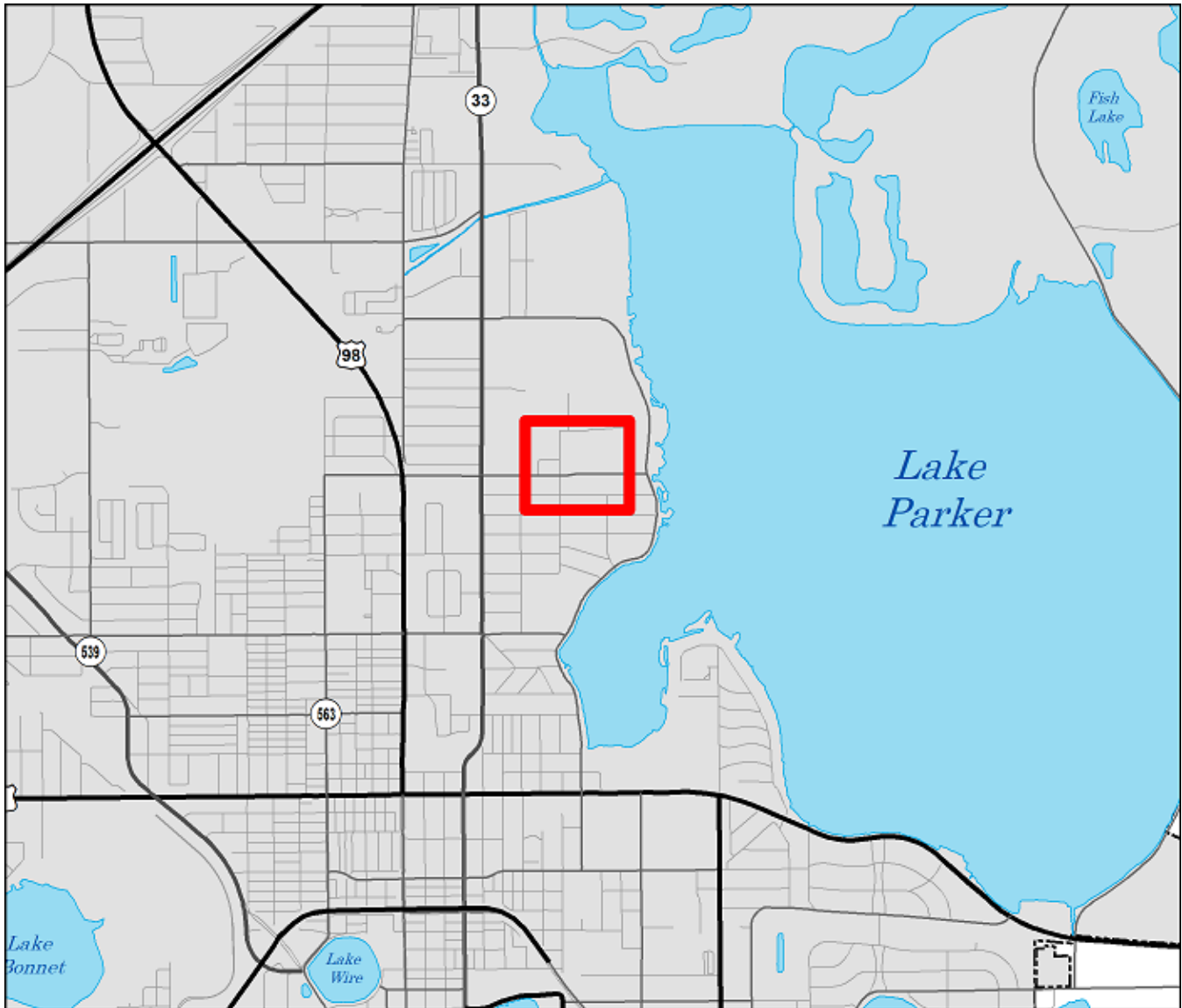
<p>CSP 1.0          CONCEPTUAL          SITE PLAN</p>	<p>NOT FOR CONSTRUCTION          FOR REVIEW ONLY</p>	<p><b>CYPRESS POINT PLAZA          OUTPARCEL A</b></p> <p>2150 US HIGHWAY 92 E          LAKELAND, FL 33801</p>	<p><b>GADD &amp; ASSOCIATES</b>          CIVIL ENGINEERING &amp; CONSULTING</p> <p>485 E COUNTY ROAD 54B          LAKELAND, FL 33803          PHONE (813) 948-9973          CELL (813) 948-9973          WWW.GADD.COM</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION								

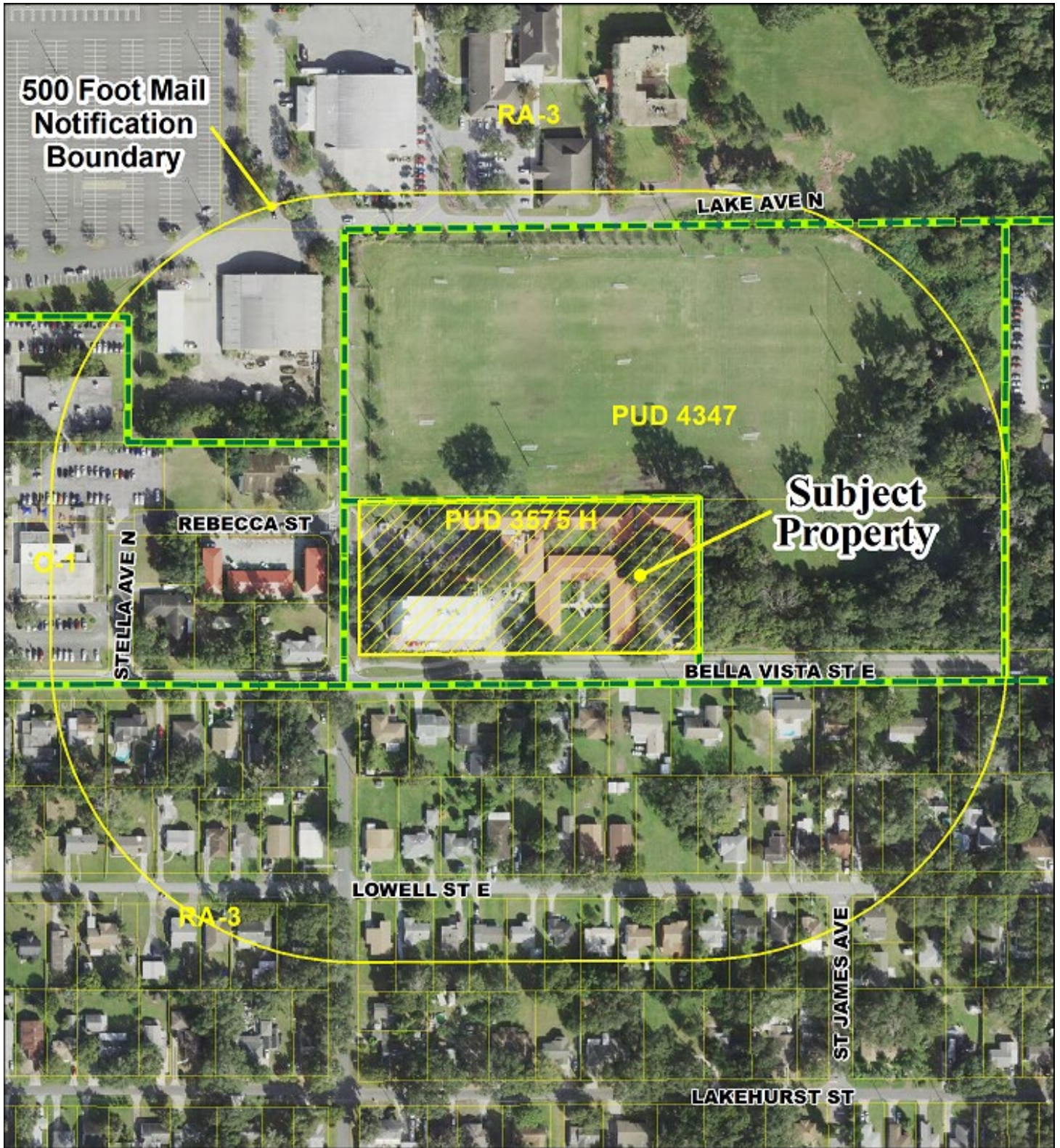


# Community & Economic Development Staff Recommendation

Date:	November 21, 2023	Reviewer:	Audrey McGuire
Project No:	PUD23-016	Location:	810 E Bella Street
Owner:	Mainstay Healthcare Bella Vista LLC		
Applicant:	Jason Alligood, Kimley-Horn and Associates, Inc.		
Current Zoning:	PUD (Planned Unit Development) 3575 H	Future Land Use:	Public Buildings Grounds/ Institutional (PI)
Context District:	Urban Neighborhood (UNH)		
P&Z Hearing:	October 17, 2023	P&Z Final Decision:	November 21, 2023
Request:	Major modification of PUD (Planned Unit Development) zoning to increase the maximum number of dwelling units from 125 to 146 to allow for the development of a new five-story multi-family building (senior independent living) on property located at 810 E. Bella Vista Street.		

## 1.0 Location Maps





## 2.0 Background

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### 2.1 Summary

Jason Alligood, Kimley-Horn and Associates, Inc., on behalf of Mainstay Healthcare Bella Vista, LLC, requests a major modification of PUD (Planned Unit Development) zoning to increase the maximum number of allowed dwelling units from 125 to 146 to allow for the development of a new five-story multi-family building (senior independent living) on property located at 810 E. Bella Vista Street. A map of the subject property is included as Exhibit “B.”

### 2.2 Subject Property

The subject property is approximately 3.16 acres in area and zoned PUD (Planned Unit Development) as specified by Attachment “H” of Ordinance 3575. The subject property is located within the UNH (Urban Neighborhood) context district, the Midtown Community Redevelopment Area (CRA), and has a Future Land Use classification of PI (Public Buildings, Grounds and Institutional). The subject property, which is generally located at the northeast corner of E. Bella Vista Street and N. Lake Avenue, is currently developed as a senior independent living complex (Osprey Manor) with a total of 96 dwelling units. The current PUD zoning allows for multi-family residential uses along with customarily associated accessory uses and a maximum of 125 dwelling units.

### 2.3 Project Background

The purpose of the request is to increase the maximum number of dwelling units from 125 to 146 to allow for the construction of a new five-story multi-family residential building on the subject property. A site development plan which shows the proposed building footprint, off-street parking improvements, and internal driveways is included as Exhibit “C.” Architectural elevations for the new building are included as Exhibits “D-1” and “D-2.”

### 2.4 Existing Uses of Adjacent Properties

Boundary	Existing Land Use	FLUM	Zoning	Context
North	Tigertown Sports Complex	PI	PUD 4347	UNH
South	Single-Family Residential	RM	RA-3	UNH
East	Multi-Family Residential	PI	PUD 4347	UNH
West	Multi-Family Residential	PI	O-1	UCO

### 2.5 Attachments

- Exhibit A: Legal Description
- Exhibit B: Location Map
- Exhibit C: Site Development Plan
- Exhibits D-1 and D-2: Architectural Elevations



## 3.0 Discussion

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The subject property was originally developed between 1971 and 1974 by the American Baptist Senior Citizens Foundation, Inc. as a 22-unit multi-family apartment complex for senior citizens. The PUD zoning designation was adopted in 1994 as part of a broader zoning conformance action for multiple properties within the State Road 33/Lakeland Hills Boulevard area. Osprey Manor provides independent living accommodations for senior citizens. Unlike group homes, congregate living facilities, and assisted living facilities, independent living facilities do not provide personal care, medical services or supervision and residents live relatively active, independent lives.

The subject property has a Future Land Use classification of PI (Public Buildings, Grounds and Institutional) and is located within one-quarter of a mile of Lakeland Hills Boulevard which is designated as a Transit-Oriented Corridor (TOC) in the City's Comprehensive Plan. The PI Future Land Use classification is generally intended for a variety of public and private institutional uses. TOCs are intended for a wide variety of uses, including medium to high density residential. The nearest transit stop on Lakeland Hills Boulevard is approximately 1,500 feet from the subject property using the shortest pedestrian travel route. The area surrounding Osprey Manor consists of a mix of medium to high density multi-family, single-family residential, medical office uses, and the Tigertown sports complex. The proposed increase in number of allowed units and subsequent expansion of Osprey Manor supports the goals of the TOC by facilitating an increased mix of residential uses in a relatively compact area with accessibility to nearby services.

The current PUD requires a minimum of 63 parking spaces to support the development of 125 dwelling units. Table 4.11-1 of the Land Development Code specifies a minimum parking requirement of 0.5 spaces per dwelling unit for multi-family residential uses for the elderly. To support the increase in the maximum number of dwelling units from 125 to 146, a minimum of 73 off-street parking spaces will be required. As shown on the site plan, the additional parking will be provided on the first floor of the proposed five-story building and improvements will be required for existing parking areas to ensure the minimum parking ratios can be met.

The proposed height of the five-story building expansion (approximately 51 feet) complies with the development standards for multi-family residential uses specified by Table 3.4-1 of the Land Development Code, which allows a maximum height of 55 feet for multi-family projects located outside of historic districts. The building will be located on the northwest side of the property and will be connected via a pedestrian walkway to the existing five-story building. Visual impacts from E. Bella Vista Street will be minimized as the new building will be located behind the existing five-story apartment building located in the southwest corner of the site. To the north, the property is well buffered by playfields associated with the Tigertown sports complex. The adjacent parcel to the east is zoned for similar multi-family residential uses with the same five-story height limit.

### 3.1 Transportation and Concurrency

Based on information provided in the Polk Transportation Planning Organization's Roadway Network Database, dated October 13, 2023, the adjacent segment of Bella Vista Street between Dr. Martin Luther King Avenue and W. Lake Parker Drive is operating at an acceptable level of service. The 88-unit Parker Pointe apartment community is currently under construction immediately east of the subject property and is expected to be completed in 2023.

The site is located within the Central City Transit Supportive Area, approximately 1,500 feet east of the Lakeland Hills Boulevard Transit Oriented Corridor as designated in the Comprehensive Plan. The Lakeland Area Mass Transit District (Citrus Connection) provides fixed-route transit service along

Lakeland Hills Boulevard via its Pink Line, with 30-minute frequencies during much of the day to provide enhanced access to medical, retail and recreational destinations. The subject property directly fronts on the Bella Vista Trail, a component of the City's Lake-to-Lake Bikeway/Greenway Network that connects the West Lake Parker Trail with Simpson Park Recreation Complex.

Using data published in the Institute of Transportation Engineers (ITE) Trip Generation Manual (11th Edition), the 21 additional Senior Adult Housing – Multifamily units (Land Use Code 252) are estimated to generate approximately 86 Daily, 5 A.M. Peak Hour (of Adjacent Street Traffic, 7-9 A.M.) and 5 P.M. Peak Hour (of Adjacent Street Traffic, 4-6 P.M.) trips. Binding concurrency determinations will be made the time of site plan submittal.

### **3.2 Comprehensive Plan Compliance**

The Community and Economic Development Department reviewed this request for compliance with the Lakeland Comprehensive Plan: Our Community 2030 and it is our opinion that the request as conditioned is consistent with the Comprehensive Plan.

## **4.0 Recommendation**

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### **4.1 Community and Economic Development Staff**

The Community and Economic Development Department reviewed this request and recommends approval of the major modification to PUD zoning to increase the maximum number of dwelling units from 125 to 146 to allow for the development of a new five-story multi-family residential building for independent senior living. Letters of notification were sent to fifty (50) property owners within 500 feet of the subject property.

### **4.2 The Planning & Zoning Board**

It is recommended that the request for a major modification of PUD zoning, as described above and in Exhibits "A," "B," "C," "D-1" and "D-2," be approved, subject to the following amended conditions:

*Attachment "H" of Ordinance 3575, as amended.*

- A. Land Use Intensity: PUD-49
- B. Permitted Uses: Multi-family residential for the elderly along with customarily associated accessory uses.
- C. Maximum Number of Living Units: ~~One hundred twenty five (125)~~ One hundred forty-six (146)
- D. Minimum Number of Off-Street Parking Spaces: ~~Sixty three (63)~~ Seventy-three, or 0.5 spaces per one (1) dwelling unit, whichever is less.
- E. Prior to occupancy of any of the converted units, the off-street parking areas will be improved to meet current parking setback requirements from public rights-of-way and the landscaping requires for off-street parking lots.
- F. The site shall be developed in accordance with the site development plan included as Exhibit "C." With the approval of the Director of Community and Economic Development, minor changes may be made at the time of site plan review without requiring a modification to the PUD.

G. Transportation:

1. Binding Concurrency Determinations shall be made at the time of site plan submittal.
2. An ADA-compliant pedestrian network shall connect each principal building on the project site.
3. Given the site's proximity to the Bella Vista Trail, the building and/or site design shall accommodate bicycle parking for residents.

EXHIBIT "A"

THE SOUTH 300 FEET OF THE WEST 576.44 FEET OF THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 6, TOWNSHIP 28 SOUTH, RANGE 24 EAST, POLK COUNTY, FLORIDA, LESS THE WEST 25 FEET THEREOF FOR LAKE AVENUE AND ALSO LESS THE SOUTH 50.0 FEET THEREOF FOR BELLA VISTA DRIVE. BEING PART OF THE EDGEMERE SUBDIVISION, WHICH WAS VACATED ON CLERK'S FILE NUMBER 982086, DATED NOVEMBER 8, 1960 AND FILED NOVEMBER 14, 1960.

EXHIBIT "B"

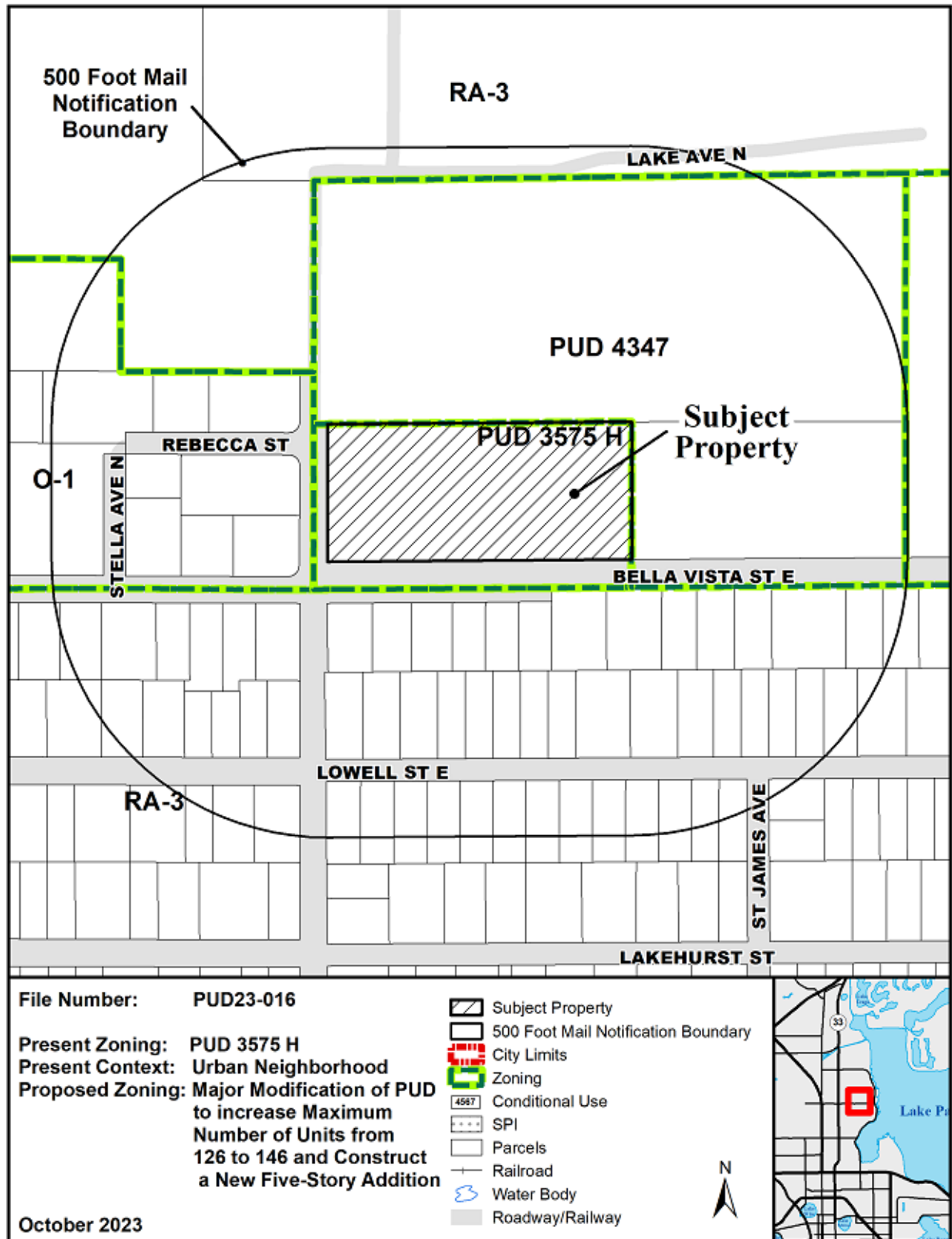
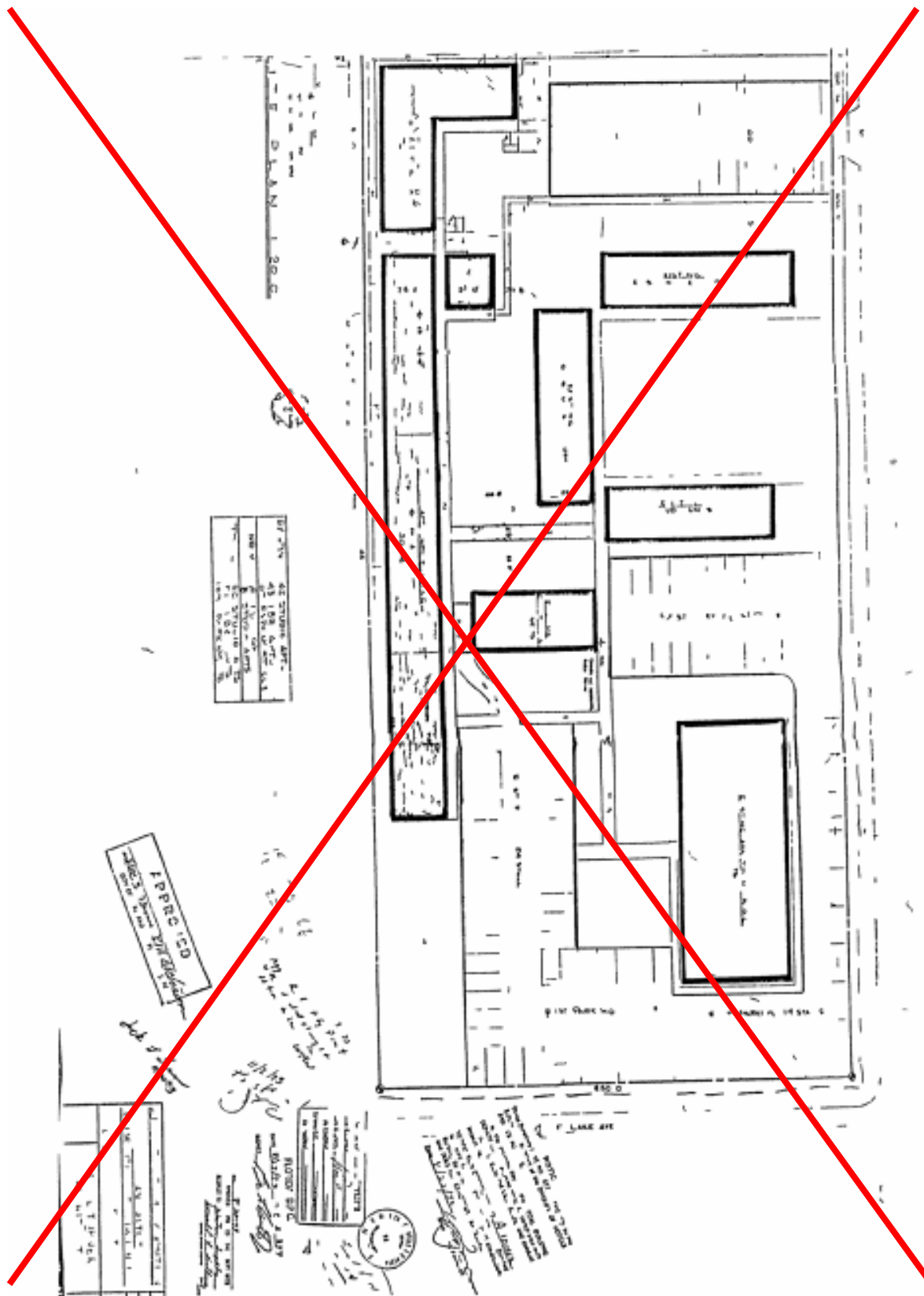


EXHIBIT "C"



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2	43 1/2\"	43	1.00	43.00
3	44 1/2\"	44	1.00	44.00
4	45 1/2\"	45	1.00	45.00
5	46 1/2\"	46	1.00	46.00
6	47 1/2\"	47	1.00	47.00
7	48 1/2\"	48	1.00	48.00
8	49 1/2\"	49	1.00	49.00
9	50 1/2\"	50	1.00	50.00
10	51 1/2\"	51	1.00	51.00
11	52 1/2\"	52	1.00	52.00
12	53 1/2\"	53	1.00	53.00
13	54 1/2\"	54	1.00	54.00
14	55 1/2\"	55	1.00	55.00
15	56 1/2\"	56	1.00	56.00
16	57 1/2\"	57	1.00	57.00
17	58 1/2\"	58	1.00	58.00
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19	60 1/2\"	60	1.00	60.00
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33	74 1/2\"	74	1.00	74.00
34	75 1/2\"	75	1.00	75.00
35	76 1/2\"	76	1.00	76.00
36	77 1/2\"	77	1.00	77.00
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42	83 1/2\"	83	1.00	83.00
43	84 1/2\"	84	1.00	84.00
44	85 1/2\"	85	1.00	85.00
45	86 1/2\"	86	1.00	86.00
46	87 1/2\"	87	1.00	87.00
47	88 1/2\"	88	1.00	88.00
48	89 1/2\"	89	1.00	89.00
49	90 1/2\"	90	1.00	90.00
50	91 1/2\"	91	1.00	91.00
51	92 1/2\"	92	1.00	92.00
52	93 1/2\"	93	1.00	93.00
53	94 1/2\"	94	1.00	94.00
54	95 1/2\"	95	1.00	95.00
55	96 1/2\"	96	1.00	96.00
56	97 1/2\"	97	1.00	97.00
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58	99 1/2\"	99	1.00	99.00
59	100 1/2\"	100	1.00	100.00

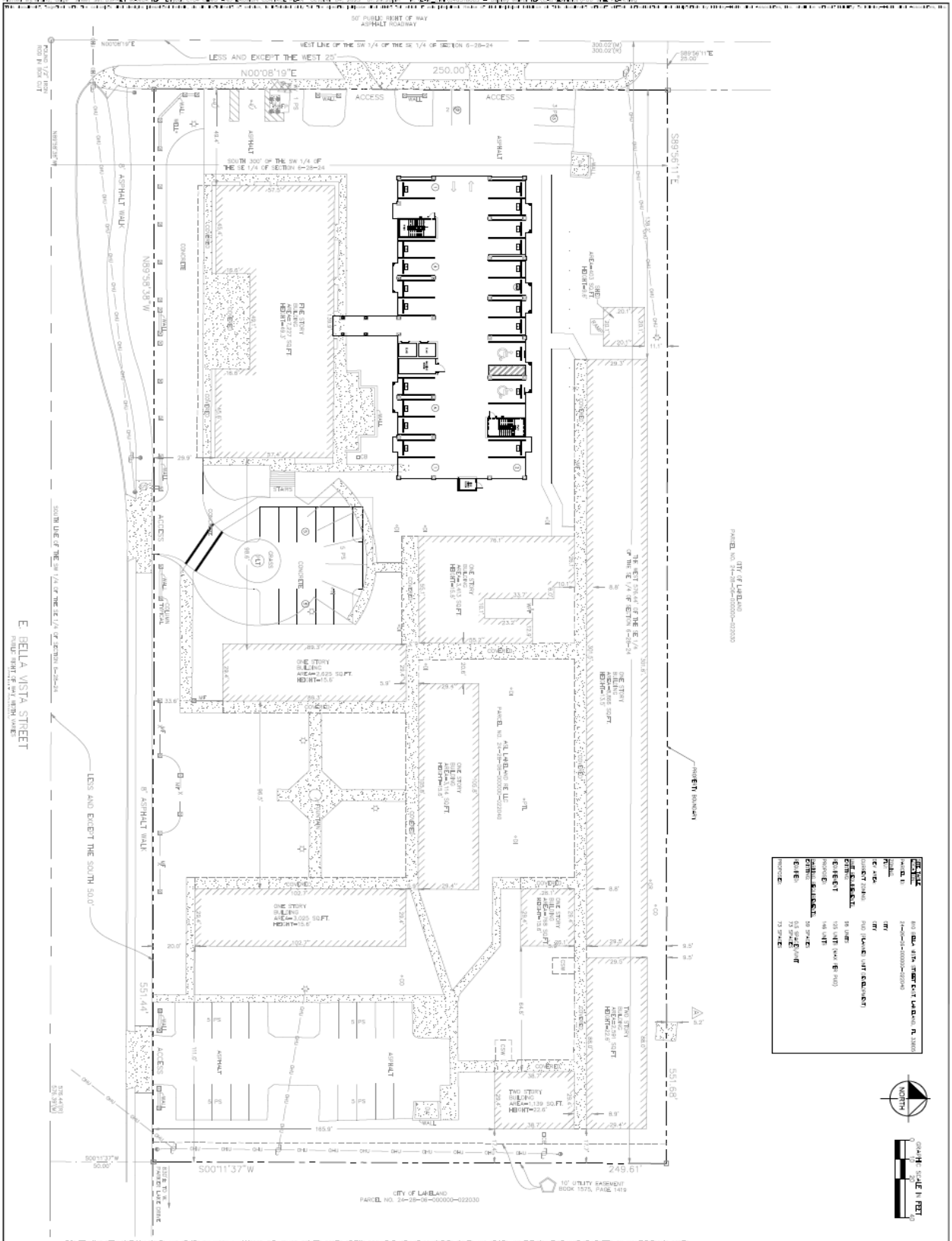
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DATE: 10/1/50  
BY: [Signature]

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3	44 1/2\"	44	1.00	44.00
4	45 1/2\"	45	1.00	45.00
5	46 1/2\"	46	1.00	46.00
6	47 1/2\"	47	1.00	47.00
7	48 1/2\"	48	1.00	48.00
8	49 1/2\"	49	1.00	49.00
9	50 1/2\"	50	1.00	50.00
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14	55 1/2\"	55	1.00	55.00
15	56 1/2\"	56	1.00	56.00
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25	66 1/2\"	66	1.00	66.00
26	67 1/2\"	67	1.00	67.00
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28	69 1/2\"	69	1.00	69.00
29	70 1/2\"	70	1.00	70.00
30	71 1/2\"	71	1.00	71.00
31	72 1/2\"	72	1.00	72.00
32	73 1/2\"	73	1.00	73.00
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35	76 1/2\"	76	1.00	76.00
36	77 1/2\"	77	1.00	77.00
37	78 1/2\"	78	1.00	78.00
38	79 1/2\"	79	1.00	79.00
39	80 1/2\"	80	1.00	80.00
40	81 1/2\"	81	1.00	81.00
41	82 1/2\"	82	1.00	82.00
42	83 1/2\"	83	1.00	83.00
43	84 1/2\"	84	1.00	84.00
44	85 1/2\"	85	1.00	85.00
45	86 1/2\"	86	1.00	86.00
46	87 1/2\"	87	1.00	87.00
47	88 1/2\"	88	1.00	88.00
48	89 1/2\"	89	1.00	89.00
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50	91 1/2\"	91	1.00	91.00
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56	97 1/2\"	97	1.00	97.00
57	98 1/2\"	98	1.00	98.00
58	99 1/2\"	99	1.00	99.00
59	100 1/2\"	100	1.00	100.00

FLOOR PLAN  
DATE: 10/1/50  
BY: [Signature]

APPROXIMATE  
FLOOR PLAN  
DATE: 10/1/50  
BY: [Signature]

# EXHIBIT "C"



<b>PROJECT</b>	OSPREY MANOR ILF
<b>CLIENT</b>	GARRARD BUILDING CONTRACTORS, LLC
<b>DATE</b>	08/11/2016
<b>SCALE</b>	AS SHOWN
<b>DESIGNER</b>	KIMLEY-HORN AND PARTNERS, P.A.
<b>PROJECT NO.</b>	15000000000000000000
<b>DRAWING NO.</b>	01
<b>DATE</b>	08/11/2016
<b>BY</b>	W. HORN
<b>CHECKED</b>	J. HORN
<b>DATE</b>	08/11/2016
<b>SCALE</b>	AS SHOWN
<b>PROJECT</b>	OSPREY MANOR ILF
<b>CLIENT</b>	GARRARD BUILDING CONTRACTORS, LLC
<b>DATE</b>	08/11/2016
<b>SCALE</b>	AS SHOWN
<b>DESIGNER</b>	KIMLEY-HORN AND PARTNERS, P.A.
<b>PROJECT NO.</b>	15000000000000000000
<b>DRAWING NO.</b>	01
<b>DATE</b>	08/11/2016
<b>BY</b>	W. HORN
<b>CHECKED</b>	J. HORN
<b>DATE</b>	08/11/2016
<b>SCALE</b>	AS SHOWN



<b>OSPREY MANOR ILF</b> PREPARED FOR <b>GARRARD BUILDING CONTRACTORS, LLC</b> CITY OF LABELAND	<b>SITE PLAN</b>		<b>Kimley-Horn</b> 100 SOUTH HIGHLAND AVENUE, SUITE 200 LABELAND, FLORIDA 32040 WWW.KIMLEY-HORN.COM TEL: 904.301.1000	SHEET NO. 6 <b>C200</b>	CITY OF LABELAND
				DATE	BY

EXHIBIT "D-1"



1 WEST ELEVATION  
1/8" = 1'-0"



2 NORTH ELEVATION  
1/8" = 1'-0"

**GENERAL EXPLANATIONS**

1. CONSULT WITH ARCHITECT FOR MATERIALS AND FINISHES.
2. CONSULT WITH ARCHITECT FOR MATERIALS AND FINISHES.
3. CONSULT WITH ARCHITECT FOR MATERIALS AND FINISHES.
4. ALL OTHERS SHALL BE AS SHOWN ON THE DRAWINGS.
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8. ALL OTHERS SHALL BE AS SHOWN ON THE DRAWINGS.
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10. ALL OTHERS SHALL BE AS SHOWN ON THE DRAWINGS.
11. ALL OTHERS SHALL BE AS SHOWN ON THE DRAWINGS.
12. ALL OTHERS SHALL BE AS SHOWN ON THE DRAWINGS.
13. ALL OTHERS SHALL BE AS SHOWN ON THE DRAWINGS.

**EXTERIOR MATERIAL LEGEND**

NO.	DESCRIPTION
1	CONCRETE
2	BRICK
3	STUCCO
4	GLASS
5	WOOD
6	ROOFING
7	PAINT
8	MECHANICAL
9	ELECTRICAL
10	PLUMBING
11	HEATING
12	Cooling
13	Other

**OSPREY MANOR**  
810 EAST BELLA VISTA STREET,  
LAKELAND, FL 33805

**EXTERIOR ELEVATION**

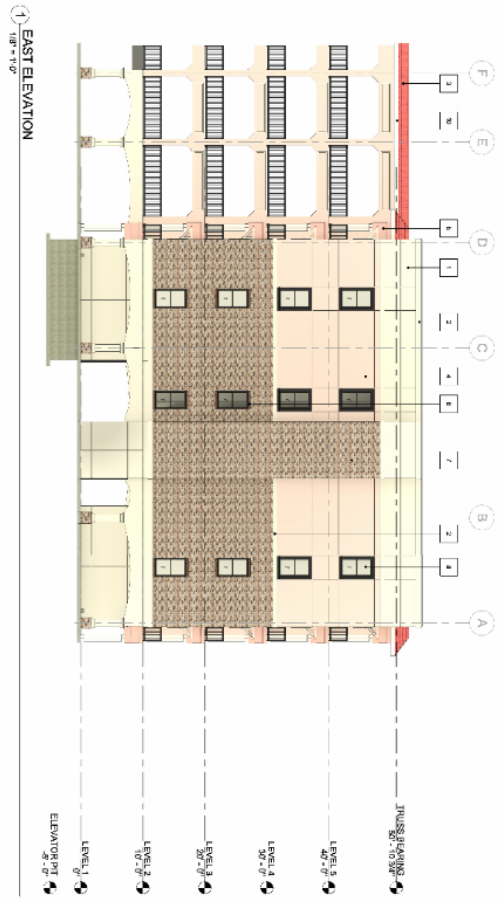
DATE: 11/11/2014  
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CHECKED BY: [Name]  
SCALE: AS SHOWN  
PROJECT NO: [Number]  
LUNZ.COM

22156.01  
A-200

**THE LUNZ GROUP**  
Architecture | Interior Design



EXHIBIT "D-2"

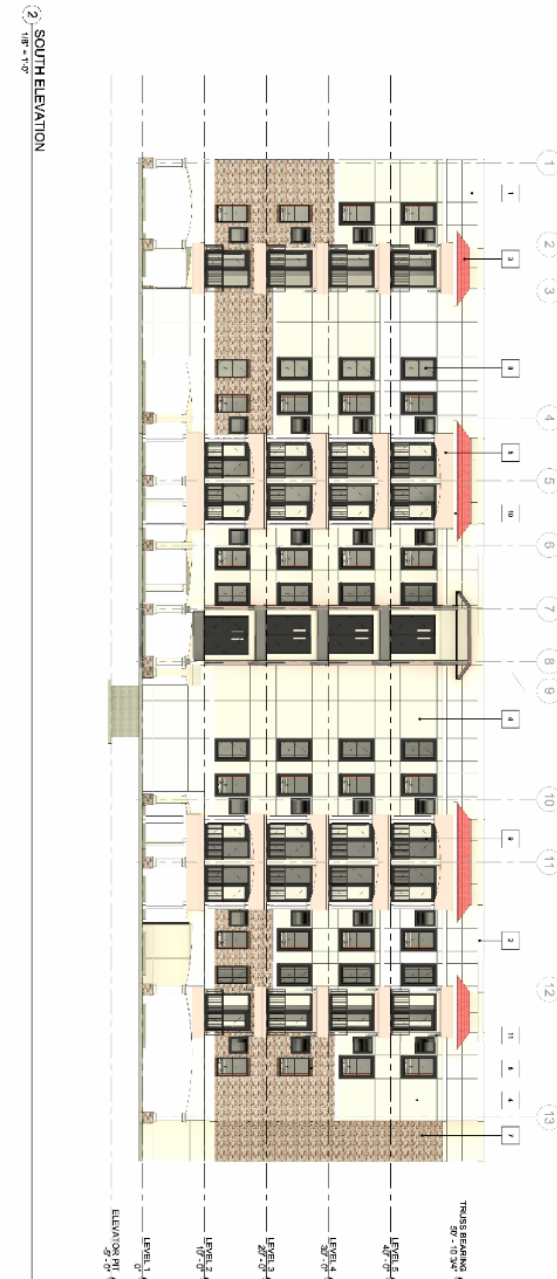


**GENERAL ELEVATION NOTES**

1. ELEVATION SHALL BE SHOWN WITH FINISHES AND MATERIALS AS NOTED.
2. FINISHES AND MATERIALS SHALL BE SHOWN WITH FINISHES AND MATERIALS AS NOTED.
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13. FINISHES AND MATERIALS SHALL BE SHOWN WITH FINISHES AND MATERIALS AS NOTED.

**ELEVATION MATERIAL LEGEND**

NO.	DESCRIPTION	FINISH
1	CONCRETE	CONCRETE
2	BRICK	BRICK
3	GLAZED ALUMINUM	GLAZED ALUMINUM
4	WOOD	WOOD
5	STAINLESS STEEL	STAINLESS STEEL
6	GLASS	GLASS
7	PAINT	PAINT
8	ROOFING	ROOFING
9	LANDSCAPE	LANDSCAPE
10	MECHANICAL	MECHANICAL
11	ELECTRICAL	ELECTRICAL
12	PLUMBING	PLUMBING
13	MECHANICAL	MECHANICAL



**ELEVATION MATERIAL LEGEND**

NO.	DESCRIPTION	FINISH
1	CONCRETE	CONCRETE
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11	ELECTRICAL	ELECTRICAL
12	PLUMBING	PLUMBING
13	MECHANICAL	MECHANICAL

22156.01  
A-201

**OSPREY MANOR**  
810 EAST BELLA VISTA STREET,  
LAKELAND, FL 33805

**EXTERIOR ELEVATION**

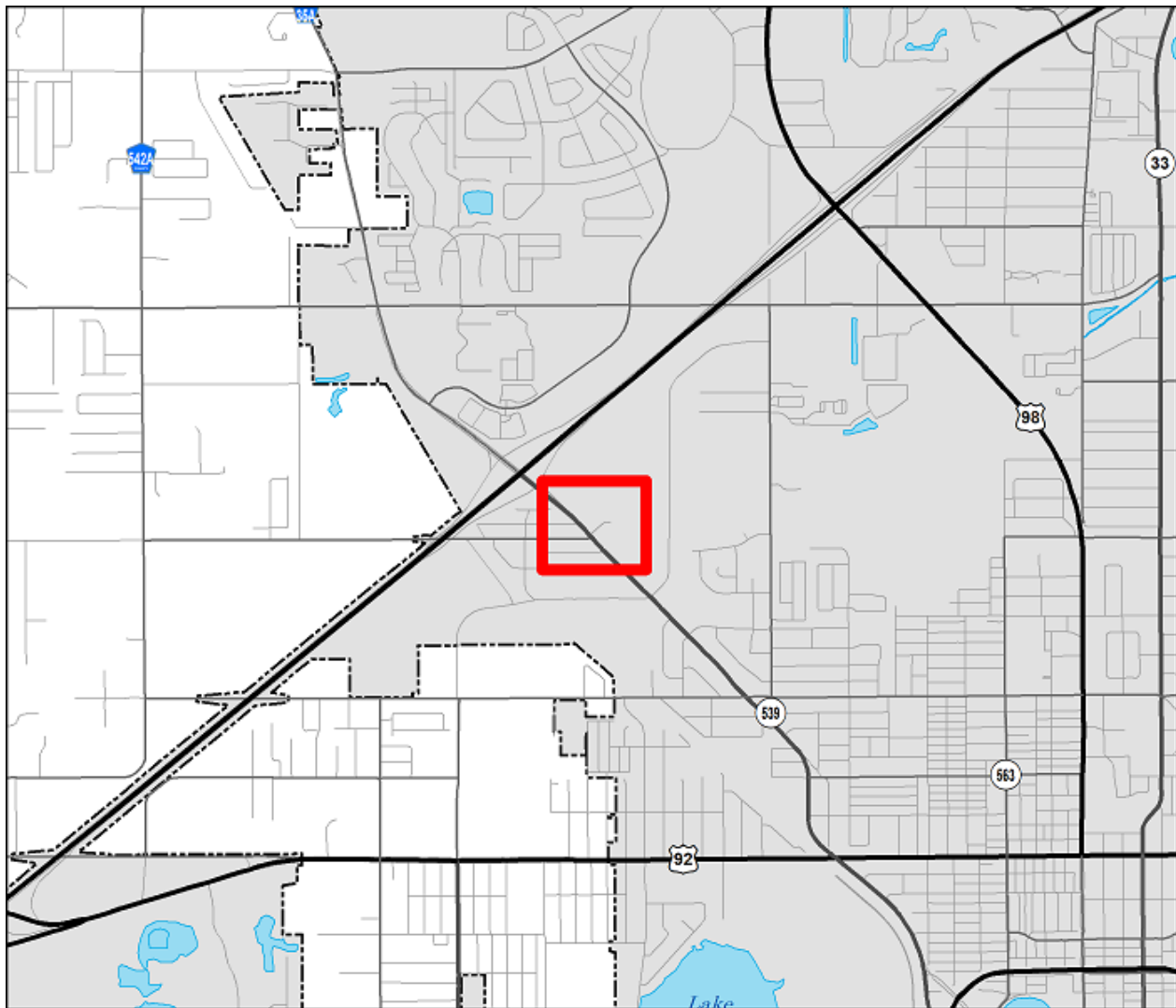
**THE LUNZ GROUP**  
Architecture | Interior Design

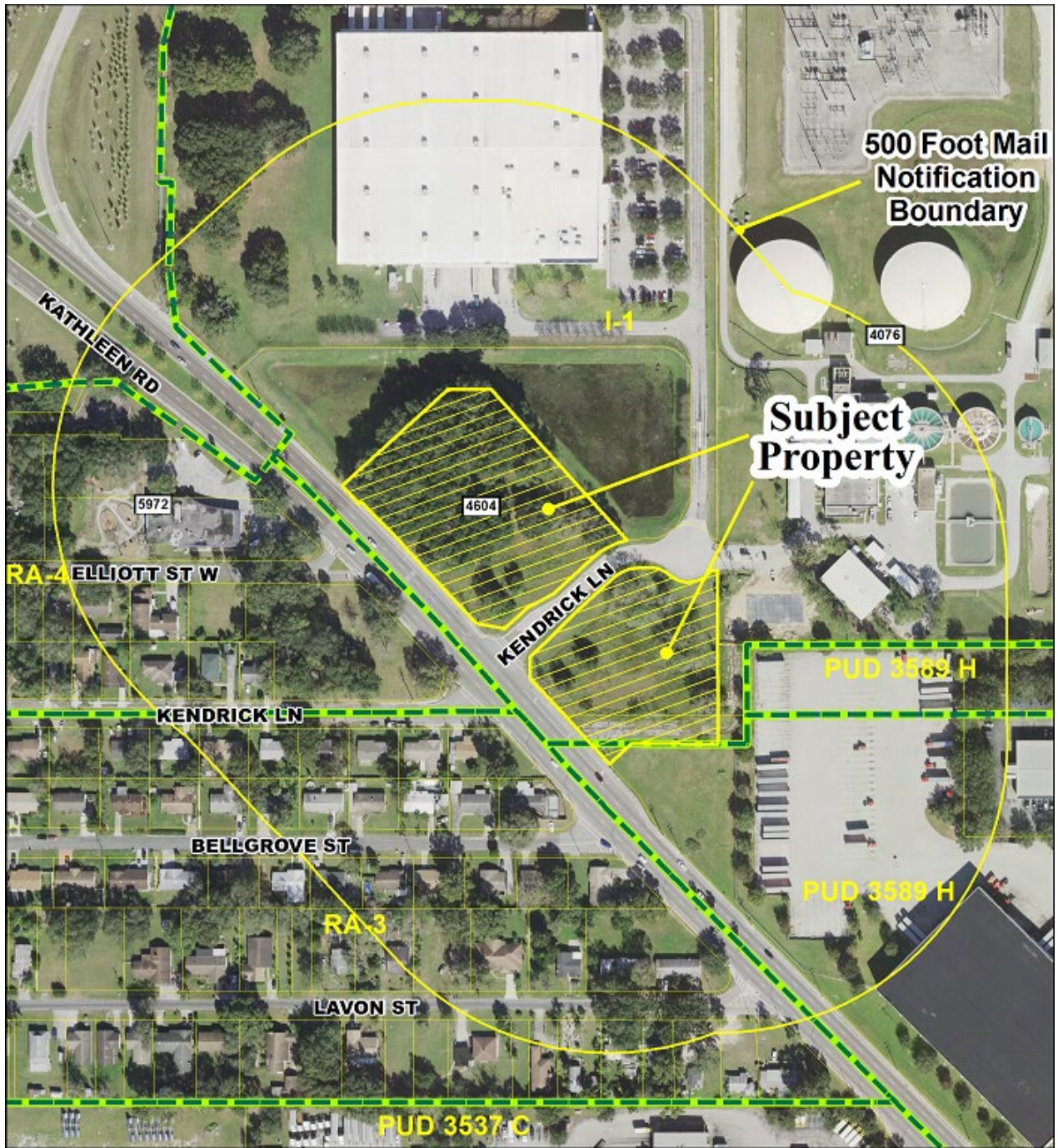


# Community & Economic Development Staff Recommendation

Date:	November 21, 2023	Reviewer:	Todd Vargo
Project No:	PUD23-019	Location:	1530 and 1543 Kendrick Lane
Owner:	G4L Lakeland One, LLC		
Applicant:	Timothy Campbell, Clark, Campbell, Lancaster, Workman & Airth, P.A.		
Current Zoning:	I-1 (Light Industrial— Limited Commercial)	Future Land Use:	Interchange Activity Center (IAC)
Context District:	Urban Special Purpose (USP)		
P&Z Hearing:	October 17, 2023	P&Z Final Decision:	November 21, 2023
Request:	A change in zoning from I-1 (Light Industrial-Limited Commercial) to PUD (Planned Unit Development) to allow for the development of a zero-lot-line subdivision for I-1 warehouse, office and flex space uses on property located at 1530 and 1543 Kendrick Lane.		

## 1.0 Location Maps





## 2.0 Background

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### 2.1 Summary

Timothy Campbell, Clark, Campbell, Lancaster, Workman & Airth, P.A., requests application of PUD (Planned Unit Development) zoning to allow for the development of a zero-lot-line subdivision I-1 warehouse, office and flex space uses on property located at 1543 and 1530 Kendrick Lane. A map of the subject property is included as Attachment “B.”

### 2.2 Subject Property

The subject property, approximately 4.36 acres in total area, consists of two parcels located on the east side of Kathleen Road, north and south of Kendrick Lane. The subject property is currently vacant. The subject property has a future land use designation of Interchange Activity Center (IAC) and is zoned I-1 (Light Industrial/Limited Commercial). In 2004, a conditional use (Ordinance 4604) was approved by the City Commission to allow for the development of a convenience store with motor vehicle fuel sales on a 2.52-acre parcel north of Kendrick Lane. Plans for the convenience store did not reach fruition and the property remains vacant and undeveloped.

### 2.3 Project Background

The purpose of this request is to rezone the property to allow for the development of a zero-lot-line subdivision with a total of 70,000 sq. ft. of I-1 warehouse, office and flex spaces uses. A site development plan which shows the proposed building footprints, off-street parking, internal driveways, and storm water retention is included as Attachments “C-1” and “C-2.” Architectural elevations for the proposed project are included as Attachment “D.”

### 2.4 Existing Uses of Adjacent Properties

Boundary	Existing Land Use	FLUM	Zoning	Context
North	Light Industrial/Warehousing	IAC	I-1	USP
South	Light Industrial/Single-Family Residential	BP/RM	I-1/RA-4/RA-3	USP/UNH
East	Potable Water Facility	BP	I-1	USP
West	Single-Family Residential	RM	RA-4	UNH

### 2.5 Attachments

Attachment “A”: Legal Description

Attachment “B”: Location Map

Attachment C-1: Site Development Plan Lot 1

Attachment C-2: Site Development Plan Lot 2

Attachment D: Architectural Elevations

## 3.0 Discussion

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The requested PUD zoning is necessary to allow for the development of attached warehouse, office, and flex space uses as fee simple units which can be bought and sold individually. Lot 1, located north of Kendrick Lane, will contain a total of 40,000 square feet of floor area divided across three attached units. Lot 2, located south of Kendrick Lane, will contain a total floor area of 30,000 square feet divided across four attached units. Individual owners will own the land beneath each unit, while ownership and maintenance of the shared vehicle use areas and landscaped common areas will remain the responsibility of a property owners association.

Primary access to both parcels will be from Kathleen Road via Kendrick Lane. Buildings will be oriented such that the parking and vehicle loading areas are located to the side and rear. Buildings will be designed to meet the architectural materials, façade variation and transparency requirements specified within Section 3.4.7 of the Land Development Code.

Under the proposed PUD, use of the property will be limited to I-1 warehouse, office and flex-space uses. Examples of flex-spaces uses include Level I industrial-type-service uses and light manufacturing uses, as well as repair services oriented towards the general public, such as consumer electronics, appliances, tools, jewelry, sports equipment, apparel and other durable consumer goods. The proposed uses are consistent with those allowed by right under the current I-1 zoning classification and compatible with existing industrial uses located to the north and east. The proposed warehouse, office and flex space uses will generate less traffic and will be less impactful than the convenience store with motor vehicle fuels sales which was approved through a conditional use in 2004. The project is designed such that buildings are oriented to face towards Kathleen Road with parking and loading areas to the side and the rear. This layout provides a design that is aesthetically pleasing consistent with the USP context sub-district while buffering the vehicle use and loading areas from the residential uses located on the west side of Kathleen Road.

### 3.1 Transportation and Concurrency

The subject property is located within the Central City Transit Supportive Area as designated in the Comprehensive Plan. According to the Polk Transportation Planning Organization's 2023 Roadway Network Database (published on October 13, 2023), State Road 539/Kathleen Road between State Road 563/Dr. Martin Luther King Jr. Avenue and Interstate 4 has an Annual Average Daily Traffic Volume of 30,500 vehicles with two-hour average P.M. Peak Hour directional volumes of 1,108 northbound and 1,065 southbound vehicles. Kathleen Road is operating at an acceptable level-of-service (LOS) "C".

Kathleen Road is a designated Transit Oriented Corridor and is provided with fixed-route transit service via the Lakeland Area Mass Transit District's (Citrus Connection's) Blue Line 1, connecting the Downtown Terminal with the Gow B. Fields Park & Ride facility. Sidewalks exist on both sides of Kathleen Road from W. 2<sup>nd</sup> Street to Interstate 4.

For the purposes of estimating the trips that would be generated by this specific development proposal, City staff considered two potential use categories to establish a trip generation range. Using average rates published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual* (11<sup>th</sup> Edition) for Land Use Codes 180 (Specialty Trade Contractor) and 770 (Business Park), 70,000 square feet of building area is estimated to generate between 687 and 871 Daily Trips, respectively. For the Peak Hour of Adjacent Street Traffic (7 AM - 9 AM), the trip generation is expected to range between 95 trips for the Business Park category and 116 trips for the Specialty Trade Contractor

category. During the Peak Hour of Adjacent Street Traffic (4 PM – 6 PM), the Business Park category is estimated to generate 85 trips while the Specialty Trade Contractor category is expected to generate 135 trips. In addition to the multi-modal transportation concurrency review, City and Florida Department of Transportation staff will review the crash history at the Kathleen Road/Kendrick Lane intersection and any countermeasures that may be required as part of the site permitting process.

### **3.2 Comprehensive Plan Compliance**

The Community and Economic Development Department and the Planning & Zoning Board reviewed this request for compliance with Lakeland Comprehensive Plan: Our Community 2030 and it is our opinion that the request as conditioned is consistent with the Comprehensive Plan. All roadway levels of service are acceptable. Other essential services are presently available to provide concurrency for the proposed use. Actual construction is subject to final concurrency determinations at the time of site plan review.

## **4.0 Recommendation**

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### **4.1 Community and Economic Development Staff**

The Community Development Department reviewed this request and recommends approval of the change in zoning from I-1 to PUD. Letters of notification were mailed to fifty (50) property owners within 500 feet of the subject property.

### **4.2 The Planning & Zoning Board**

It is recommended that the request for an application of PUD zoning, as described above and in Attachments "A," "B," "C-1," "C-2," and "D," be approved, subject to the following amended conditions:

A. Permitted Uses:

Office

Office Uses, Non-Medical  
Office-Type R & D

Industrial-Type Service Uses

Catering Establishments  
Industrial-type Service Establishments, Level I (except towing services)  
Pest Control Services

Industrial Uses

Industrial Uses, Level I

Warehousing & Wholesale Trade Uses

Warehousing & Motor Freight Transportation Uses, Level I  
Wholesale Trade Uses, Level I

Infrastructure & Transportation

Communication Studios  
Utility & Essential Service Facilities, Level I

Personal Services Uses

## Repair-Oriented Services

- B. Maximum Intensity of Use: 70,000 sq. ft. gross floor area
- C. Development of the property shall be in accordance with the site development plan, Attachments “C-1” and “C-2” and the architectural elevations, Attachment “D.” With the approval of the Director of Community & Economic Development, minor changes may be made at the time of site plan and building permit review without requiring a modification to the PUD.
- D. Landscaping and Buffering: In accordance with Sub-Section 4.5 of the Land Development Code.
- E. Signage: In accordance with Sub-Section 4.9.4.5 of the Land Development Code.
- F. Transportation
  - 1. Binding Concurrency Determinations will be made at the time of site plan approval.
  - 2. Bicycle parking shall be provided in compliance with Section 4.11.6 of the Land Development Code and Index 900 of the City Engineering Standards Manual.
  - 3. An ADA-compliant pedestrian route shall be provided as shown on Attachments “C-1” and “C-2.”
  - 4. The development activity shall comply with all Florida Department of Transportation permitting requirements.
- G. Property Owner Association: All common areas, off-street parking and loading areas and stormwater retention facilities shall be owned and maintained by a POA or similar property maintenance entity.

ATTACHMENT "A"

**PARCEL 1 AND PARCEL 2 COMBINED LEGAL PER DEED IN O.R. 5433, PAGE 1230:**

A PARCEL OF LAND LYING IN THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 28 SOUTH, RANGE 23 EAST, POLK COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11; RUN NORTH 89°52'03" WEST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 266.42 FEET TO THE EAST RIGHT-OF-WAY LINE OF KATHLEEN ROAD (SR 35-A) AS RECORDED IN OFFICIAL RECORDS BOOK 5124, PAGES 1761 - 1768, PUBLIC RECORDS OF POLK COUNTY, FLORIDA; THENCE SOUTH 42°43'36" EAST ALONG SAID RIGHT OF WAY LINE, 68.21 FEET TO THE NORTH LINE OF LOT 24, LAKELAND INTERSTATE BUSINESS PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 81, PAGES 44 - 48, PUBLIC RECORDS OF POLK COUNTY, FLORIDA; THENCE CONTINUE SOUTH 42°43'36" EAST ALONG SAID RIGHT OF WAY LINE, 47.52 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE, NORTH 47°45'53" EAST, 51.83 FEET TO THE NORTH LINE OF SAID LOT 24; THENCE SOUTH 89°52'29" EAST ALONG SAID NORTH LINE, A DISTANCE OF 149.65 FEET TO THE EAST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11; THENCE NORTH 00°08'48" WEST ALONG SAID EAST LINE, A DISTANCE OF 49.89 FEET TO THE POINT OF BEGINNING.

**PARCEL 3:**

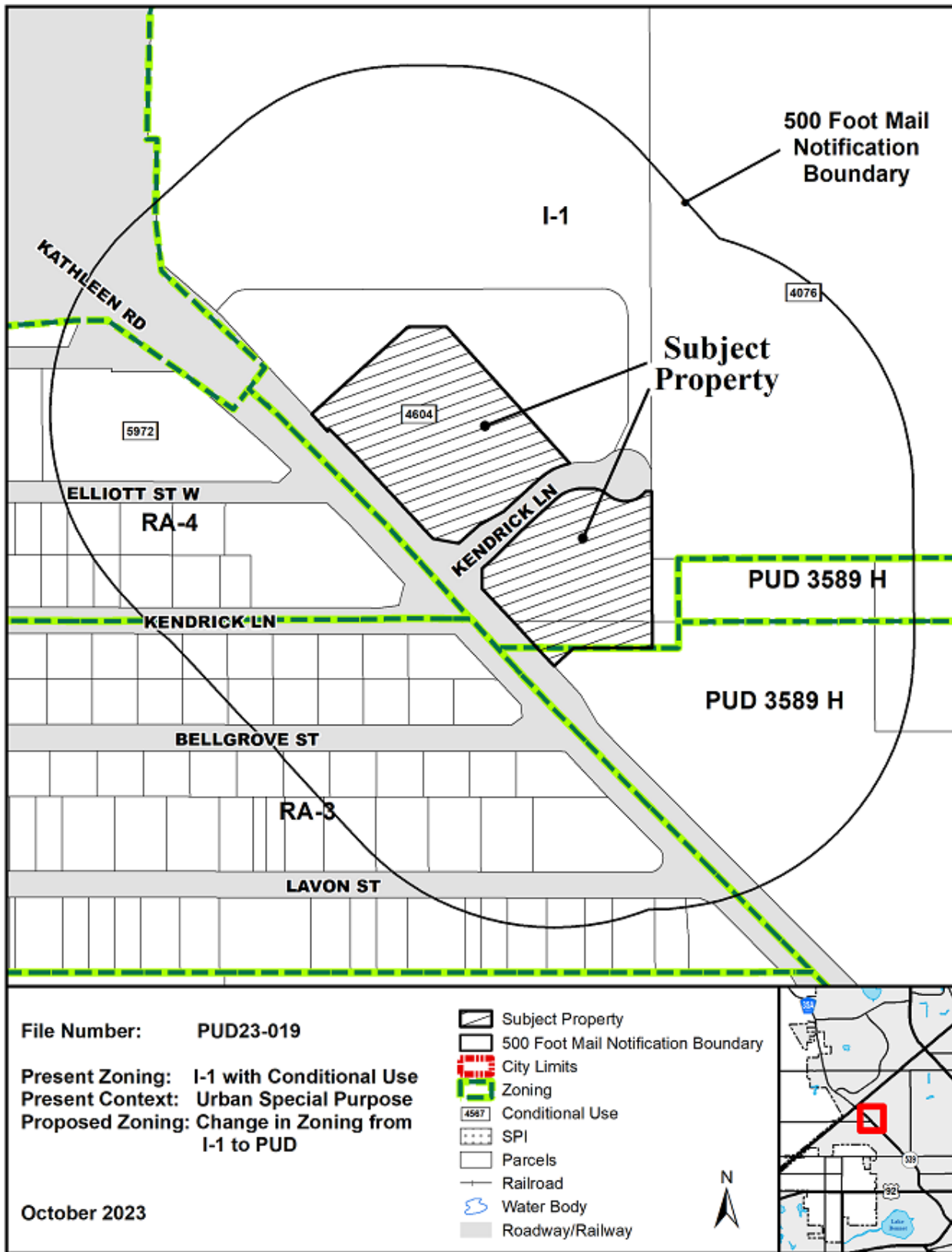
LOT 1, KATHLEEN PROPERTIES SUBDIVISION, IN SECTION 2, TOWNSHIP 28 SOUTH, RANGE 23 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 120, PAGE 38, OF THE PUBLIC RECORDS OF POLK COUNTY, FLORIDA.

**PARCEL 4:**

LOT 2, KATHLEEN PROPERTIES SUBDIVISION, IN SECTION 2, TOWNSHIP 28 SOUTH, RANGE 23 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 120, PAGE 38, OF THE PUBLIC RECORDS OF POLK COUNTY, FLORIDA.



ATTACHMENT "B"

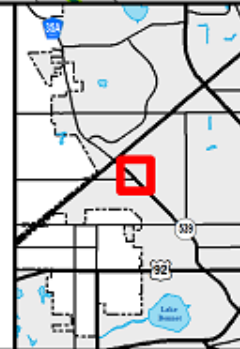


File Number: PUD23-019

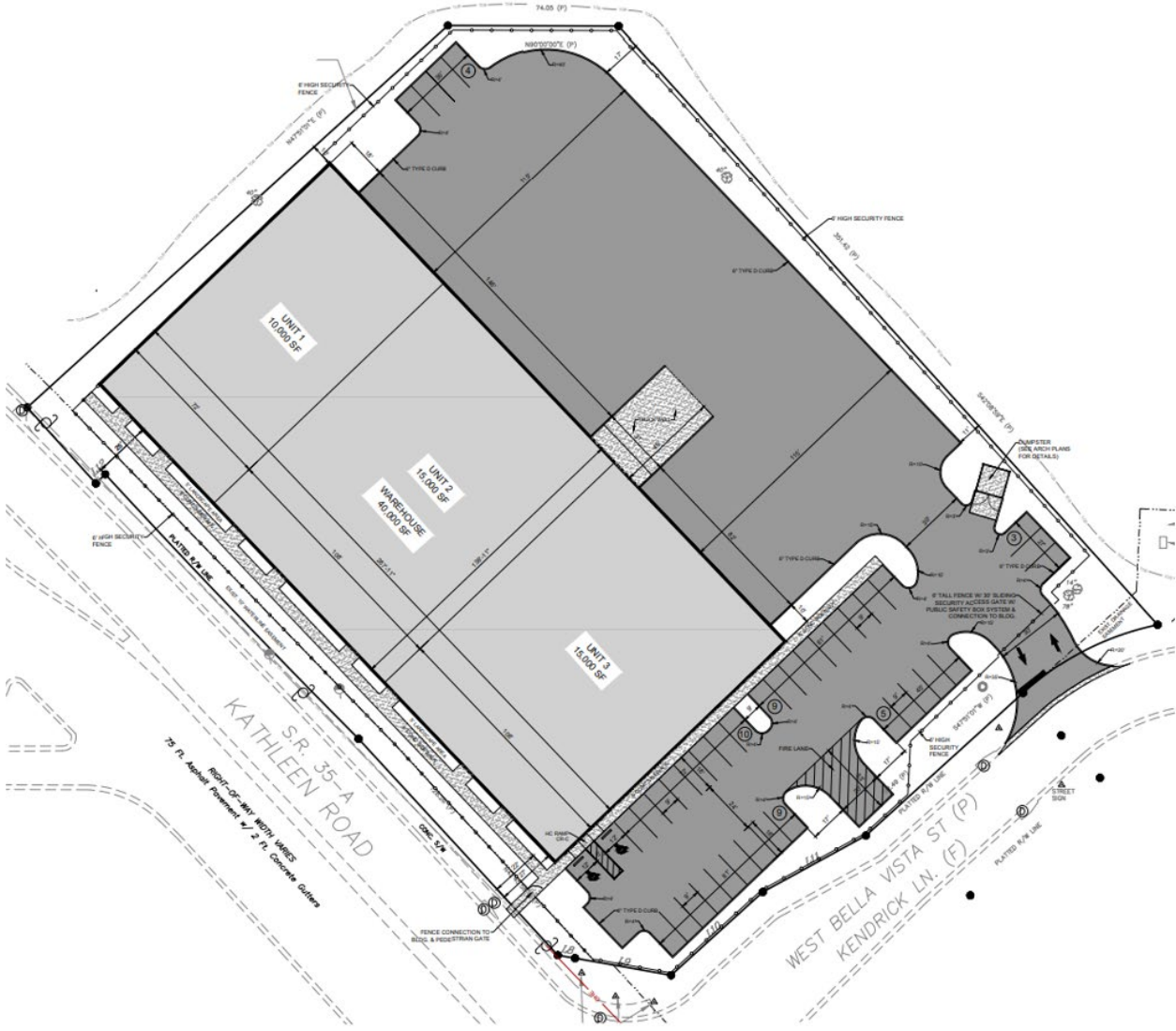
Present Zoning: I-1 with Conditional Use  
 Present Context: Urban Special Purpose  
 Proposed Zoning: Change in Zoning from I-1 to PUD

October 2023

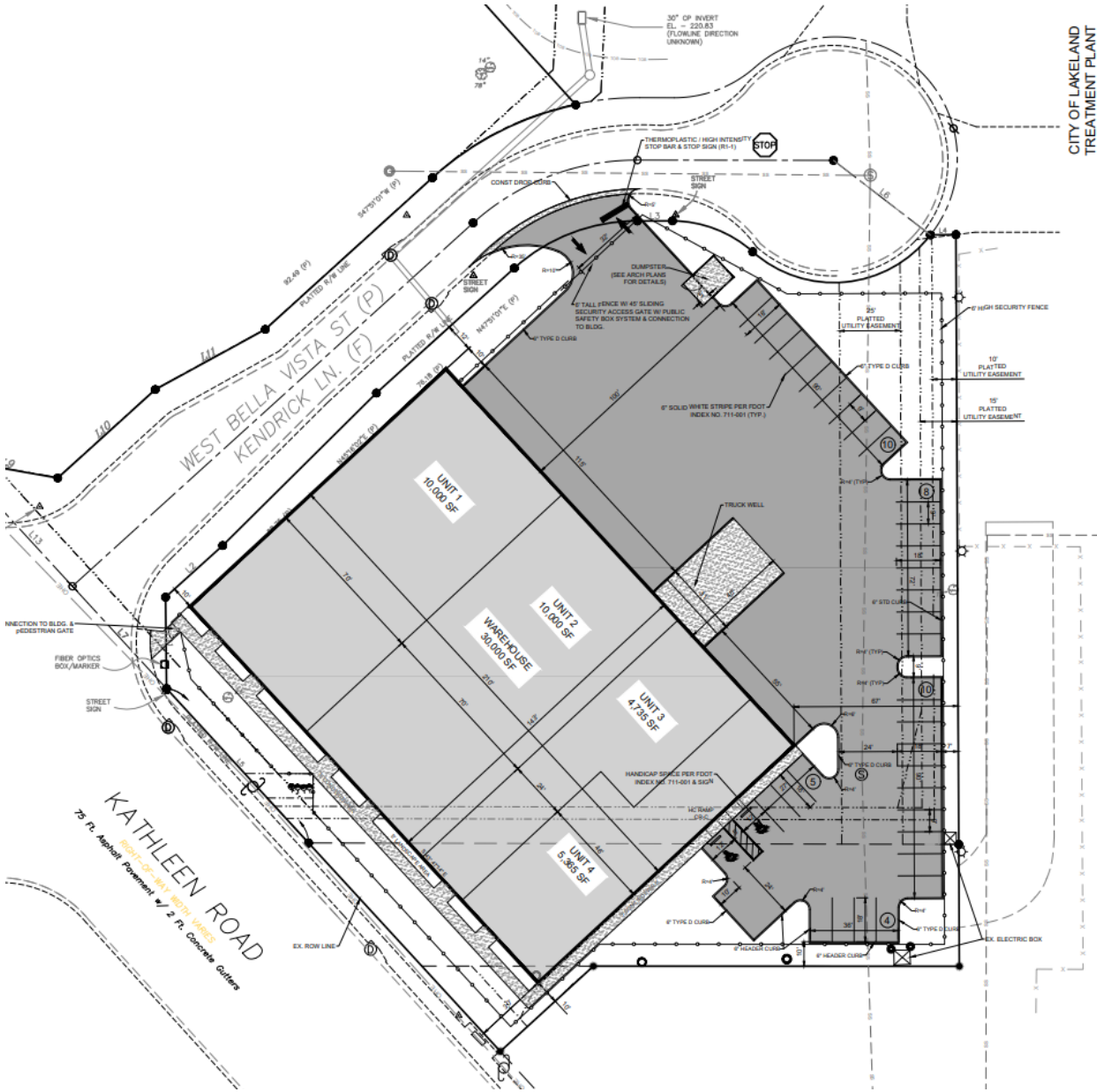
- Subject Property
- 500 Foot Mail Notification Boundary
- City Limits
- Zoning
- Conditional Use
- SPI
- Parcels
- Railroad
- Water Body
- Roadway/Railway



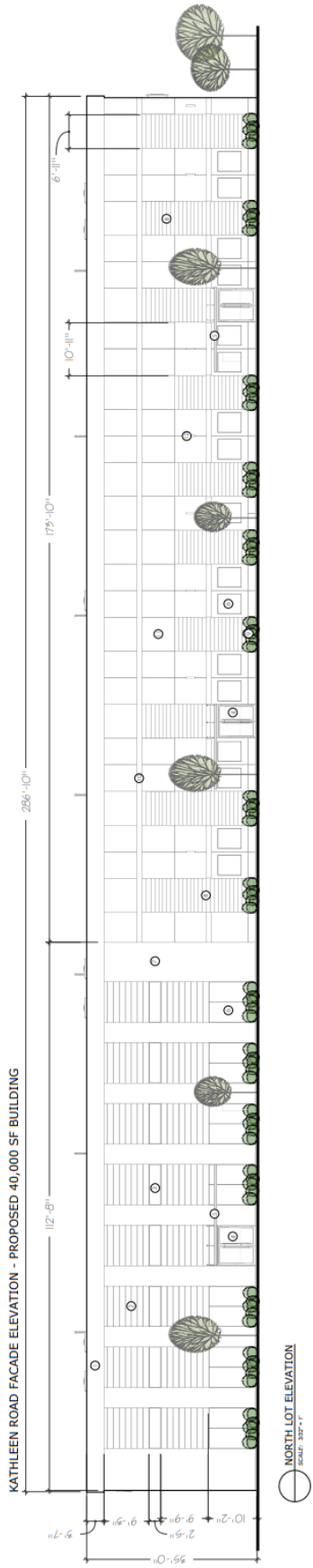
ATTACHMENT "C-1"



ATTACHMENT "C-2"



ATTACHMENT "D"





# Report of City Commission Action on Planning and Zoning Board Recommendations

Tuesday, November 21, 2023

## Meeting of November 6, 2023

### Ordinances (First Reading)

**Proposed 23-043**; Change in Zoning from C-2 (Highway Commercial District) to I-2 (Medium Industrial District) and a Change from Suburban Corridor (SCO) to Suburban Special Purpose (SSP) Context District, on Approximately 0.46 Acres Located at 3070 New Tampa Highway. (ZON23-007)

## Meeting of October 16, 2023

### Ordinances (Second Reading)

**Proposed 23-036**; Amending Ordinance 4773, as Amended; Major Modification of PUD Zoning to Allow a Freestanding Emergency Room on Property Located at 1075 Carpenters Way. (PUD23-012) **Approved 7—0, Ordinance 6003**

**Proposed 23-037**; Change in Zoning from MF-22 (Multi-Family Residential) to O-1 (Low Impact Office) on Approximately 1.17 Acres Located South of E. Lemon Street and East of Tyler Avenue (1303 E. Lemon Street). (ZON23-006) **Approved 7—0, Ordinance 6004**

**Proposed 23-038**; Application of C-1 (Pedestrian Commercial District) Zoning on Approximately 0.28 Acres Located at 1050 Sharon Drive. (ZON23-002) **Approved 7—0, Ordinance 6005**

**Proposed 23-039**; Amending Ordinance 4630; Major Modification of a Conditional Use to Allow a 1,017 sq. ft. Addition to an Existing Church Office Building and a Food Pantry Along with Support Services for the Elderly on Property Located at 1123 Omohundro Avenue. (CUP23-015) **Approved 7—0, Ordinance 6006**

**Proposed 23-040**; Approving a Conditional Use to Allow for the Conversion of an Existing Single-Family Detached Dwelling to a Two-Family Dwelling (Duplex) on Property Located at 838 E. Peachtree Street. (CUP23-017) **Approved 7—0, Ordinance 6007**

**Proposed 23-041**; Approving a Conditional Use to Allow a Two-Family Dwelling (Duplex) on Property Located at 814 N. Vermont Avenue. (CUP23-016) **Approved 7—0, Ordinance 6008**